

**GENERAL NOTES**

- THE BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON A SURVEY PERFORMED BY STEVE M. ADKINS LAND SURVEYING, ON DECEMBER 2021.
- A TOPOGRAPHIC SURVEY WAS PERFORMED BY STEVEN M. ADKINS LAND SURVEYING, LLC OF LAUREL, DELAWARE IN DECEMBER 2021. ELEVATIONS ARE BASED ON OPUS SOLUTION.
- HORIZONTAL DATUM IS BASED ON DELAWARE STATE GRID, NAD83/91, OPUS SOLUTION.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION, COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY DELMARVA (SEE NOTE 24).
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, MATERIALS AND WORKSMANSHIP SHALL MEET THE REQUIREMENTS OF THE TOWN OF SELBYVILLE DESIGN AND CONSTRUCTION STANDARDS FOR WATER, SEWER, AND STREETS, AND ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROPOSED IMPROVEMENTS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACK FILLING TRENCHES.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- ALL VALVE CLOSURES AND CUT-IN SHALL BE COORDINATED WITH THE TOWN. TOWN OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE TOWN AND NOTIFY AFFECTED RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.
- PIPELINE DETECTION TAPE SHALL BE COLOR CODED, APPROPRIATELY LABELED, AND INSTALLED 18 INCHES BELOW THE GROUND SURFACE AND DIRECTLY ABOVE ALL PROPOSED WATER MAIN, SEWER MAIN, SEWER LATERALS, AND WATER SERVICES.
- CONDUCTIVE TRACER WIRE SHALL BE INSTALLED WITH ALL NON-METALLIC WATER PIPE AND SERVICES, AND ALONG ALL SEWER LATERALS AND FORCEMAIN. WIRE SHALL BE SECURED TO THE PIPE AND SHALL BE SECURELY BONDED TOGETHER AT ALL WIRE JOINTS WITH APPROVED WATER-TIGHT CONNECTORS. TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES, METER PITS, CLEANOUTS, AND AIR RELEASE VALVES.
- PRIOR TO ISOLATION AND CUT-IN PROCEDURES, CONTRACTOR SHALL EXCAVATE, LOCATE, AND OBSERVE FUNCTION OF ALL EXISTING VALVES TO ASSIST IN THE SYSTEM ISOLATION.
- SHOP DRAWINGS FOR ANY ITEM(S) WHICH WILL EVENTUALLY BE TAKEN OVER BY THE TOWN SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO THE INSTALLATION OF THE ITEM(S).
- ALL SANITARY SEWER MAINS AND FORCEMAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42 INCHES AS MEASURED FROM THE TOP OF PIPE TO PROPOSED GRADE. SEWER LATERALS SHALL HAVE A MINIMUM DIAMETER OF SIX (6) INCHES AND HAVE A MINIMUM COVER OF 36 INCHES.
- THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND FORCEMAINS OF 10 FEET, AS MEASURED FROM THE CENTER OF PIPE. THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER MAINS AND SANITARY SEWER MAINS OR FORCEMAINS AT CROSSINGS. ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE AT CROSSINGS.
- THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 12 INCHES BETWEEN ANY STORM DRAIN PIPE AND ANY WATER MAIN OR SEWER MAIN. IF 12 INCHES CANNOT BE MAINTAINED, A MINIMUM OF SIX (6) INCHES IS REQUIRED AND PROVISIONS SHALL BE MADE ACCEPTABLE TO THE TOWN OF GEORGETOWN FOR PROPERLY ENCASED PIPE IN CONCRETE.
- ENTIRE SITE IS WITHIN FEMA ZONE X AND IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, CUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER WILL OCCUR AFTER PAVING IS COMPLETE.
- THE STORM DRAINAGE SYSTEM HAS BEEN DESIGNED USING THE CRITERIA OF THE STATE OF DELDOT STANDARDS AND REGULATIONS FOR SUBDIVISION STREETS AND STATE HIGHWAY ACCESS, LATEST EDITION.
- ALL FIRE LINES, FIRE HYDRANTS, EXITS, AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION. THE EXCAVATOR FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPLICABLE.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF DELAWARE SHALL BE RESPONSIBLE FOR PERMANENTLY RE-ESTABLISHING ANY PROPERTY MARKERS OR MONUMENTS DURING CONSTRUCTION. A SURVEY AND METES AND BOUNDS THAT INCLUDES THE RE-ESTABLISHED MARKER(S) OR MONUMENT(S) SHALL BE PRESENTED TO THE PROPERTY OWNER FOR COMPARISON WITH THE ORIGINAL PLAT, FOR VERIFICATION.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE DEVELOPER WILL BE RESPONSIBLE FOR SHORT TERM MAINTENANCE OF THE STORMWATER MANAGEMENT AND STORM SEWER SYSTEMS.
- THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT AND STORM SEWER SYSTEMS OUTSIDE OF THE RIGHT-OF-WAY.
- THE TOWN OF GEORGETOWN WILL ASSUME OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF WATER, SEWER, AND STORM SEWER PIPES AND APPURTENANCES INSTALLED WITHIN TOWN RIGHT-OF-WAY, AND EASEMENTS DEDICATED TO THE TOWN, AFTER ALL ITEMS HAVE PASSED TOWN INSPECTION; AFTER THE TOWN HAS RECEIVED AND APPROVED DIGITAL AND HARD COPIES OF THE RECORD DRAWINGS; AFTER THE RIGHTS-OF-WAY HAVE BEEN DEEDED TO THE TOWN; AND AFTER ALL THE WATER, SEWER, AND STORM SEWER ITEMS HAVE BEEN TRANSFERRED TO THE TOWN BY BILL OF SALE.
- SEWER AND WATER CAPACITY ARE NOT GUARANTEED UNTIL BUILDING PERMITS ARE ISSUED, ALL FEES ARE PAID, AND SUITABLE UTILITIES ARE IN PLACE FOR PROPER CONVEYANCE, TREATMENT, AND DISPOSAL.
- FOR PRELIMINARY SUBDIVISION AND SITE PLANS, TOWN APPROVAL SHALL EXPIRE WITHIN FIVE (5) YEARS OF THE PRELIMINARY PLAN APPROVAL UNLESS THE REQUIRED BUILDING PERMIT HAS BEEN ISSUED. A ONE (1) YEAR EXTENSION MAY BE REQUESTED WHERE ALLOWED BY CODE.
- THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL TOWN AND/OR AGENCY CONSTRUCTION PERMIT APPLICATIONS HAVE BEEN COMPLETED, SUBMITTED, AND ALL APPLICABLE FEES HAVE BEEN PAID PRIOR TO COMMENCING CONSTRUCTION. THE TOWN SHALL NOT BE HELD RESPONSIBLE FOR AN ANTICIPATED CONSTRUCTION START DATE THAT IS NOT MET DUE TO THE APPLICANT OR HIS/HER CONTRACTOR NOT HAVING MET THE CONSTRUCTION PERMITTING REQUIREMENTS.
- AS A CONDITION OF THE APPROVAL OF THE CONSTRUCTION DRAWINGS, AND PRIOR TO THE START OF CONSTRUCTION, THE APPLICANT IS REQUIRED TO ENTER INTO A FORMAL PUBLIC WORKS AGREEMENT WITH THE TOWN AND TO POST A COMPLETION GUARANTEE FOR ANY IMPROVEMENTS WHICH WILL EVENTUALLY BE TAKEN OVER BY THE TOWN. THE GUARANTEE SHALL BE IN AN AMOUNT EQUAL TO 150% OF THE COST OF THE IMPROVEMENTS AS ESTIMATED OR APPROVED BY THE TOWN ENGINEER. THE GUARANTEE SHALL BE IN THE FORM OF A BOND OR FUNDS DEPOSITED IN AN ESCROW ACCOUNT. THE PUBLIC WORKS AGREEMENT AND THE GUARANTEE SHALL BE REVIEWED AND APPROVED BY THE TOWN SOLICITOR. THE COMPLETION GUARANTEE SHALL NOT BE RELEASED UNTIL A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE IMPROVEMENTS HAS BEEN SUBMITTED.
- A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE AMOUNT OF THE COMPLETION GUARANTEE SHALL BE SUBMITTED TO THE TOWN BY THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS AND RELEASE OF THE COMPLETION GUARANTEE. THE MAINTENANCE PERIOD SHALL BE A MINIMUM OF TWO YEARS. AN AGREEMENT REVIEWED AND APPROVED BY THE TOWN SOLICITOR SHALL ACCOMPANY THE BOND AND SHALL DESCRIBE THE TERMS OF THE BOND.
- UPON COMPLETION AND PRIOR TO THE RELEASE OF THE DEVELOPER'S COMPLETION GUARANTEE, THE DEVELOPER SHALL PROVIDE THE TOWN ENGINEER A DRAFT PAPER SET OF DETAILED RECORD PLANS (PLAN VIEW AND PROFILE SHEETS). RECORD PLAN INFORMATION SHALL INCLUDE SURVEYED AS-BUILT ELEVATIONS AND HORIZONTAL LOCATIONS OF ALL PROPERTY MONUMENTS/MARKERS; SEWER MANHOLE RIMS, PIPES SIZES & INVERTS; PUMP STATIONS; FORCE MAINS (INVERTS EVERY 50 FEET), CLEANOUTS, AIR RELEASE VALVES, AND GREASE TRAPS; ALL WATER VALVES, HYDRANTS, VAULTS, METER PITS, AND CURB STOPS; ALL STORM SEWER CATCH BASINS, MANHOLE RIMS, PIPE SIZES & INVERTS, AND ANY OTHER ITEM WHICH WILL BE TAKEN OVER BY THE TOWN. RECORD INFORMATION SHALL BE PLACED ON THE APPROPRIATE APPROVED DRAWINGS. ORIGINAL DESIGN ELEVATION AND/OR DISTANCE INFORMATION SHALL BE STRUCK THROUGH WITH A FINE LINE AND THE RECORD INFORMATION SHALL BE INSERTED NEXT TO IT. WHEN THE DRAFT SET OF DRAWINGS HAS BEEN APPROVED BY THE TOWN, THREE (3) FINAL PAPER COPIES SHALL BE SUBMITTED, SIGNED AND SEALED BY THE OWNER'S ENGINEER. A CD SHALL ALSO BE PROVIDED WITH DIGITAL RECORD INFORMATION IN AUTOCAD FORMAT (VERSION 2010 OR LATER). THE DIGITAL INFORMATION SHALL BE ON DELAWARE STATE PLANE, NAD83 HORIZONTAL CONTROL AND NAVD83 VERTICAL CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE TOWN A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING. THE SITE CONTRACTOR AND THE OWNER, OR HIS/HER REPRESENTATIVE SHALL BE IN ATTENDANCE.

