

A TOPOGRAPHIC SURVEY WAS PERFORMED BY VANDEMARK & LYNCH, INC. IN DECEMBER 2023. ELEVATIONS REFERENCE NAVD88 DATUM.

HORIZONTAL DATUM IS BASED ON DELAWARE STATE GRID, NAD83.

HYDRIC SOILS ARE NOT INDICATED AS BEING PRESENT ACCORDING TO THE SUSSEX COUNTY SOIL SURVEY. SOILS HAVE BEEN INSPECTED BY BROAD SWEET, GEO-TECHNOLOGY ASSOCIATES, INC., A LICENSED SOIL SCIENTIST, DATED FEBRUARY 26, 2024.

EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY DELMARVA (800-282-8555) A MINIMUM OF THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO ANY EXCAVATION.

ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MATERIALS AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE CITY OF MILFORD STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION AND SUBDIVISION PAYMENT DESIGN AND ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROPOSED IMPROVEMENTS.

USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.

THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS SATISFACTION. ANY DISTURBED AREAS BEFORE THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.

ALL VALVE CLOSURES AND CUT-IN'S SHALL BE COORDINATED WITH THE CITY. CITY OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE CITY AND NOTIFY AFFECTED RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.

PIPELINE DETECTION TAPE SHALL BE COLOR CODED, APPROPRIATELY LABELED, AND INSTALLED 18 INCHES BELOW THE GROUND SURFACE AND DIRECTLY ABOVE ALL PROPOSED NON-METALLIC WATER MAIN, SEWER MAIN, SEWER LATERALS, AND WATER SERVICES.

CONDUCTIVE TRACER WIRE SHALL BE INSTALLED WITH ALL NON-METALLIC WATER PIPE AND SERVICES; AND ALONG ALL SEWER LATERALS AND MAINS. WIRE SHALL BE SECURED TO THE PIPE AND SHALL BE SECURELY BONDED TOGETHER AT ALL WIRE JOINTS WITH APPROVED WATERTIGHT CONNECTORS. TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES, METER PITS, CLEANOUTS, AND AIR RELEASE VALVES.

PRIOR TO ISOLATION AND CUT-IN PROCEDURES, CONTRACTOR SHALL EXCAVATE, LOCATE, AND OBSERVE FUNCTION OF ALL EXISTING VALVES TO ASSIST IN THE SYSTEM ISOLATION.

SHOP DRAWINGS FOR ANY ITEM(S) WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ORDERING OF AND/OR INSTALLATION OF THE ITEM(S).

ALL SANITARY SEWER MAINS AND FORCEMAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL SANITARY SEWER MAINS AND FORCEMAINS SHALL BE PROTECTED TO PROPOSED GRADE. SEWER LATERALS SHALL HAVE A MINIMUM DIAMETER OF SIX (6) INCHES AND HAVE A MINIMUM COVER OF 36 INCHES.

THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND FORCEMAINS OF 10 FEET, AS MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE. THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER MAINS AND SANITARY SEWER MAINS OR FORCEMAINS AT CROSSINGS. ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH POINTS OF INTERFERENCE CAN BE REMOVED AT A CROSSING.

THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 12 INCHES BETWEEN ANY STORM DRAIN PIPE AND ANY WATER MAIN OR SEWER MAIN. IF 12 INCHES CANNOT BE MAINTAINED, A MINIMUM OF SIX (6) INCHES IS REQUIRED AND PROVISIONS SHALL BE MADE ACCEPTABLE TO THE CITY OF MILFORD FOR PROPERLY ENCASED THE PIPE IN CONCRETE.

AS SCALED FROM THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, NUMBER 10005C0043K, WITH AN EFFECTIVE DATE OF MARCH 16, 2015, THIS PROPERTY LIES WITHIN ZONE "X", AREA OF MINIMAL FLOOD HAZARD. THIS PROPERTY LIES WITHIN COMMUNITY NUMBER 100442, CITY OF MILFORD.