TOWN OF SELBYVILLE - (302) 436-8314

# KINGFISHER SUBDIVISION PUMP STATION & PHASE 1 FORCE MAIN PLANS TOWN OF SELBYVILLE SUSSEX COUNTY, DELAWARE GMB FILE NO. 220013

**LIST OF DRAWINGS**

- C6.1 PUMP STATION COVER SHEET
- C6.2 PUMP STATION SITE PLAN
- C6.3 PUMP STATION PLAN AND SECTION
- C6.4 PUMP STATION DETAILS
- C6.5 PUMP STATION DETAILS
- C6.6 FORCEMAIN PLAN AND PROFILE KEY SHEET
- C6.7 FORCEMAIN PLAN AND PROFILE
- C6.8 FORCEMAIN PLAN AND PROFILE
- C6.9 FORCEMAIN PLAN AND PROFILE
- C6.10 FORCEMAIN PLAN AND PROFILE

**SITE DATA:**

**OWNER/DEVELOPER:** WEST SELBYVILLE DEVELOPMENT, LLC.  
4750 OWINGS MILLS BLVD.  
OWINGS MILLS, MD 21117  
PHONE: 410-742-3115  
CONTACT: JON HOFFMAN

**CIVIL ENGINEER:** GEORGE, MILES & BUHR, LLC.  
206 WEST MAIN ST  
SALISBURY, MD 21801  
PHONE: 410-742-3115  
CONTACT: CHRISTOPHER J. PFEIFER

**SURVEYOR:** STEVEN M. ADKINS LAND SURVEYING, LLC.  
212 E FRONT STREET  
LAUREL, DE 19956  
PHONE: 302-875-3555  
CONTACT: STEVE M. ADKINS

**WETLANDS:** ENVIRONMENTAL RESOURCES MANAGEMENT  
3817 DUPONT BLVD  
SELBYVILLE, DE 19875  
PHONE: 302-436-9637  
CONTACT: ED LAUNAY

**TAX MAP#:** 533-11.00-35.00  
**DEED REFERENCE:** BOOK: 5514, PAGE: 89

**TAX MAP#:** 533-18.00-5.00  
**DEED REFERENCE:** BOOK: 5632, PAGE: 253

**TAX MAP#:** 533-18.00-5.01  
**DEED REFERENCE:** BOOK: 1121, PAGE: 105

**ZONING DATA:**  
EXISTING ZONING: R-4 TOWN OF SELBYVILLE WITH RPC OVERLAY  
PROPOSED USE: AGRICULTURAL  
RESIDENTIAL PLANNED COMMUNITY

**PROPOSED DATA:**  
SITE AREA: ±168.94 ACRES  
TOTAL DISTURBED AREA: ±111.44 ACRES (66%)  
PROPOSED LOT AREA: ±54.83 ACRES (32%)  
OPEN SPACE: ±93.57 ACRES (55%)  
NON-TIDAL WETLANDS: ±58.37 ACRES  
EXISTING WOODED AREA: ±86.66 ACRES  
WOODED AREA TO REMAIN: ±64.85 ACRES

**LOTS ALLOWED:** 371 (168.94 X 2.2)  
**LOTS PROPOSED:** 322 (1.93 PER ACRE)  
**LOT MIX:** 223 SINGLE FAMILY HOMES; 99 TOWNHOMES  
**SINGLE FAMILY (60X120):** 109  
**SINGLE FAMILY (75X120):** 114  
**TOWNHOMES (24X50):** 99

**AMENITIES:**  
CLUBHOUSE WITH POOL, WALKING TRAILS, PLAYGROUND, SPORTS COURTS, BOAT/RV STORAGE

**PARKING CALCULATIONS:**  
**REQUIRED PARKING:** 652 SPACES (2 PER UNIT)  
**PROVIDED PARKING:** 689 SPACES  
**OFF-STREET PARKING:** 37 SPACES (INCLUDING 2 ADA SPACES)  
**ADA ACCESSIBLE SPACES:** 2 SPACES

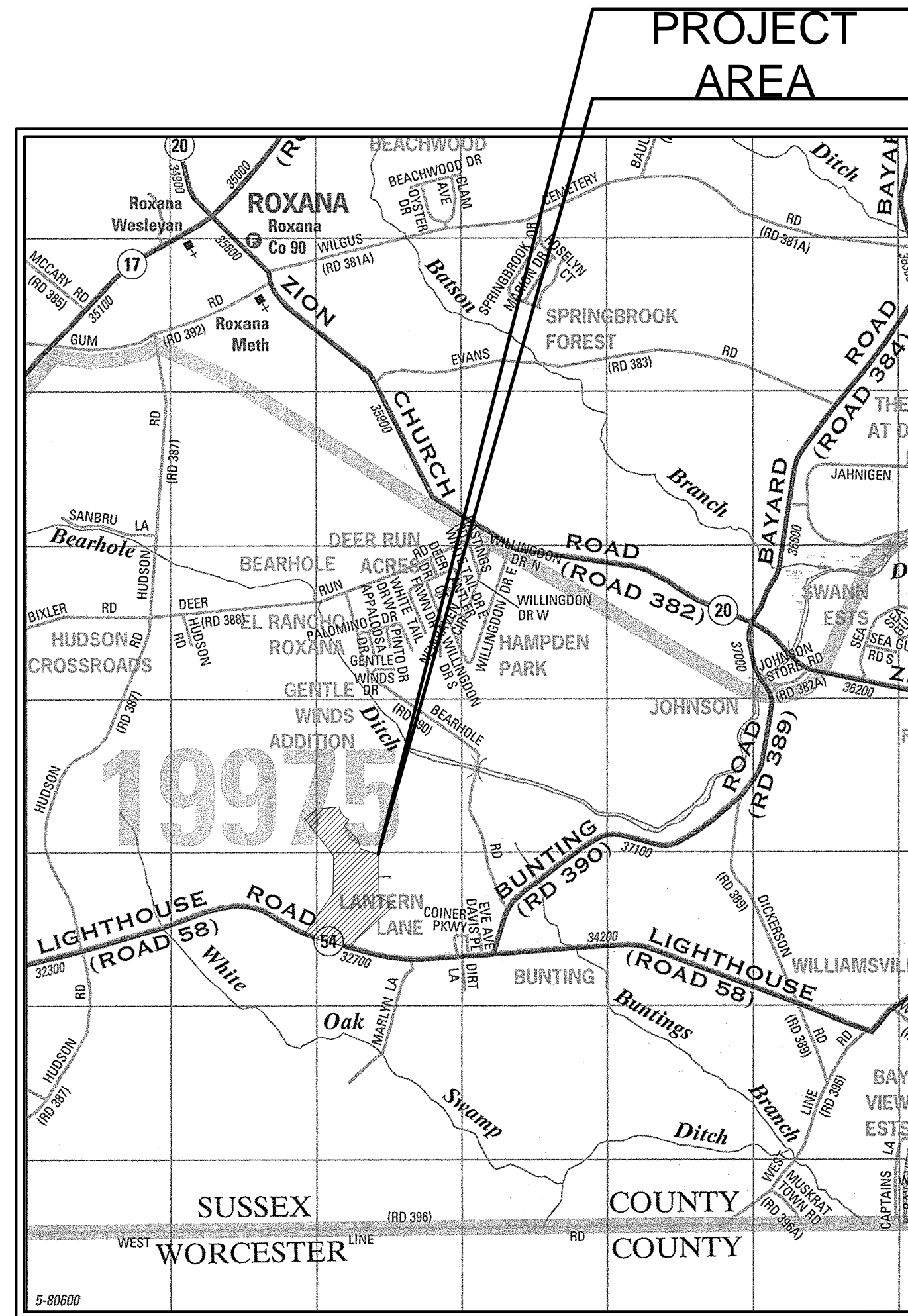
**BUILDING SETBACKS (SINGLE FAMILY):**  
FRONT: 30'  
SIDE: 10'  
REAR: 20' (CODE REQUIRES 30')  
VARIANCE GRANTED BY TOWN COUNCIL ON DEC 5, 2022

**MAX BUILDING HEIGHT:** 35'  
**MIN. LOT AREA:** 7,200 SQ.FT. (CODE REQUIRES 9,000 SQ.FT.)  
VARIANCE GRANTED BY TOWN COUNCIL ON DEC 5, 2022  
**MIN. LOT WIDTH:** 60 (CODE REQUIRES 75' X 120')  
VARIANCE GRANTED BY TOWN COUNCIL ON DEC 5, 2022

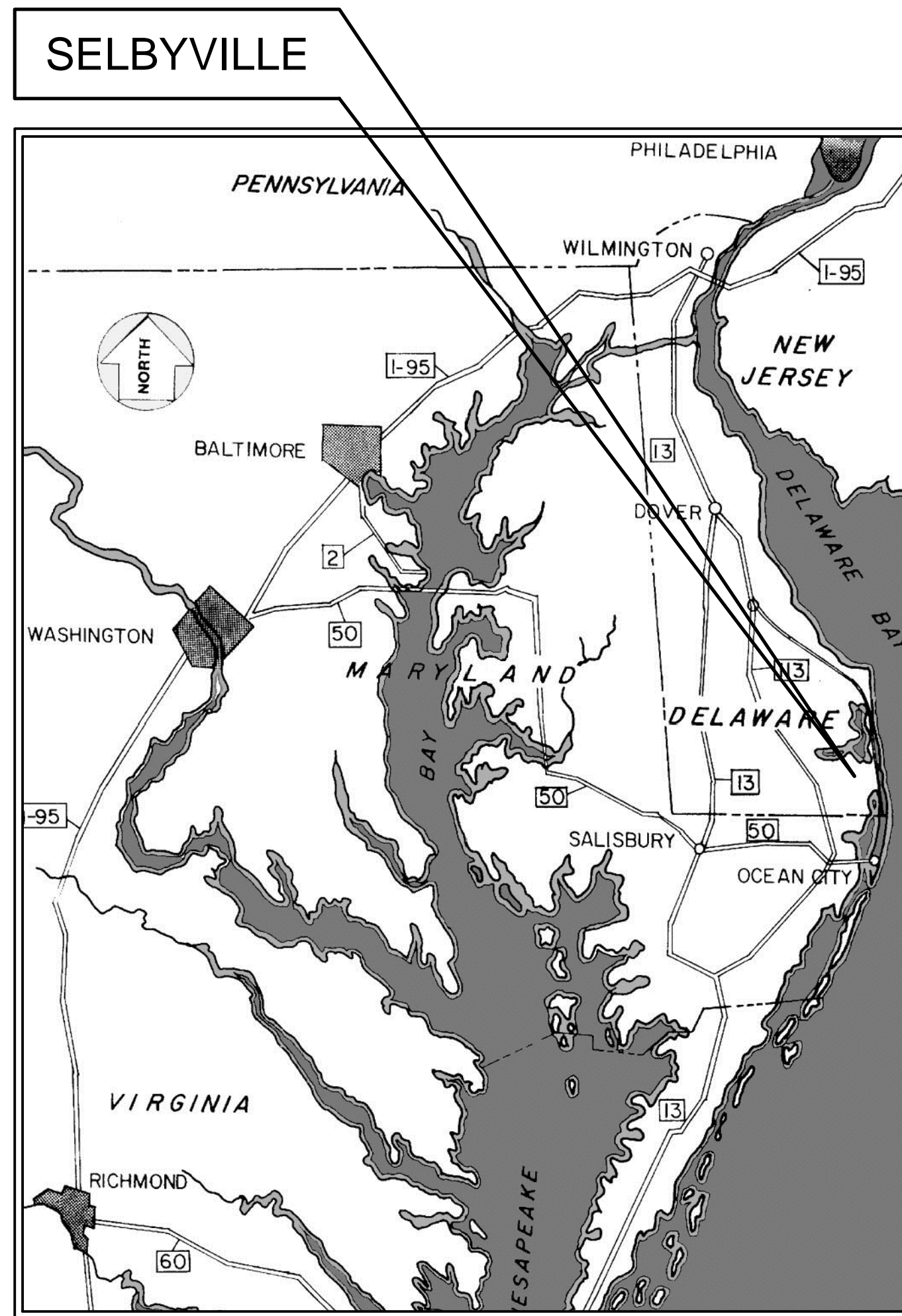
**BUILDING SETBACKS (TOWN HOME):**  
FRONT: 20'  
SIDE: 12.5' (25' BETWEEN STICKS; CODE REQUIRES 40' BETWEEN STICKS)  
REAR: 20'  
VARIANCE GRANTED BY TOWN COUNCIL ON DEC 5, 2022

**MAX BUILDING HEIGHT:** 35'  
**MIN. LOT AREA:** 3,630 SQ.FT.  
**MIN. LOT WIDTH:** 75'  
**LOT DEPTH:** 100'

**UTILITIES:**  
CENTRAL WATER: TOWN OF SELBYVILLE  
PUBLIC SEWER: TOWN OF SELBYVILLE



**LOCATION MAP**  
SCALE: 1" = 2000'



**VICINITY MAP**  
SCALE: 1" = 20 MILES

**GMB**  
GEORGE, MILES & BUHR, LLC  
ARCHITECTS & ENGINEERS  
SALISBURY • BALTIMORE • SEAFORD  
206 WEST MAIN STREET  
SALISBURY, MARYLAND 21801  
410-742-3115, FAX 410-548-5790  
www.gmbnet.com

MARCH 2024

**TOWN ENGINEER:**

THESE PLANS HAVE BEEN REVIEWED AND ARE FOUND TO BE IN GENERAL CONFORMANCE WITH THE TOWN OF SELBYVILLE CODE AND/OR CONSTRUCTION STANDARDS AND SPECIFICATIONS. THE OWNER AND HIS ENGINEER AND/OR SURVEYOR ASSUME ALL RESPONSIBILITY FOR DESIGN AND ACCURACY OF INFORMATION SHOWN HEREOF.

JASON LOAR, P.E. DATE

**TOWN OF SELBYVILLE:**

THESE FINAL PLANS HAVE BEEN APPROVED BY THE MAYOR AND THE COUNCIL OF THE TOWN OF SELBYVILLE AT A COUNCIL MEETING HELD [DATE].

ATTEST: TOWN CLERK BY: MAYOR MEMBER MEMBER

**ENGINEER'S CERTIFICATION:**

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST OF KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEPHEN L. MARSH, P.E. DATE  
GEORGE, MILES, & BUHR, LLC.  
206 W. MAIN STREET  
SALISBURY, MD 21801

**OWNER / DEVELOPER'S CERTIFICATION:**

IT IS HEREBY CERTIFIED THAT I AM THE OWNER (AND/OR DEVELOPER) OF THE IMPROVEMENTS DESCRIBED AND SHOWN ON THIS PLAN. THE PLAN WAS MADE AT MY DIRECTION, AND I ACKNOWLEDGE THE SAME TO BE MY ACT. IT IS MY DESIRE TO HAVE THE PLAN DEVELOPED AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DANIEL BUNTING DATE  
WEST SELBYVILLE DEVELOPMENT, LLC.  
32996 LIGHTHOUSE RD.  
SELBYVILLE, DE 19875  
CONTACT: 443-880-3883

PRINTS ISSUED FOR: REVIEW

| DATE | REVISIONS | NO. |
|------|-----------|-----|
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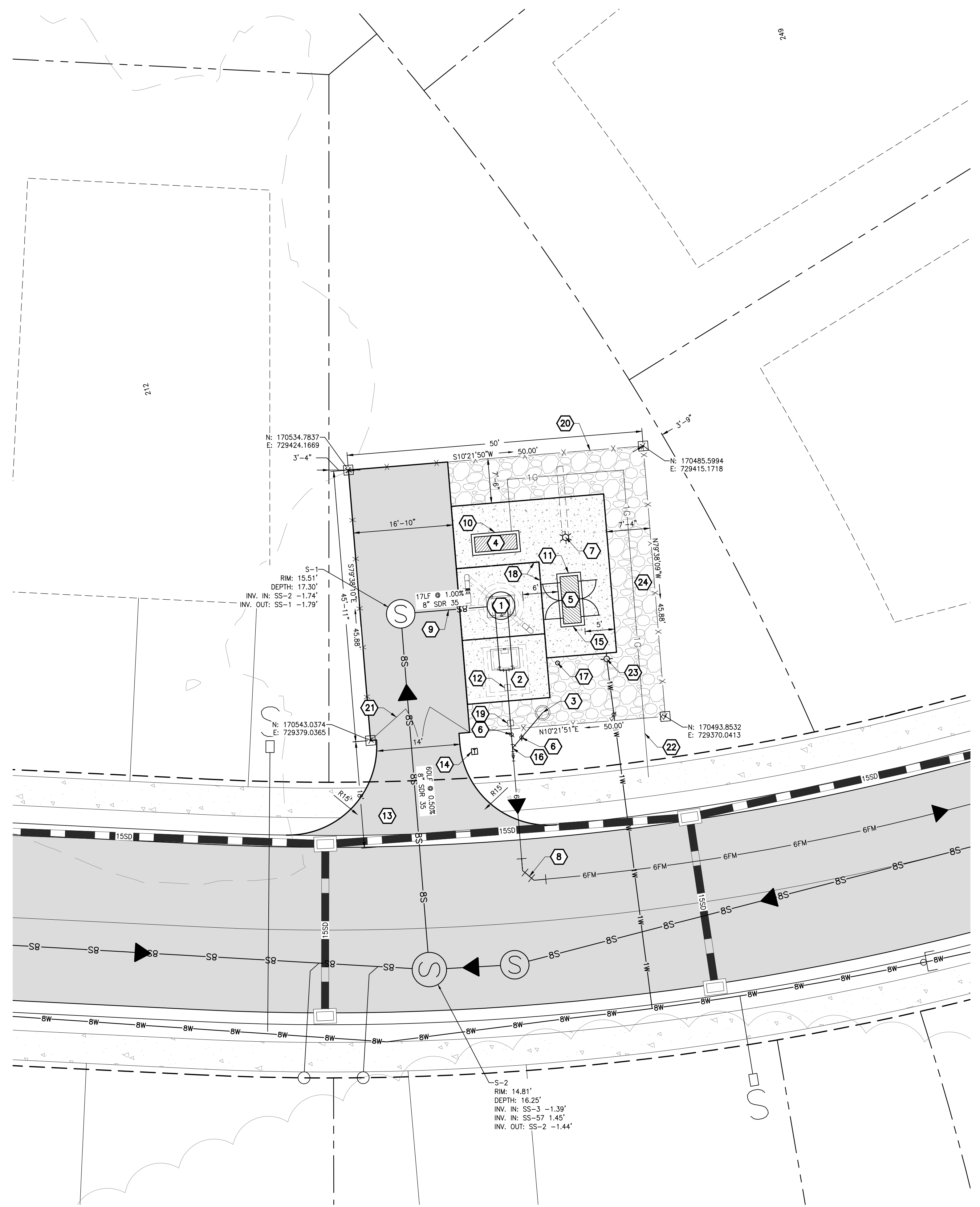
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**KINGFISHER SUBDIVISION  
TOWN OF SELBYVILLE, DELAWARE**

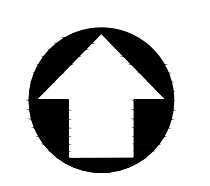
**PUMP STATION COVER SHEET**

SCALE: AS NOTED SHEET NO.  
DESIGN BY: SEM  
DRAWN BY: RFT  
CHECKED BY:  
GMB FILE #: 220013  
DATE: MARCH 2024  
**C6.1**

|              |                     |
|--------------|---------------------|
| PEN1-RED     | 0.01 INCHES (1.0mm) |
| PEN2-YELLOW  | 0.01 INCHES (1.0mm) |
| PEN3-GREEN   | 0.01 INCHES (1.0mm) |
| PEN4-BLUE    | 0.01 INCHES (1.0mm) |
| PEN5-MAGENTA | 0.01 INCHES (1.0mm) |
| PEN6-WHITE   | 0.01 INCHES (1.0mm) |



**PUMP STATION SITE PLAN**  
SCALE: 1" = 10'



**GENERAL NOTES**

- SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE WATER MAIN AND THE SEWER. CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE AS FAR AS POSSIBLE FROM WATER MAIN JOINTS. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER AT CROSSING. AT CROSSINGS ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO MAINTAIN THE MINIMUM SEPARATION DISTANCES, THE DHSS OFFICE OF DRINKING WATER MUST SPECIFICALLY APPROVE ANY VARIANCE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING PIPE INVERTS, MANHOLE INVERTS, AND LOCATIONS PRIOR TO CONNECTION WITH PROPOSED PIPING.
- THE FINAL LOCATION OF ALL PIPING TO BE SUBJECT TO FIELD DETERMINATION BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE FITTINGS AS SHOWN ON THE PLAN OR AS REQUIRED TO CONFORM TO FINAL LOCATION AND GRADE.
- ALL PIPING FOR WHICH ELEVATIONS ARE NOT SHOWN SHALL HAVE 4' MINIMUM COVERAGE.
- PROVIDE BUTTRESSES AT ALL BENDS, TEES, CAPS, OR PLUGS FOR ALL PRESSURE LINES. EXCAVATION AGAINST WHICH BUTTRESSES WILL BEAR SHALL BE FIRM BEARING, FLAT, AND AT PROPER ANGLE TO THE PIPE CONNECTION.
- ALL EXPOSED STATION PIPES, VALVES, FITTINGS, AND ADAPTORS SHALL BE FURNISHED WITH FLANGED JOINT CONNECTIONS.
- ALL NUTS, BOLTS, WASHERS, SCREWS, ANCHOR BOLTS, AND OTHER FASTENERS OUTSIDE AND INSIDE WET WELL SHALL BE TYPE 316 STAINLESS STEEL.
- THE SUBDIVISION LIES ENTIRELY WITHIN FLOOD ZONE "X", AREAS OF MINIMAL FLOODING PER FEMA MAP# 1000500635K, DATED MARCH 16, 2015.
- CONTRACTOR SHALL VERIFY VENTILATION PIPING SHALL NOT INTERFERE WITH REMOVAL OF PUMPS. CONTRACTOR SHALL ENSURE AND DEMONSTRATE CLEAR AND FREE MOVEMENT OF PUMPS.

**CONSTRUCTION NOTES**

- FURNISH AND INSTALL PUMP STATION.
- FURNISH AND INSTALL VALVE VAULT.
- BYPASS PUMPING CONNECTION. SEE SHEET C6.5 FOR DETAIL.
- FURNISH AND INSTALL STAND-BY GENERATOR. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL ELECTRICAL CABINET. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL 4" GATE VALVE.
- FURNISH AND INSTALL POLE MOUNTED LIGHT FIXTURE. POSITION FIXTURE SO THAT 90% OF THE LIGHTING SHALL BE DIRECTED TO THE WET WELL. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL 6" PVC FORCE MAIN.
- 8" INFLUENT GRAVITY SEWER LINE.
- FURNISH AND INSTALL GENERATOR CONCRETE SLAB. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL ELECTRICAL CABINET CONCRETE SLAB. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL 4" ELECTROMAGNETIC FLOW METER. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- PUMP STATION ENTRANCE. SEE SHEET C6.4 FOR DETAIL.
- UTILITY TRANSFORMER. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- MISSION UNIT ANTENNA. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- FURNISH AND INSTALL 4" WYE.
- FURNISH AND INSTALL FALL PROTECTION ANCHOR POST. SEE SHEET C6.5 FOR DETAIL. COORDINATE LOCATION WITH THE TOWN OF SELBYVILLE.
- FURNISH AND INSTALL DOWELED EXPANSION JOINTS.
- FURNISH AND INSTALL TONING WIRE BOX. SEE SHEET C6.4 FOR DETAIL.
- FURNISH AND INSTALL 6-FOOT HIGH VINYL FENCE.
- FURNISH AND INSTALL MINIMUM 12-FOOT WIDE DOUBLE SWING GATE TO MATCH VINYL FENCE.
- FURNISH AND INSTALL 1-INCH NATURAL GAS SERVICE LINE TO STAND-BY GENERATOR.
- FURNISH AND INSTALL 3/4" YARD HYDRANT WITH 1" WATER SERVICE LINE AND VALVE. SEE SHEET C6.5 FOR DETAIL.
- FURNISH AND INSTALL GRAVEL DRIVE SECTION. GRAVEL DRIVE TO EXTEND APPROXIMATELY 1' OUTSIDE OF FENCE LINE IN AREAS SHOWN. SEE SHEET C6.4 FOR DETAIL.