ALL ROADWAYS ARE TO BE SWEEP FREE OF SEDIMENT ON A DAILY BASIS.

THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING BUT NOT LIMITED TO, DRIVEWAYS, SIDEWALKS, CURBS, DRIVEWAY DRIVELANDS, PARKING AREAS, CURB CUTS, DRIVEWAYS, DRIVEWAY GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER WILL OCCUR AFTER PAVING IS COMPLETE.

THE STORM DRAINAGE SYSTEM HAS BEEN DESIGNED USING THE CRITERIA OF THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION DEVELOPMENT COORDINATION MANUAL, LATEST EDITION.

ALL FIRE LANES, FIRE HYDRANTS, EXITS, AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.

DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

CONTRACTOR SHALL GRASS, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION, TO MATCH EXISTING CONTROL MATTERING CONDITIONS ON ALL SLOPES GREATER THAN 3:1.

THE OWNER AND/OR THEIR CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SERVICES OF A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF DELAWARE FOR THE PERMANENTLY RE-ESTABLISHING OF ANY PROPERTY MARKERS OR MONUMENTS DISTURBED DURING CONSTRUCTION. A SURVEY AND METES AND BOUNDS THAT INCLUDES THE RE-ESTABLISHED MARKER(S) OR MONUMENT(S) SHALL BE PRESENTED TO THE PROPERTY OWNER FOR COMPARISON WITH THE ORIGINAL PLAT, FOR VERIFICATION.

THE OWNER SHALL BE RESPONSIBLE FOR THE SHORT-TERM MAINTENANCE OF THE ANY AND ALL STORMWATER MANAGEMENT FACILITIES AND STORM SEWER SYSTEMS UNTIL SUCH TIME THAT THE LONG-TERM MAINTENANCE RESPONSIBILITIES CAN BE TRANSFERRED TO A LEGALLY-ESTABLISHED HOMEOWNERS ASSOCIATION OR OTHER RESPONSIBLE ENTITY.

THE CITY OF MILFORD WILL ASSUME OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF WATER AND SEWER PIPES AND APPURTENANCES, INSTALLED WITHIN CITY RIGHT-OF-WAY AND EASEMENTS DEDICATED TO THE CITY. STORM SEWER PIPES AND CATCH BASINS, INSTALLED FULLY WITHIN CITY RIGHT-OF-WAY, ONCE THE FOLLOWING CONDITIONS HAVE BEEN MET:

A. ALL ITEMS HAVE PASSED CITY INSPECTION;

B. THE CITY HAS RECEIVED AND APPROVED DIGITAL AND HARD COPIES OF THE RECORD DRAWINGS; AND

C. THE RIGHTS-OF-WAY AND/OR EASEMENTS HAVE BEEN DEEDED TO THE CITY AND RECORDED WITH THE RECORDER OF DEEDS.

SEWER AND WATER CAPACITY ARE NOT GUARANTEED UNTIL BUILDING PERMITS ARE ISSUED, ALL FEES ARE PAID AND SUITABLE UTILITIES ARE IN PLACE FOR PROPER CONVEYANCE, TREATMENT AND DISPOSAL.

PRELIMINARY APPROVAL FROM PLANNING COMMISSION SHALL BE VOID AFTER TWENTY-FOUR (24) MONTHS, UNLESS AN EXTENSION IS REQUESTED BY THE OWNER AND APPROVED, FOR GOOD CAUSE, BY THE PLANNING COMMISSION PRIOR TO THE DATE OF EXPIRATION.

THE APPROVAL OF A CONDITIONAL USE IN CONJUNCTION WITH A SITE PLAN APPLICATION SHALL EXPIRE UPON EXPIRATION OF THE ASSOCIATED SITE PLAN.