**LEGEND**

| EXISTING  | PROPOSED  |                            |
|-----------|-----------|----------------------------|
| ---       | N/A       | RIGHT OF WAY               |
| ---       | N/A       | PROPERTY LINE              |
| ---       | N/A       | PUMP STATION PROPERTY LINE |
| [Pattern] | [Pattern] | PAVED ROAD                 |
| ~29~      | ~29~      | ELEVATION CONTOUR          |
| N/A       | [Symbol]  | LIGHT POLE                 |
| N/A       | [Pattern] | CONCRETE SURFACE           |
| N/A       | ---x---   | FENCE                      |
| N/A       | ---4FM--- | FORCE MAIN                 |
| N/A       | ---8S---  | SANITARY SEWER             |
| N/A       | ---8W---  | WATER                      |
| ~         | N/A       | GRASS                      |
| N/A       | [Symbol]  | MANHOLE                    |
| N/A       | 9.5 TOS   | SPOT SHOTS, TOP OF SLAB    |

|                              |
|------------------------------|
| PRINTS ISSUED FOR:<br>REVIEW |
| DATE                         |
| REVISIONS                    |
| NO.                          |

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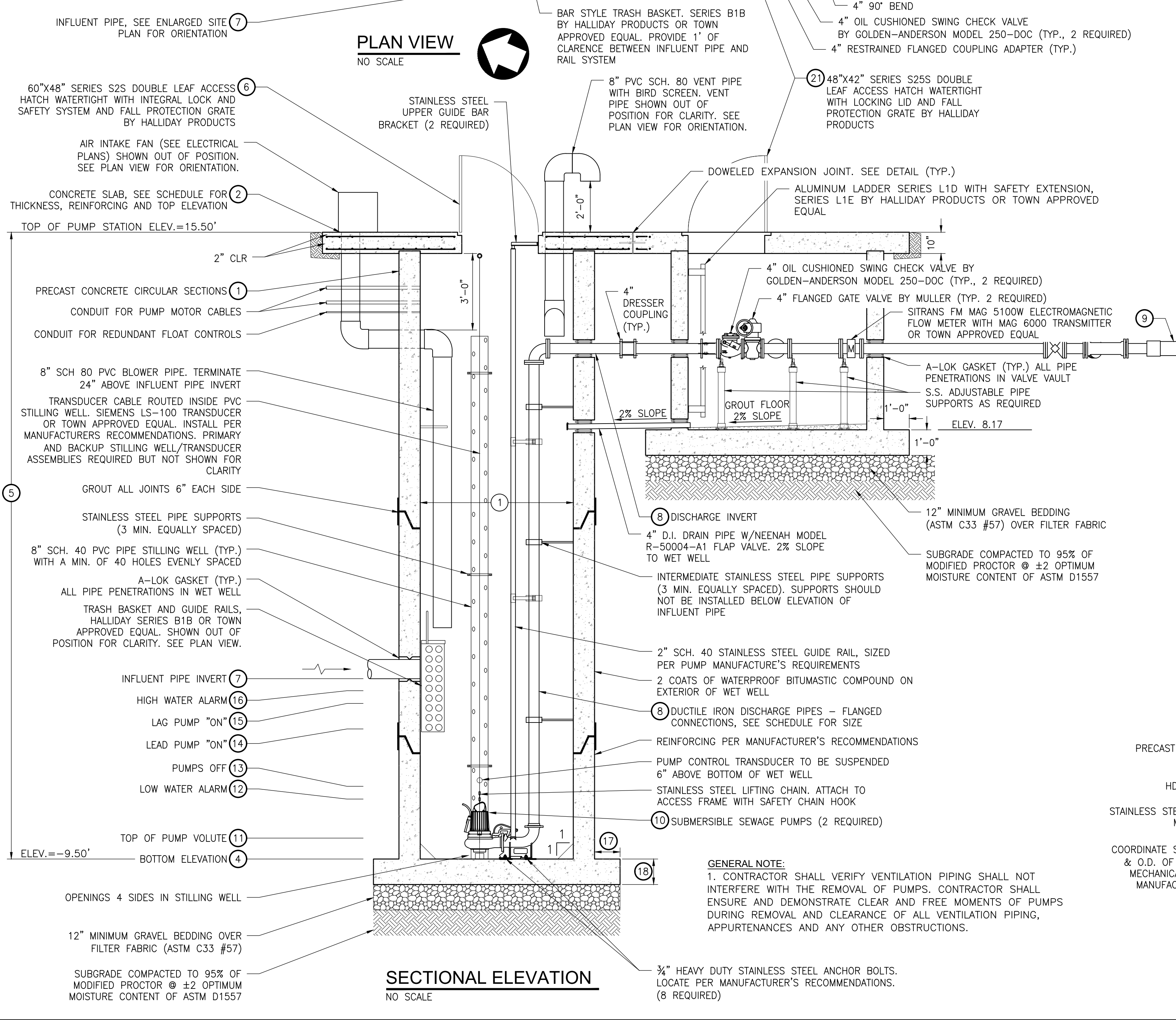
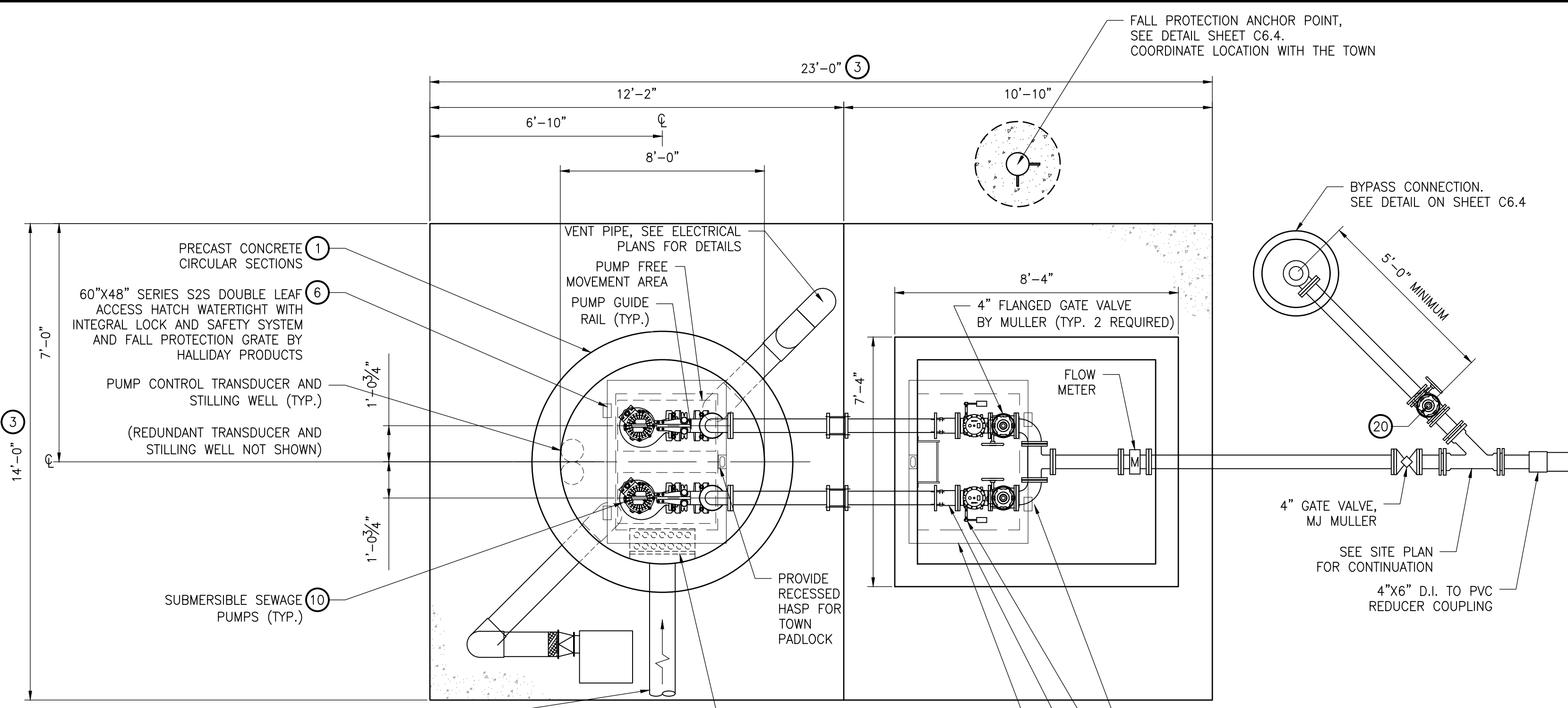
**KINGFISHER SUBDIVISION**  
 TOWN OF SELBYVILLE, DELAWARE

**PUMP STATION SITE PLAN**

|                   |             |
|-------------------|-------------|
| SCALE : 1" = 10'  | SHEET NO.   |
| DESIGN BY : SEM   | <b>C6.2</b> |
| DRAWN BY : RFT    |             |
| CHECKED BY :      |             |
| GMB FILE : 220013 |             |
| DATE : MARCH 2024 |             |

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C:\Projects\2023\20013 Kingfisher Subdivision\Drawings\Plan\03 Pump Station Plan and Section.dwg, 3/27/2024, Sra E. McQuaid  
 PLOT DATE: 3/27/2024 10:00 AM  
 PLOT CODE: PSM-CON  
 PLOT SCALE: 1/8" = 1'-0"  
 PLOT UNIT: Feet  
 PLOT DIMENSION: 200 INCHES (5080mm)  
 PLOT WEIGHT: 200 INCHES (5080mm)  
 PLOT WIDTH: 200 INCHES (5080mm)  
 PLOT HEIGHT: 200 INCHES (5080mm)



**BUOYANCY PROTECTION**

**PUMP STATION PARAMETERS**  
 WET WELL INSIDE DIAM. = 8 FEET  
 MIN. WALL THICKNESS = 8 INCHES  
 TOTAL DEPTH = 25.00 FEET (TOP SLAB TO FINISH BOTTOM ELEV.)  
 TOP SLAB LENGTH = 12.167 FEET  
 TOP SLAB WIDTH = 14 FEET  
 TOP SLAB THICKNESS = 10 INCHES  
 HEIGHT OF CYLINDER = 24.17 FEET  
 BASE MIN. THICKNESS = 12 INCHES  
 LIP MIN. THICKNESS = 12 INCHES  
 WEIGHT OF WATER = 62.4 #/CF  
 WEIGHT OF SOIL = 110 #/CF  
 WEIGHT OF CONCRETE = 145 #/CF  
 ASSUME LIP = 24 INCHES (MINIMUM OF 6")  
 (ASSUME WATER AT GROUND SURFACE)

**VALVE VAULT PARAMETERS**  
 INSIDE LENGTH = 8 FEET  
 INSIDE WIDTH = 7 FEET  
 MIN. WALL THICKNESS = 4 INCHES  
 TOTAL DEPTH = 8.83 FEET (TOP SLAB FINISH BOTTOM ELEV.)  
 TOP SLAB LENGTH = 10.83 FEET  
 TOP SLAB WIDTH = 14 FEET  
 TOP SLAB THICKNESS = 10 INCHES  
 HEIGHT OF VALVE VAULT = 8.00 FEET  
 BASE MIN. THICKNESS = 12 INCHES  
 WEIGHT OF WATER = 62.4 #/CF  
 WEIGHT OF SOIL = 110 #/CF  
 WEIGHT OF CONCRETE = 145 #/CF

**UPWARD FORCES**  
 CYLINDER = 78,000 LBS.  
 (AREA OF CYLINDER \* HEIGHT OF CYLINDER \* WEIGHT WATER)  
 VALVE VAULT = 27,944 LBS.  
 (AREA OF INSIDE VALVE VAULT \* HEIGHT OF VALVE VAULT \* WEIGHT WATER)  
 TOTAL UP = 103,744

**DOWNWARD FORCES**  
 TOP = 9,959 LBS.  
 ((TOP SLAB LENGTH \* TOP SLAB WIDTH \* TOP SLAB THICKNESS) - (VOLUME OF HATCH OPENINGS)) \* (WEIGHT CONCRETE - WEIGHT WATER)  
 CYLINDER = 35,233 LBS.  
 (AREA OF CONCRETE CYLINDER \* HEIGHT OF CYLINDER \* (WEIGHT CONCRETE - WEIGHT WATER))  
 BASE OF PS = 5,651 LBS.  
 (AREA OF CYLINDER \* BASE THICKNESS \* (WEIGHT CONCRETE - WEIGHT WATER))  
 BASE OF LIP = 10,380 LBS.  
 (AREA OF LIP \* BASE THICKNESS \* (WEIGHT CONCRETE - WEIGHT WATER))  
 BASE OF VALVE VAULT = 7,762 LBS.  
 (AREA OF VALVE VAULT \* HEIGHT OF VALVE VAULT INCLUDING BASE \* (WEIGHT CONCRETE - WEIGHT WATER))  
 SOIL = 81,915 LBS.  
 (AREA OF SOIL CYLINDER ABOVE LIP \* HEIGHT OF CYLINDER \* (WEIGHT SOIL - WEIGHT WATER))  
 TOTAL DOWN = 151,906 LBS.