FINAL APPROVAL FROM THE CITY SHALL BECOME VOID IF THE FINAL RECORD PLAT IS NOT RECORDED WITHIN 90 DAYS OF THE DATE OF THE PLANNING COMMISSION'S GRANTING OF THE FINAL APPROVAL. IF AN APPLICATION FOR THE APPROVED IMPROVEMENTS IS NOT SUBSTANTIALLY UNDERTAKEN WITHIN EIGHTEEN (18) MONTHS OF FINAL SITE PLAN APPROVAL, THE SITE PLAN APPROVAL SHALL BE VOID. THE APPLICANT MAY REQUEST A ONE (1) YEAR EXTENSION FROM THE PLANNING COMMISSION FOR GOOD CAUSE.

THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CITY AND/OR AGENCY CONSTRUCTION PERMIT APPLICATIONS HAVE BEEN COMPLETED, SUBMITTED, AND ALL APPLICABLE FEES HAVE BEEN PAID PRIOR TO COMMENCING CONSTRUCTION. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR AN ANTICIPATED CONSTRUCTION START DATE THAT IS NOT MET DUE TO THE APPLICANT OR HIS/HER CONTRACTOR NOT HAVING MET THE CONSTRUCTION PERMITTING REQUIREMENTS.

AS A CONDITION OF THE APPROVAL OF THE CONSTRUCTION DRAWINGS, AND PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, THE APPLICANT SHALL POST A COMPLETION GUARANTEE IN THE AMOUNT OF 125% OF THE COST OF INSTALLATION FOR THE CONSTRUCTION OF RECREATIONAL AND OPEN SPACE AMENITIES, INCLUDING BUT NOT LIMITED TO COMMUNITY BUILDINGS, PLAYGROUNDS, WALKING PATHS, LANDSCAPING AND LANDSCAPE SCREENING. THE GUARANTEE SHALL BE IN THE FORM OF A BOND OR FUNDS DEPOSITED IN AN ESCROW ACCOUNT.

A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE CONSTRUCTION VALUE FOR ANY CONSTRUCTED IMPROVEMENTS AND A PERFORMANCE BOND IN THE AMOUNT OF 125% OF THE CONSTRUCTION VALUE FOR ANY UNCOMPLETED WORK SHALL BE PROVIDED IN ORDER TO OBTAIN A CERTIFICATE OF OCCUPANCY AND TO ACQUIRE THE FINAL APPROVAL. THE IMPROVEMENTS AND RELEASE OF ANY COMPLETION GUARANTEE, THE MAINTENANCE PERIOD SHALL BE A MINIMUM OF ONE YEAR AND ALL CONSTRUCTION VALUES MUST BE SUBMITTED TO, REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE ISSUANCE OF ANY BONDS.

UPON COMPLETION OF THE CONSTRUCTION IMPROVEMENTS AND PRIOR TO THE RELEASE OF ANY DEVELOPER'S COMPLETION GUARANTEE, THE DEVELOPER SHALL PROVIDE THE CITY ENGINEER A DRAFT PAPER SET OF DETAILED RECORD PLANS (PLAN VIEW AND PROFILE SHEETS). RECORD INFORMATION SHALL BE PLACED ON THE APPROPRIATE DRAWINGS. ORIGINAL DESIGN ELEVATION AND/OR DISTANCE INFORMATION SHALL BE STRUCK THROUGH WITH A FINE LINE AND THE RECORD INFORMATION SHALL BE INSERTED NEXT TO IT. WHEN THE DRAFT SET OF DRAWINGS HAS BEEN APPROVED BY THE CITY, THREE (3) FINAL PAPER COPIES SHALL BE SUBMITTED, SIGNED AND SEALED BY THE CITY ENGINEER AND ARCHITECT. ADDITIONAL INFORMATION SHALL BE PROVIDED WITH DIGITAL RECORD INFORMATION IN AUTOCAD FORMAT (VERSION 2018 OR LATER). THE DIGITAL INFORMATION SHALL BE ON DELAWARE STATE PLANE, NAD 83 HORIZONTAL CONTROL AND NAVD88 VERTICAL CONTROL. RECORD PLAN INFORMATION SHALL INCLUDE SURVEYED AS-BUILT ELEVATIONS AND HORIZONTAL LOCATIONS OF THE FOLLOWING:

A. ALL PROPERTY MONUMENTS/MARKERS;

B. SEVER MANHOLE RIM & INVERT ELEVATIONS, WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED, PUMP STATION RIM, BOTTOM & INVERT ELEVATIONS WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED, FORCEMAIN INVERT ELEVATIONS EVERY 50 FEET, FORCEMAIN AIR RELEASE VALVE RIM & INVERT ELEVATIONS, SEWER CLEANOUT RIM & INVERT ELEVATIONS, AND GREASE TRAP RIM, BOTTOM & INVERT ELEVATIONS;

C. WATER VALVES, FIRE HYDRANTS, METER VAULTS, METER PITS, AND CURB STOPS;

D. STORM SEWER CATCH BASIN AND/OR MANHOLE GRATE, RIM & INVERT ELEVATIONS WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED;

E. ANY OTHER ITEM WHICH WILL BE TAKEN OVER BY THE CITY.

THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT (302) 422-1110 A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING. THE SITE CONTRACTOR AND THE OWNER, OR HIS/HER REPRESENTATIVE, SHALL ATTEND.

THIS SITE DOES NOT CONTAIN SOURCE WATER PROTECTION AREAS.

THIS SITE WAS EXAMINED BY GEOTECHNOLOGY ASSOCIATES IN FEBRUARY 2024, AND NO FEDERALLY REGULATED WETLANDS WERE FOUND TO

UPON RECORDED OF THIS PLAT, THE CITY WILL HAVE THE RIGHT OF INGRESS AND EGRESS TO ALL MULTIFAMILY AREAS FOR THE PURPOSE OF MAINTAINING UTILITIES AND FOR TRASH REMOVAL SERVICES.

THE FOLLOWING UTILITIES ARE IDENTIFIED BY MISS UTILITY (TICKET NO. 233110398, 233110399, 233110418 AND 233110419) AS HAVING UNDERGROUND FACILITIES IN THE AREA OF THIS PROJECT:

COORDINATE	COMPANY NAME	STATUS
CD001	COMCAST/CABLE PROTECTION	MARKED/AS SHOWN
CM134	CITY OF MILFORD	NO NOTE
	LOCATOR REQUESTS WHITE LINING OR CLEAR DUE TO LARGE SCOPE OF WORK OR UNCLEAR EXTENT OF WORK.	
	CLEAR/NO CONFLICT	
	AS SHOWN ALONG S. WALNUT STREET	
	CLEAR/NO CONFLICT	

CODE	CHESEAPEAKE UTILITIES
CUD02	CROWN CASTLE/STAKE CENTER LOC
SUN02	VERIZON
YSUSS	

<u>SHEET NO.</u>	<u>SHEET TITLE</u>
1	TITLE SHEET
2	RECORD PLAT
3	EXISTING CONDITIONS PLAN
4	GRADING AND CONSTRUCTION PLAN
5	DETAILED GRADING PLAN
6	UTILITY PLAN
7	UTILITY PROFILES
8-10	CONSTRUCTION DETAILS AND NOTES
11	LANDSCAPE PLAN

SCALE: 1" = 400'

SCALE: 1" = 2,000

1. TAX PARCELS:	330-10.16-3.02	330-10.16-6.00
2. OWNER:	MSPILLION II LIMITED PARTNERSHIP 410 SEVERN AVENUE, SUITE 302 ANNAPOLIS, MD 21403 410-269-0900	FREDERIC F. CASE AND ARTHUR W. EDWARDS 410 SEVERN AVENUE, SUITE 302 ANNAPOLIS, MD 21403 410-269-0900
3. ZONING:	R-3, GARAGE APARTMENT AND TOWNHOUSE DISTRICT	
		P R O V I D E D
	REQUIRED	330-10.16-3.02
LOT AREA	1 ACRE	3.51± ACRES
LOT WIDTH:	50 FEET	200± FEET
FRONT SETBACK	30 FEET	30± FEET
REAR SETBACK:	30 FEET	1 FOOT
SIDE SETBACK	20 FEET	15.7 FEET
LOT COVERAGE:	80%	37%
BUILDING HEIGHT:	35 FEET	30 FEET
UNITS PER BUILDING:	24 MAX.	8
DENSITY:	16 UNITS/ACRE	9.1 UNITS/ACRE
BUILDING SEPARATION:	25' MIN.	22'
		15.0 UNITS/ACRE
		50'
		* EXISTING NONCONFORMITY

RECREATION AREA PROVIDED: 0.1 ACRES (PLAYGROUND)

PASSIVE OPEN SPACE: 5.0± ACRES

5. PARKING: REQUIRED: 2.5 PARKING SPACES PER DWELLING UNIT X 128 UNITS = 320 PARKING SPACES

EXISTING PARKING	MISPELLION II (32 UNITS):	64 SPACES
	MISPELLION I (40 UNITS):	65 SPACES
	MISPELLION III (40 UNITS):	101 SPACES
	PARKING TO BE REMOVED (MISPELLION II):	(4) SPACES
	PROPOSED PARKING MISPELLION II (16 UNITS):	44 SPACES
		270 SPACES PROVIDED
		(INCLUDES 29 ADA SPACES)

8. ELECTRIC:	CITY OF MILFORD	
9. NATURAL GAS:	CHESAPEAKE UTILITIES	
10. PROPOSED EDU'S:	16 RESIDENTIAL UNITS: MANAGER'S OFFICE:	16 EDU 1 EDU

A. THE PROPERTY IS LOCATED APPROXIMATELY 0.25 MILES FROM THE SOUTHWEST MILFORD T.I.D.,
B. STATE INVESTMENT AREA: 1
C. HUNDRED: CEDAR CREEK, SUSSEX COUNTY
D. HIGHWAY MAINTENANCE NUMBER: S213
E. GROSS ACREAGE: 4.58+ ACRES
F. PRESENT USE: APARTMENTS
G. PROPOSED USE: APARTMENTS
H. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE REVIEWS: CITY OF MILFORD

PROJECT NAME

SEAL



SEAL IS NOT VALID UNLESS RED OR EMBOSSED

SCALE: 1"=50'

50

NO.	DATE	REVISION

VANDEMARK & LYNCH, INC. IS NOT RESPONSIBLE FOR ANY
MODIFICATION MADE TO THIS PLAN AND/OR CADD FILE
WITHOUT ITS WRITTEN AUTHORIZATION.

PROJECT NUMBER: 24972.00

DRAWN BY: D. SHEEKY, L.ZWEIACH

MOD. GRID: SUSSEX COUNTY,

FILE: 24972.00-SITE-01

DRAWING NUMBER

1

SHEET SIZE: 24x36

SHEET 1 OF 11 | REV



**VANDEMARK
& LYNCH, INC.**
ENGINEERS - SURVEYORS

4305 MILLER ROAD (302) 764-7635
WILMINGTON, DE 19802 WWW.VLENG.COM

PROJECT NAME

MISPILLION APARTMENTS II

600-908 Mispillion
Apartments and 1027
South Walnut Street
City of Milford
Cedar Creek Hundred
Sussex County, DE

SEAL

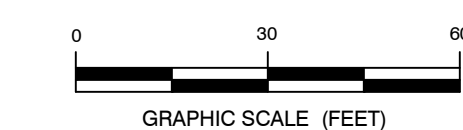


SEAL IS NOT VALID UNLESS RED OR EMBOSSED

PLAN TYPE

RECORD PLAT

SCALE: 1"=30'



REVISIONS

NO.	DATE	REVISION

VANDEMARK & LYNCH, INC. IS NOT RESPONSIBLE FOR ANY
MODIFICATION MADE TO THIS PLAN AND/OR CAD FILE
WITHOUT ITS WRITTEN AUTHORIZATION.