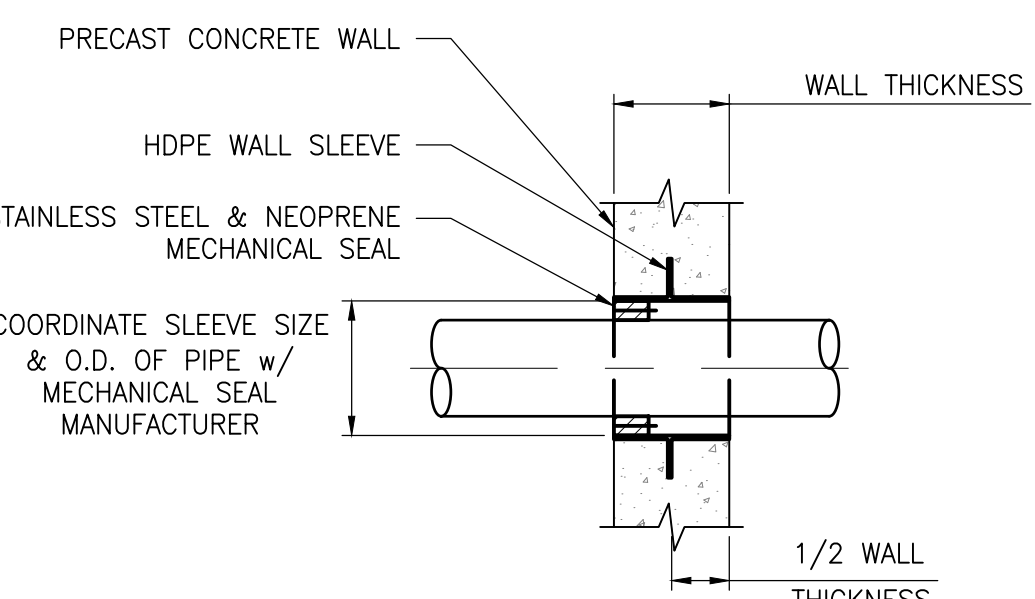
**FACTOR OF SAFETY**  
 DESIRED FACTOR OF SAFETY = 1.5 (IF F.O.S. IS DIFFERENT FROM DESIRED VALUE, ADJUST LIP)  
 F.O.S. = 1.50  
 (TOTAL DOWN / TOTAL UP)

**PUMP STATION DESIGN DATA**

**PUMP STATION**  
 PER CAPITA FLOW (Q<sub>p</sub>): 122,000 GPD (84.72 GPM)  
 Q<sub>p</sub> = EDU x 250  
 PEAK DESIGN FLOW (Q<sub>p</sub>): 366,000 GPD (254 GPM)  
 Q<sub>p</sub> = (Q<sub>p</sub> x PEAK 3.0)  
 WET WELL VOLUME (GALLONS): 572 GALLONS  
 $V_{min} = (T_{min} \times Q_p) / 4$   
 $T_{min} = 9$

**FORCEMAIN SIZING**  
 FORCEMAIN SIZE: 6-INCH  
 FORCEMAIN VELOCITY: 3.02 FPS  
 $v = (Q_p \times 0.32) / \text{AREA}$   
 FORCEMAIN DISCHARGE SIZE: 4-INCH  
 FORCEMAIN DISCHARGE VELOCITY: 5.65 FPS

NOTE: CALCULATIONS BASED ON INFORMATION PROVIDED IN TOWN OF SELBYVILLE STANDARDS.



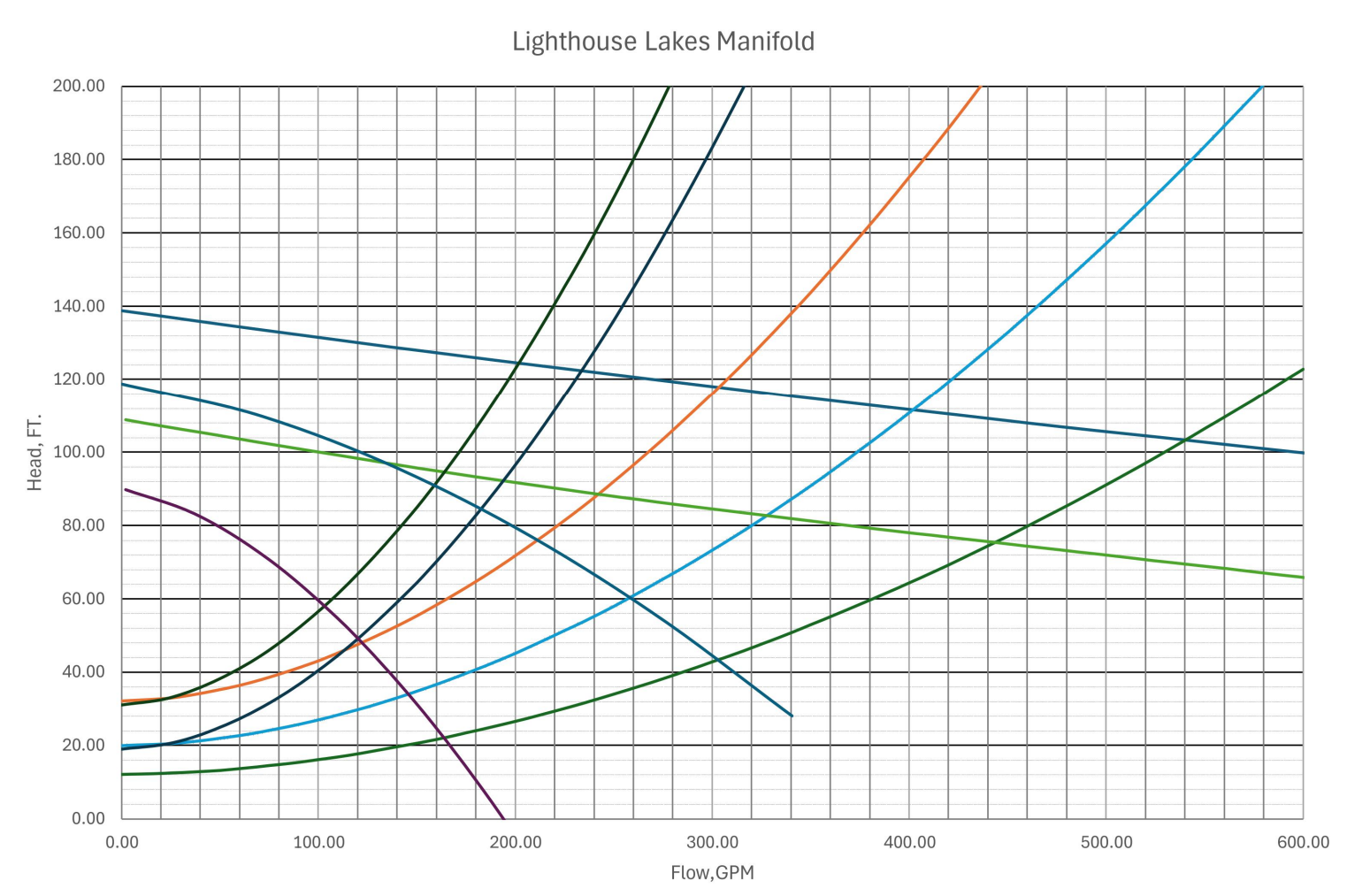
**PUMP STATION SCHEDULE**

| NO. | DESCRIPTION  | DETAILS  |
|-----|--|--|
| 1   | PRECAST CONCRETE PUMP STATION  | INSIDE DIAMETER: 8'-0"<br>MINIMUM WALL THICKNESS: 0'-8"<br>TOP OF SLAB ELEVATION: 15.50' |
| 2   | TOP SLAB, 4000 PSI CONCRETE  | SLAB THICKNESS: 10"<br>REINFORCEMENT: #5 @ 6" E.W. T&B                                   |
| 3   | TOP SLAB DIMENSIONS  | LENGTH: 23'-0"<br>WIDTH: 14'-0"<br>BOTTOM SLAB ELEVATION: -9.50'                         |
| 4   | BOTTOM SLAB, 3500 PSI CONCRETE   | SLAB THICKNESS: 12"<br>REINFORCEMENT: PER MANUFACTURER                                   |
| 5   | TOTAL DEPTH - TOP TO FINISHED BOTTOM ELEV.   | 25.00'   |
| 6   | PUMP HATCH WITH FALL PROTECTION GRATE (OPEN CLEAR SPACE DIM.)                      | 60"x48"  |
| 7   | INFLUENT PIPE  | PIPE INSIDE DIAMETER: 8"<br>INVERT ELEVATION: -1.96'                                     |
| 8   | PUMP DISCHARGE PIPE & FITTING DIA.   | SIZE: 4"<br>INVERT ELEVATION - OUT: 8.50'  |
| 9   | FORCE MAIN PIPE DIAMETER (4' MINIMUM COVER WITH DETECTION WIRE AND DETECTION TAPE) | 6"   |
| 10  | SEWAGE PUMP: DESIGN: DUPLEX  | CAPACITY OF EACH PUMP (GPM): 292<br>T.D.H. (FT): 118.00<br>H.P.: 25.0                    |
| 11  | NP 3171 VOLUTE   | -8.68'   |
| 12  | LOW WATER ALARM  | -6.00'   |
| 13  | PUMPS "OFF"  | -5.50'   |
| 14  | LEAD PUMP "ON"   | -4.00'   |
| 15  | LAG PUMP "ON"  | -3.50'   |
| 16  | HIGH WATER ALARM   | -3.00'   |
| 17  | BASE MINIMUM FLANGE DIMENSION  | 8"   |
| 18  | BASE MINIMUM THICKNESS   | 12"  |
| 19  | 100-YEAR FLOOD ELEVATION   | ZONE X   |
| 20  | BY-PASS CHAMBER GATE VALVE, MJ MULLER (TYP.)                                       | 4"   |
| 21  | VAULT HATCH WITH FALL PROTECTION GRATE (OPEN CLEAR SPACE DIM.)                     | 48"x42"  |

**PUMP STATION DESIGN CALCULATIONS**

**PROPOSED DEVELOPMENT EDUS**  
 TOTAL KINGFISHER SUBDIVISION EDUS: 488  
 AVERAGE DAILY FLOW: 122,000 GPD (84.72 GPM)  
 PEAK FACTOR: 3.00  
 PEAK DAILY FLOW: 366,000 GPD (254 GPM)

**DESIGN**  
 PHASE 1 FLOWS CONSIDERED IN MANIFOLD WITH LIGHTHOUSE LAKES  
 DESIGN IS TO ALTERNATE PUMPS  
 TOTAL EDUS: 100  
 AVERAGE DAILY FLOW: 25,000 GPD (17.36 GPM)  
 PEAK FACTOR: 3.00  
 PEAK DAILY FLOW: 75,000 GPD (52 GPM)