PROJECT NUMBER: 24972.00

SURVEYED BY: J. CHAMBERS

DRAWN BY: D. SHEEKY

PROJECT MANAGER: S. ROSENFIELD

MOD. GRID: SUSSEX COUNTY, DE

DATE: 12-27-2024

FILE: 24972.00-SITE-02

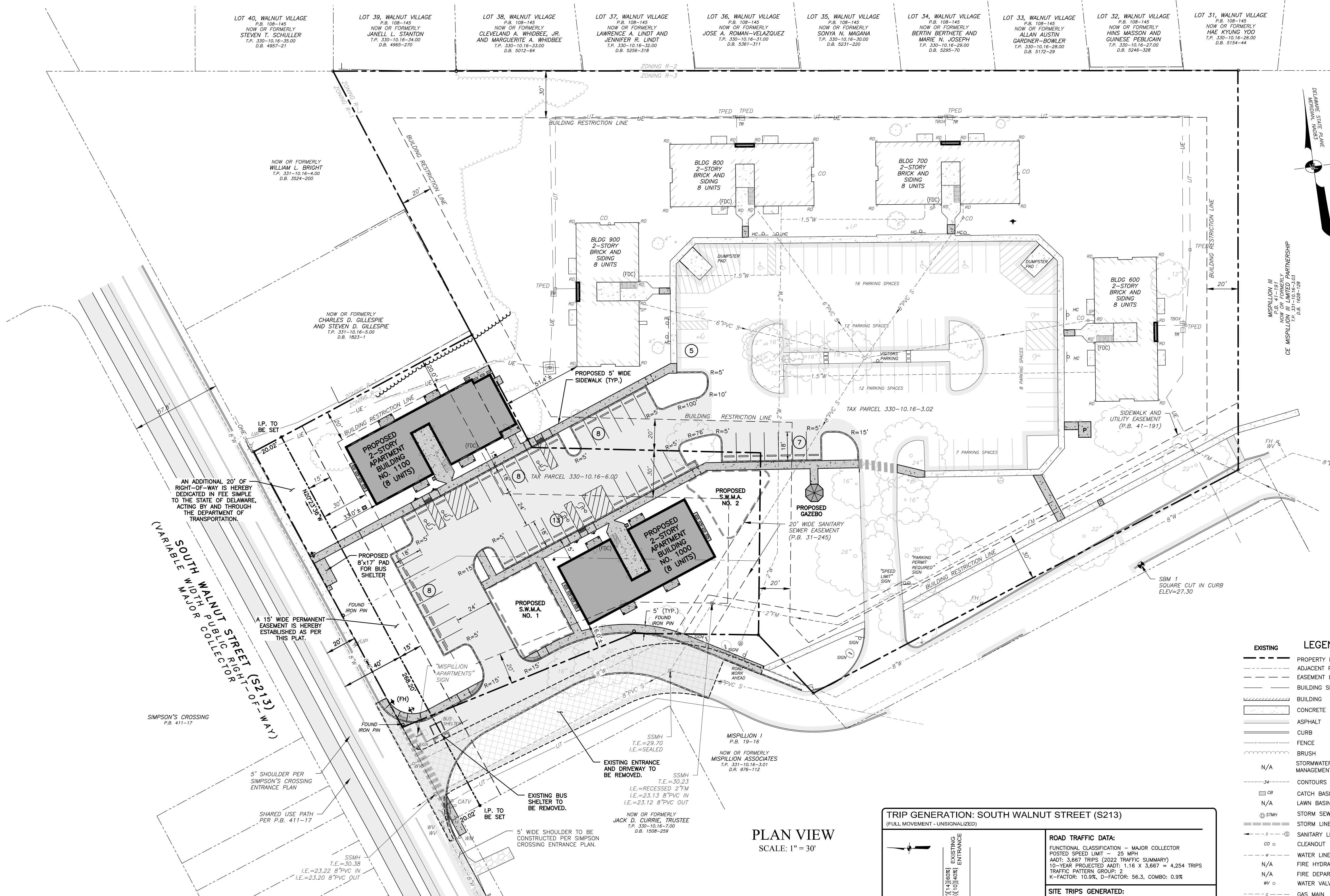
DRAWING NUMBER

2

SHEET SIZE: 24x36

SHEET 2 OF 11

REV

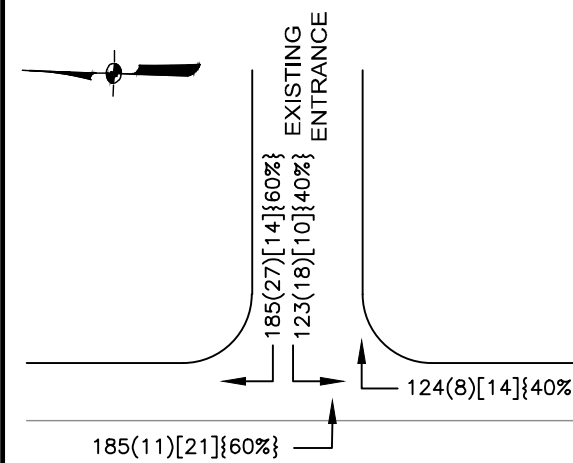


PLAN VIEW

SCALE: 1" = 30'

TRIP GENERATION: SOUTH WALNUT STREET (S213)

(FULL MOVEMENT - UNSIGNALIZED)



SOUTH WALNUT STREET
(S213)
4,254 Roadway ADT

TRAFFIC GENERATION DIAGRAM

TRIPS PER DAY (VEHICLES IN A.M./P.M. PEAK HOURS)

ROAD TRAFFIC DATA:
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR
POSTED SPEED LIMIT - 25 MPH
ADT: 3,667 TRIPS (2022 TRAFFIC SUMMARY)
10-YEAR PROJECTED ADT: 1,116 X 3,667 = 4,254 TRIPS
TRAFFIC PATTERN GROUP: 2
K-FACTOR: 10.9%, D-FACTOR: 56.3, COMBO: 0.9%

SITE TRIPS GENERATED:
SOURCE: I.T.E. TRIP GENERATION MANUAL 11TH ADDITION
112 EXISTING + 16 PROPOSED AFFORDABLE HOUSING UNITS
INCOME LIMITS, GENERAL URBAN/SUBURBAN (223)
ADT: (FITTED CURVE) 557 EXISTING; 617 PROPOSED (TOTAL)
AM PEAK: (RATE) 56 TRIPS EXISTING (16 IN/40 OUT)
64 TRIPS TOTAL PROPOSED (19 IN/45 OUT)
PM PEAK: (RATE) 52 TRIPS EXISTING (30 IN/22 OUT)
59 TRIPS TOTAL PROPOSED (35 IN/24 OUT)
NET GAIN IN TRIPS: 60 ADT, 8 AM PEAK, 7 PM PEAK

DIRECTIONAL DISTRIBUTION:
60% TO/FROM NORTH: 185(11)[21] IN; 185(27)[14] OUT
40% TO/FROM SOUTH: 124(8)[14] IN; 123(18)[10] OUT

DESIGN VEHICLE: SU-30
ONE ENTRANCE, FULL MOVEMENT, UNSIGNALIZED, HV% = 5%
NOTE: "TOTAL PROPOSED" MEANS TRAFFIC GENERATED FROM
THE EXISTING DEVELOPMENT AND PROPOSED CONSTRUCTION.