PRINTS ISSUED FOR REVIEW

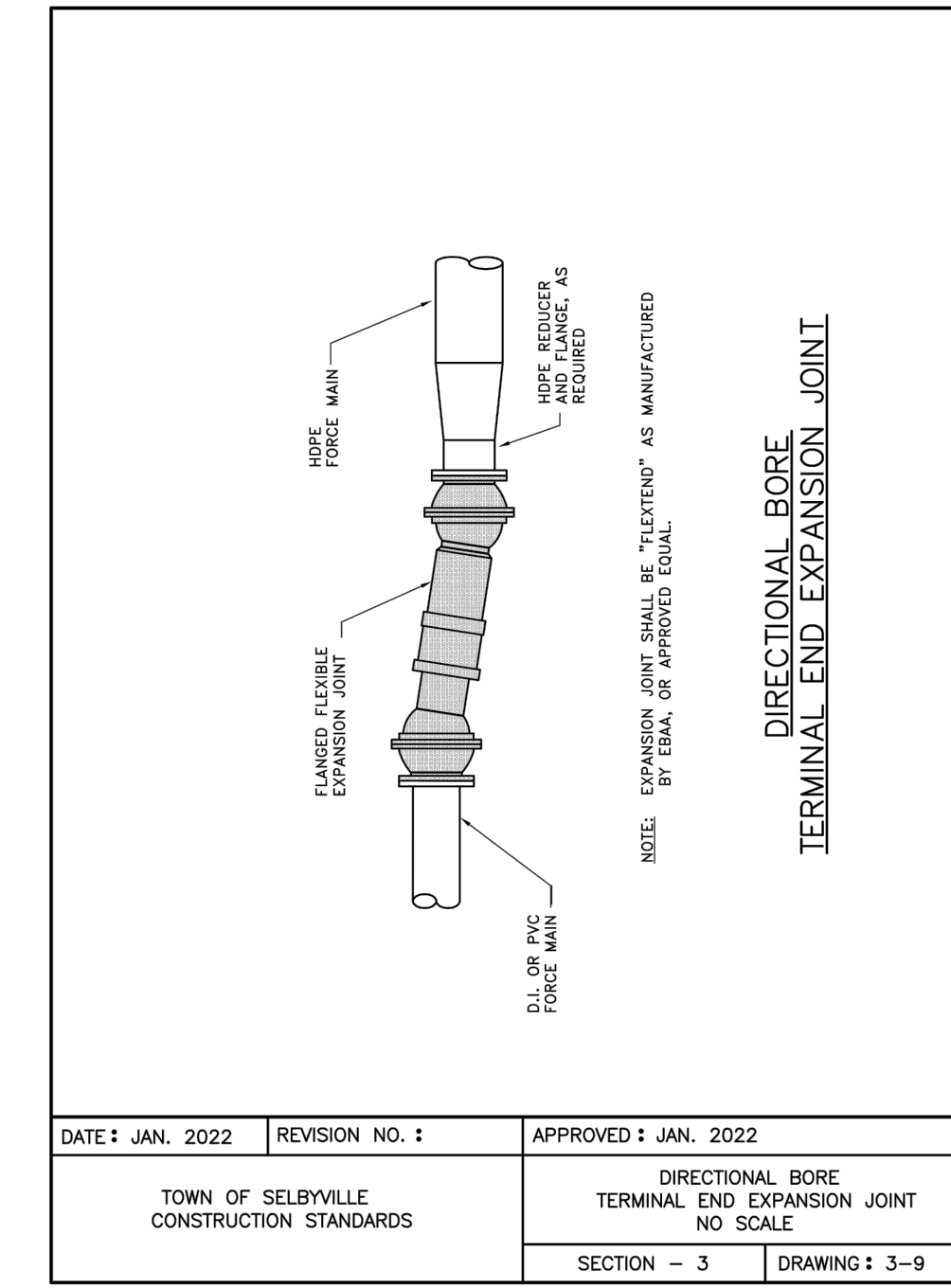
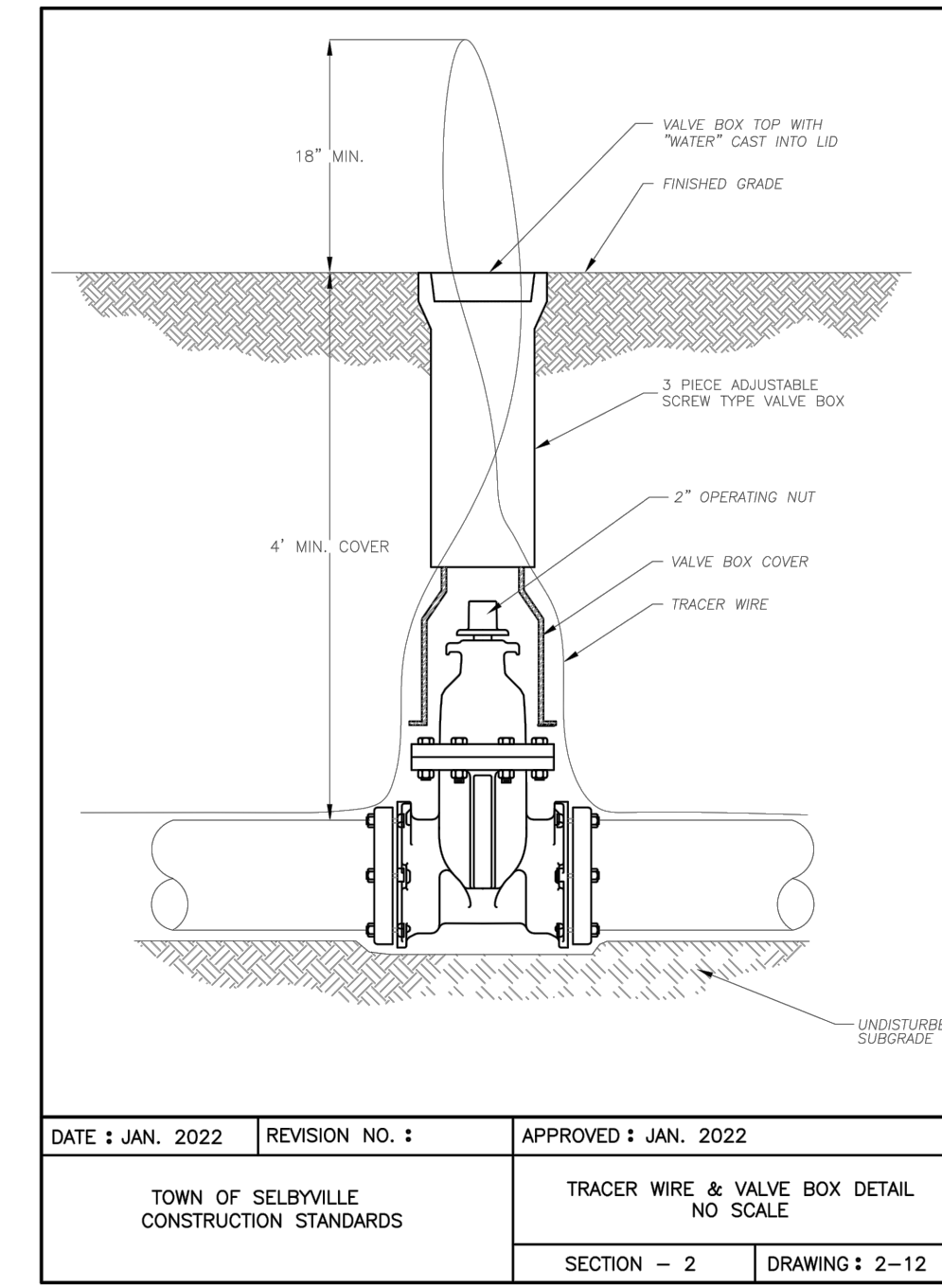
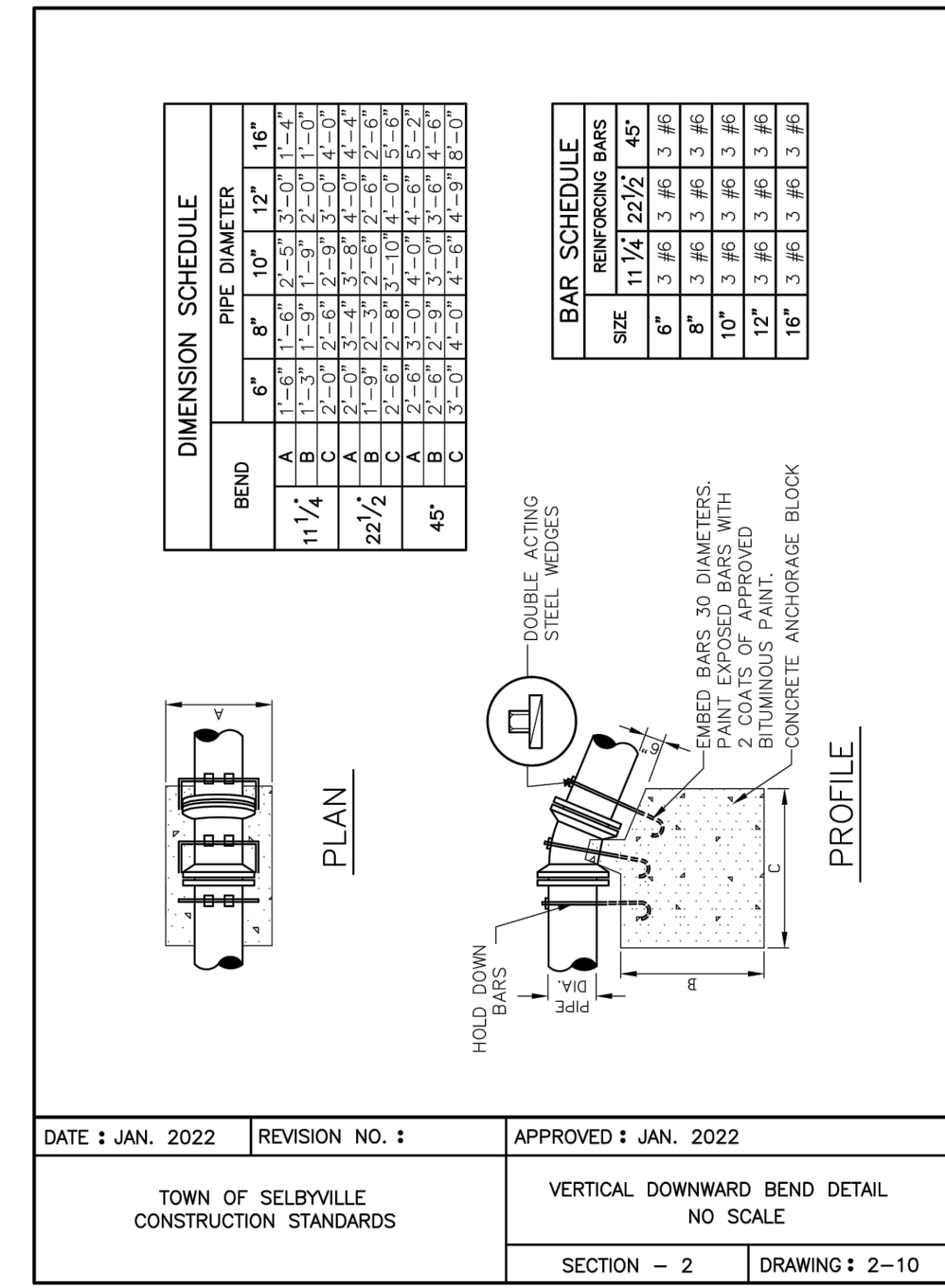
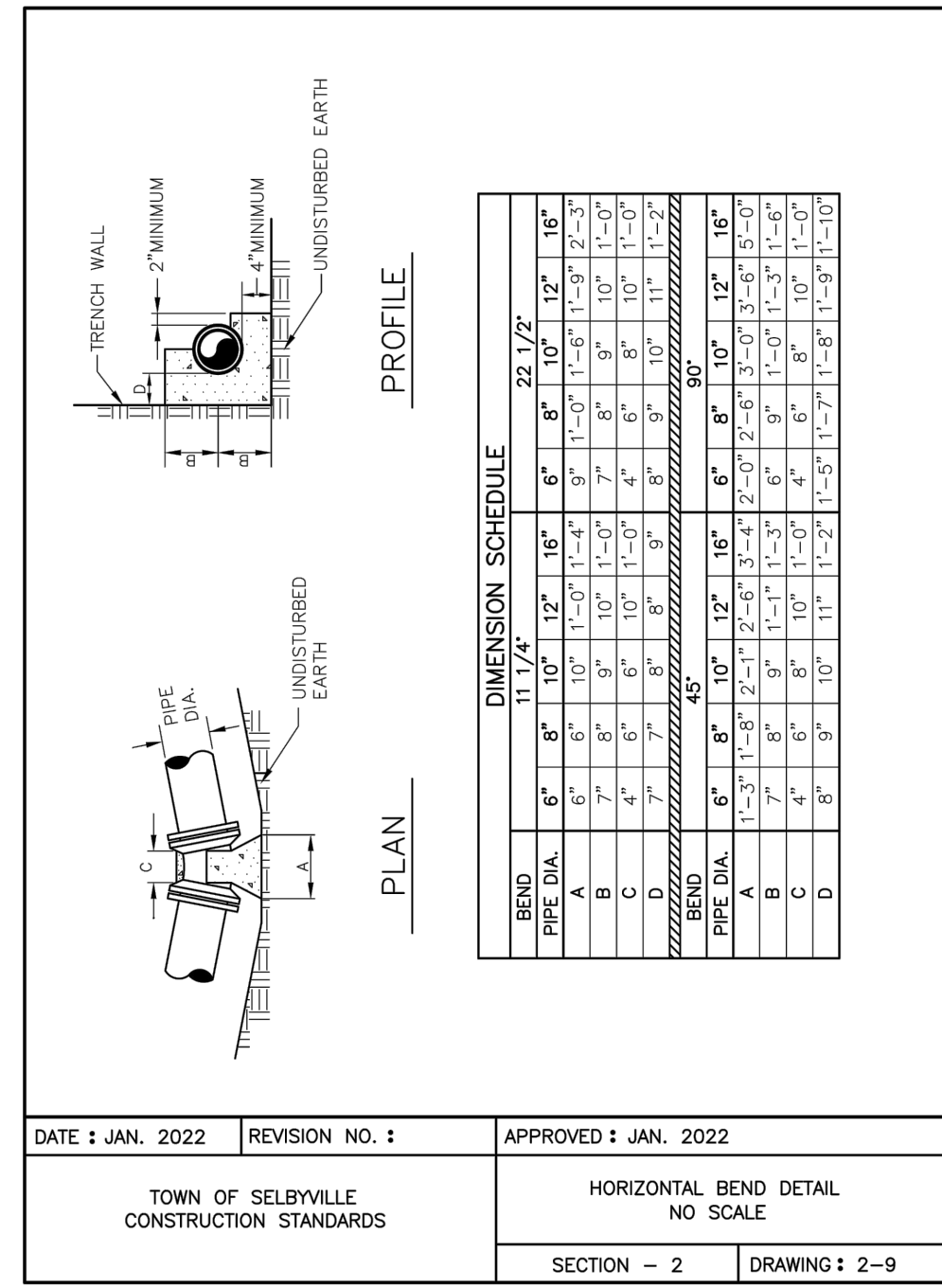
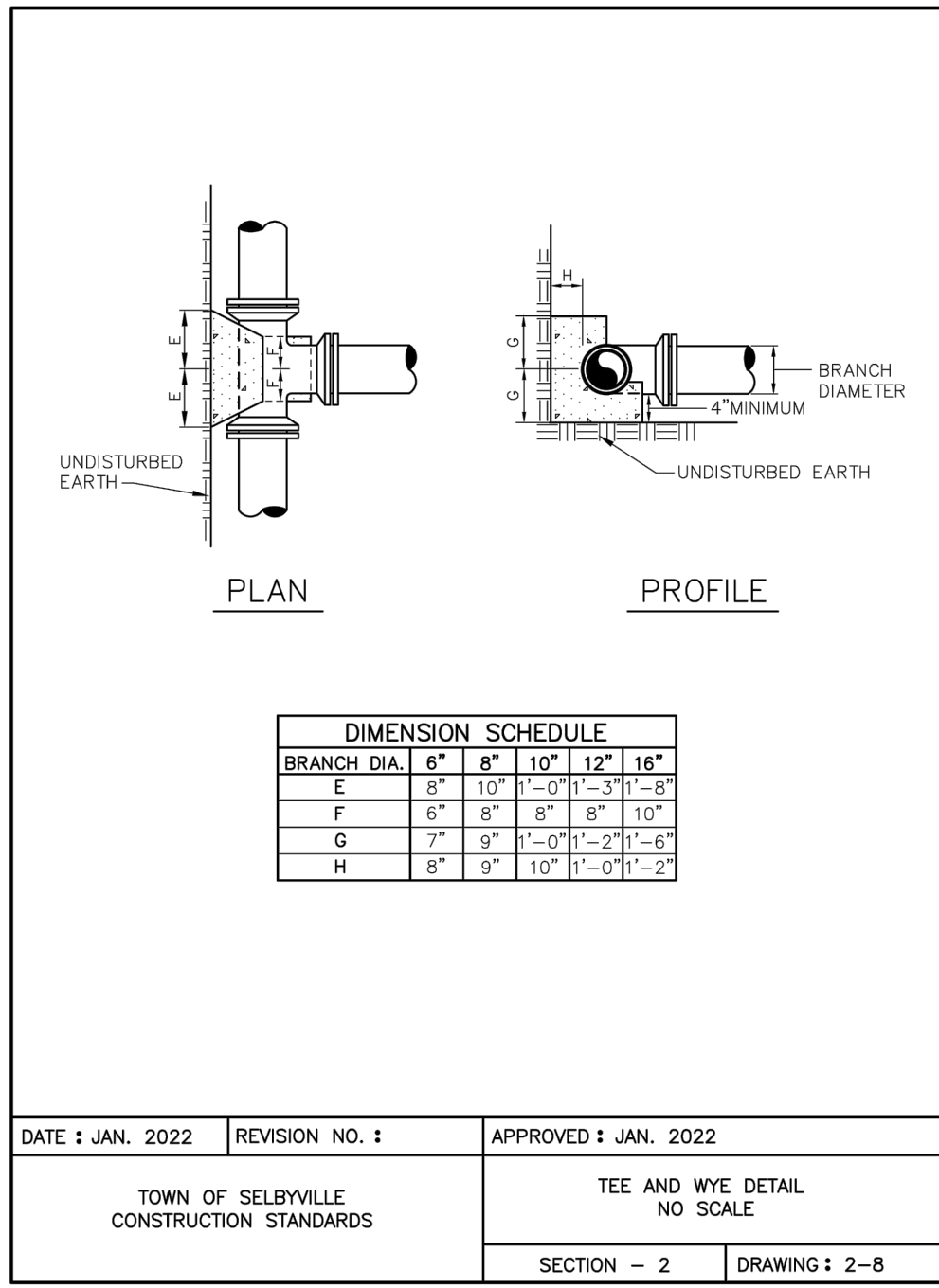
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|------|-----------|-----|
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**KINGFISHER SUBDIVISION**  
 TOWN OF SELBYVILLE, DELAWARE

**PUMP STATION PLAN AND SECTION**

SCALE: NO SCALE SHEET NO. C6.3  
 DESIGN BY: SEM  
 DRAWN BY: RFT  
 CHECKED BY:  
 GMB FILE: 220013  
 DATE: MARCH 2024  
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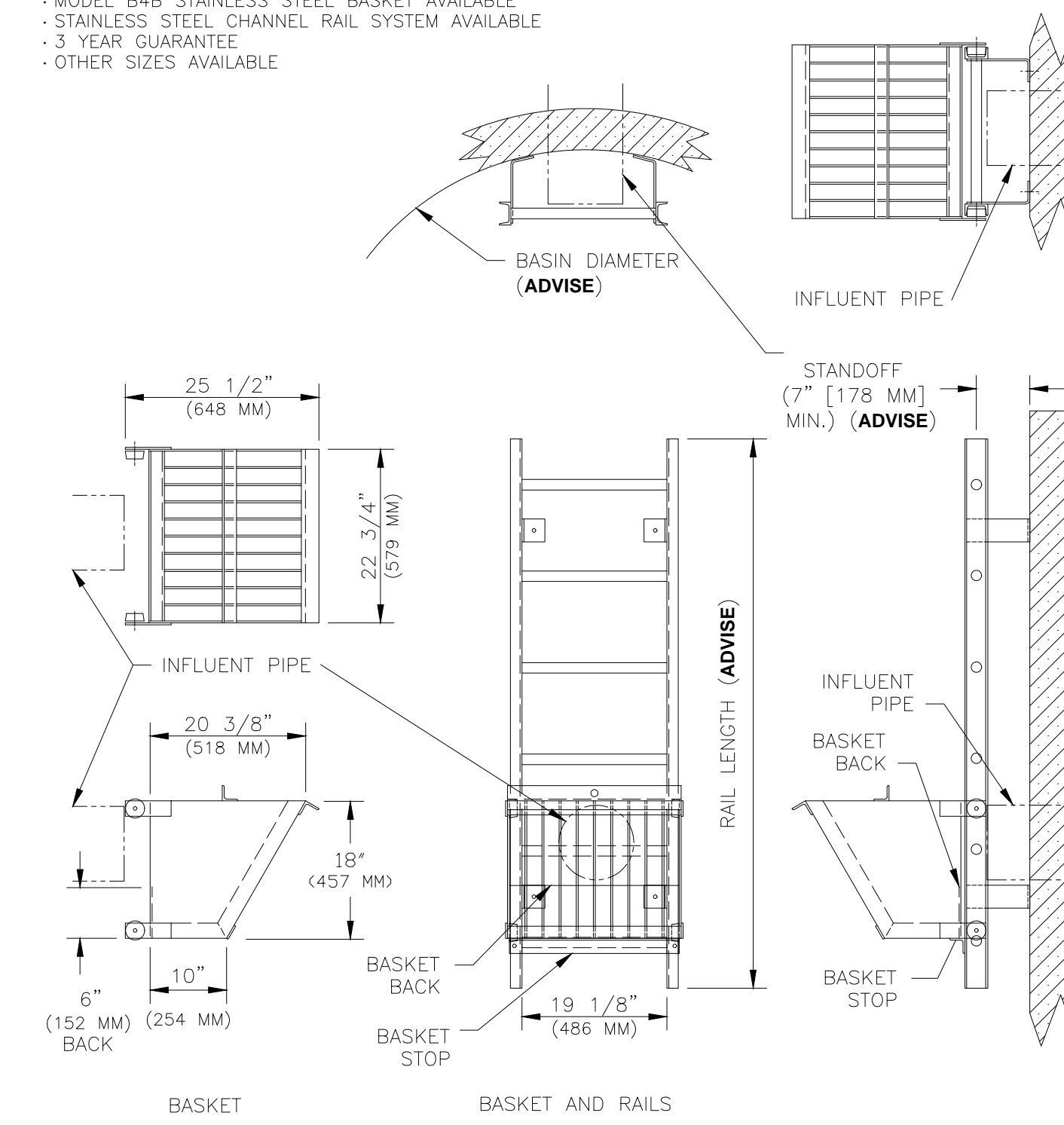


### SERIES B1B TRASH BASKET

- STANDARD FEATURES:**
- ALL ALUMINUM BASKET AND RAILS
  - SOLID ALUMINUM WHEELS AND STAINLESS STEEL AXLES
  - HEAVY DUTY LADDER/GUIDERAIL COMBINATION
  - 1 3/8" TYPE "D" RUNG WITH FLAT SLIP RESISTANT SURFACE
  - BAR SCREEN STYLE BASKET
  - AVAILABLE W/O LADDER RUNGS (GUIDE RAILS ONLY)
  - MODEL B4B STAINLESS STEEL BASKET AVAILABLE
  - STAINLESS STEEL CHANNEL RAIL SYSTEM AVAILABLE
  - 3 YEAR GUARANTEE
  - OTHER SIZES AVAILABLE



- REQUIRED INFORMATION:**
- BASIN DIAMETER
  - RAIL LENGTH
  - STANDOFF LENGTH (7" [178 MM] MIN. FOR LADDER COMBO)



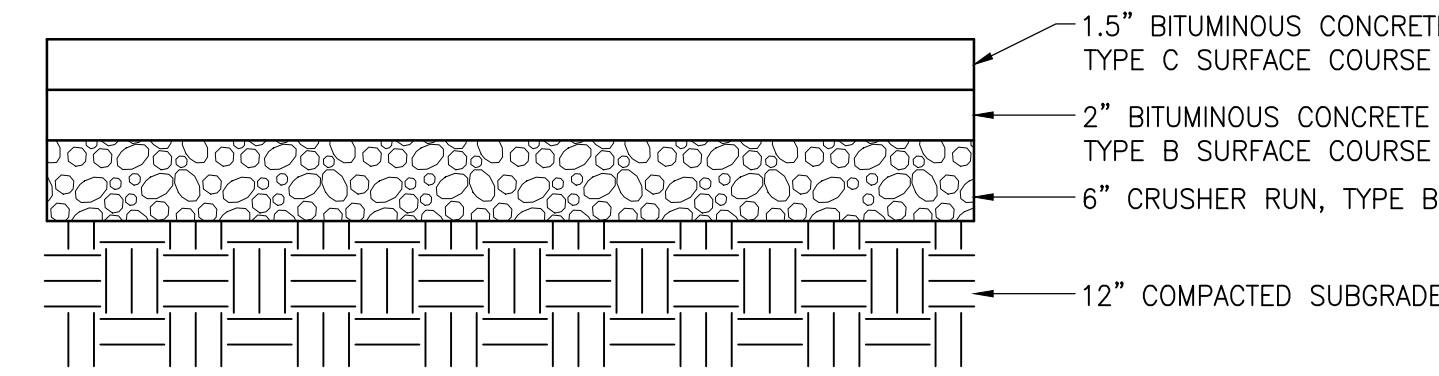
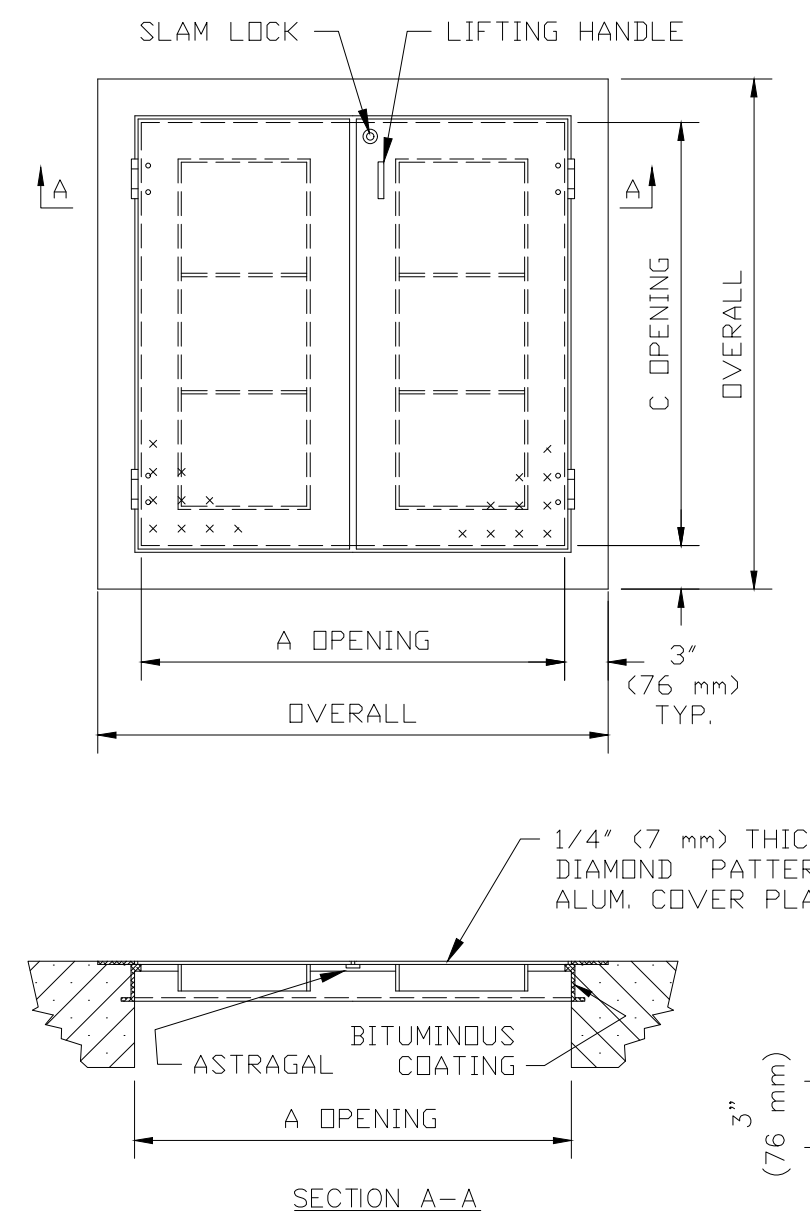
### SERIES S2S ACCESS DOOR

**STANDARD FEATURES:**

- 300 LBS. PER SQ. FT. LOAD RATING (1464 kg PER SQ. METER LOAD RATING)
- EXTRUDED ALUMINUM ANGLE FRAME
- DOUBLE LEAF CONSTRUCTION
- AUTO-LOCK T-316 STAINLESS STEEL HOLD OPEN ARM WITH RELEASE HANDLE
- T-316 STAINLESS STEEL HINGES AND ATTACHING HARDWARE
- T-316 STAINLESS STEEL SLAM LOCK WITH REMOVABLE KEY
- STAINLESS STEEL COMPRESSION SPRING ASSIST
- BUILT-IN EPDM CUSHION/GASKET
- NON-OZONE DEPLETING BITUMINOUS COATING
- RECESSED LIFTING HANDLE
- LIFETIME GUARANTEE



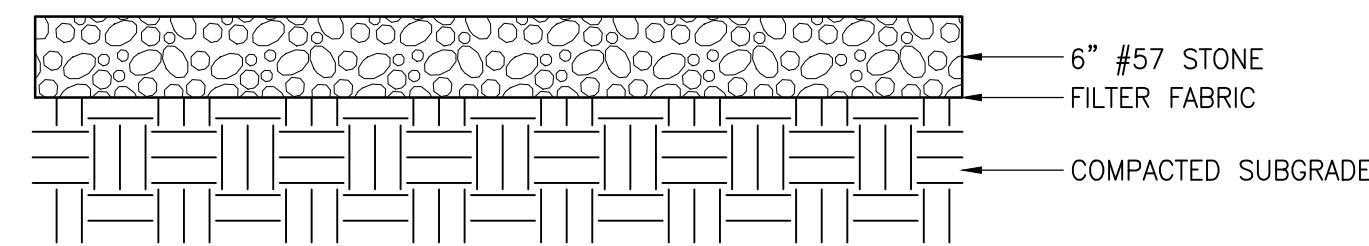
| QTY. | MODEL NO. | A DIM. INCHES (mm) | C DIM. INCHES (mm) | UNIT WT. LBS. (kg.) |
|------|-----------|--------------------|--------------------|---------------------|
| 1    | S2S4242   | 42 (1067)          | 42 (1067)          | 93 (42)             |
| 1    | S2S4842   | 48 (1219)          | 42 (1067)          | 99 (45)             |
| 1    | S2S4848   | 48 (1219)          | 48 (1219)          | 110 (50)            |
| 1    | S2S442    | 54 (1372)          | 42 (1067)          | 108 (49)            |
| 1    | S2S448    | 54 (1372)          | 48 (1219)          | 119 (54)            |
| 1    | S2S454    | 54 (1372)          | 54 (1372)          | 127 (58)            |
| 1    | S2S6030   | 60 (1524)          | 30 (762)           | 87 (39)             |
| 1    | S2S6036   | 60 (1524)          | 36 (914)           | 100 (45)            |
| 1    | S2S6042   | 60 (1524)          | 42 (1067)          | 115 (52)            |
| 1    | S2S6048   | 60 (1524)          | 48 (1219)          | 130 (59)            |
| 1    | S2S6054   | 60 (1524)          | 54 (1372)          | 143 (65)            |
| 1    | S2S6060   | 60 (1524)          | 60 (1524)          | 158 (72)            |
| 1    | S2S6636   | 66 (1676)          | 36 (914)           | 109 (49)            |
| 1    | S2S6648   | 66 (1676)          | 48 (1219)          | 141 (64)            |
| 1    | S2S7236   | 72 (1829)          | 36 (914)           | 116 (53)            |
| 1    | S2S7242   | 72 (1829)          | 42 (1067)          | 135 (61)            |
| 1    | S2S7248   | 72 (1829)          | 48 (1219)          | 151 (68)            |
| 1    | S2S7254   | 72 (1829)          | 54 (1372)          | 168 (76)            |
| 1    | S2S7260   | 72 (1829)          | 60 (1524)          | 178 (81)            |



- NOTES**
1. ALL THICKNESS SHOWN ARE MINIMUM COMPACTED IN PLACE.
  2. SLOPE PAVEMENT FOR POSITIVE DRAINAGE.

### PUMP STATION PAVEMENT DETAIL

NO SCALE



- NOTES**
1. ALL THICKNESS SHOWN ARE MINIMUM COMPACTED IN PLACE.
  2. SLOPE GRAVEL FOR POSITIVE DRAINAGE.

### GRAVEL DRIVE DETAIL

NO SCALE

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DATE: \_\_\_\_\_

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TOWN OF SELBYVILLE, DELAWARE

### PUMP STATION DETAILS

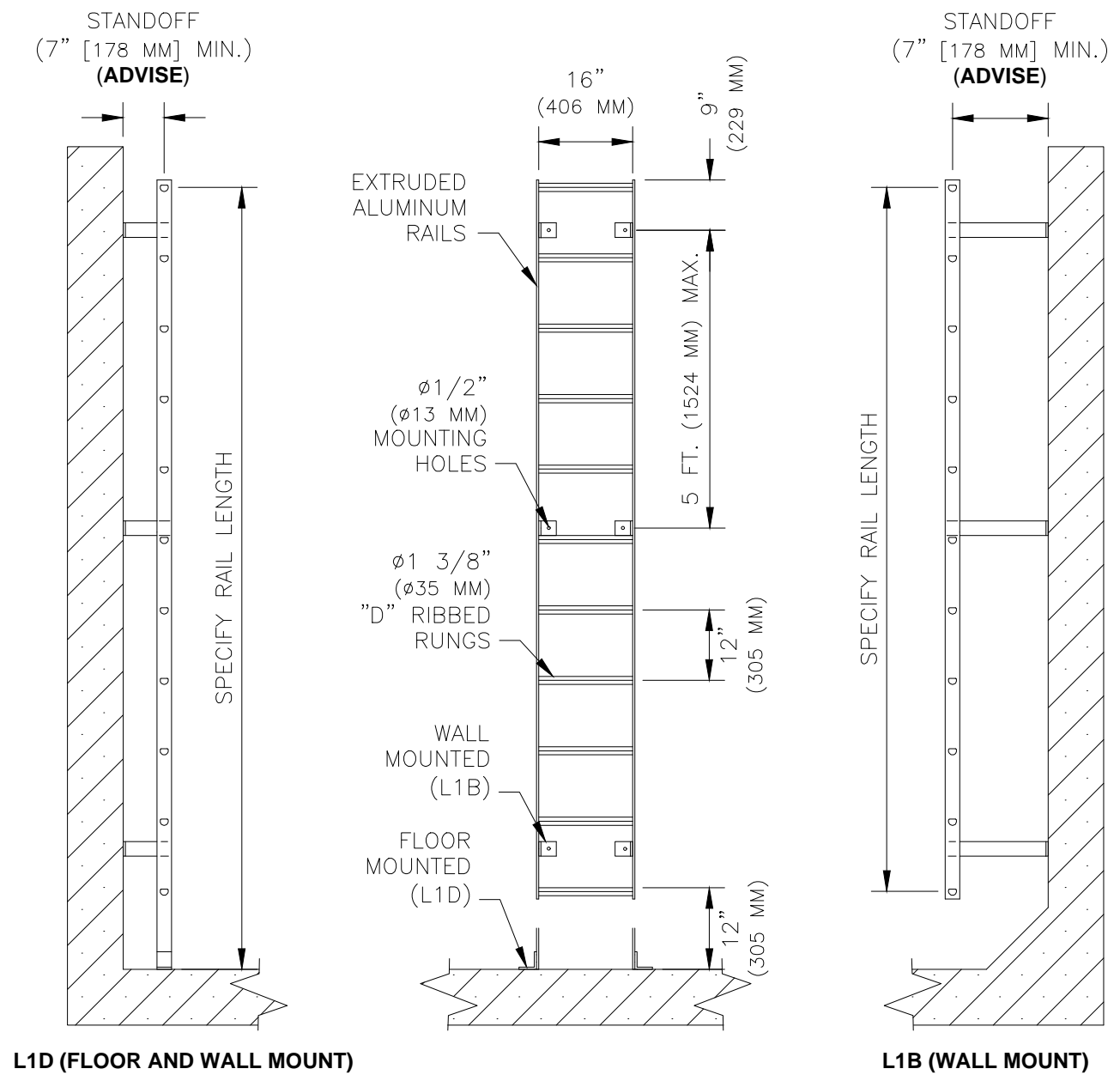
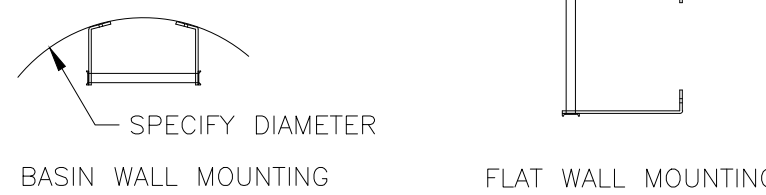
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| SCALE : AS NOTED  | SHEET NO.   |
| DESIGN BY : SEM   | <b>C6.4</b> |
| DRAWN BY : RFT    |             |
| CHECKED BY :      |             |
| GMB FILE : 220013 |             |
| DATE : MARCH 2024 |             |

### SERIES L1B and L1D LADDERS



- STANDARD FEATURES:**
- ALL ALUMINUM WELDED CONSTRUCTION
  - 1 3/8" DIA. TYPE "D" RUNG WITH FLATE SLIP RESISTANT RIBBED RUNG DESIGN
  - CUSTOM FIT WALL MOUNTED STANDOFFS
  - FLOOR AND WALL OR WALL-ONLY MOUNTING (SPECIFY)
  - FLAT OR ROUND WALL MOUNTING (SPECIFY)
  - AVAILABLE IN WELDED STAINLESS STEEL CONSTRUCTION
  - 3 YEAR GUARANTEE

- REQUIRED INFORMATION:**
- BASIN DIAMETER OR FLAT WALL
  - RAIL LENGTH IN FEET
  - STANDOFF LENGTH (7" [178 MM] MIN.)
  - L1B OR L1D MOUNTING



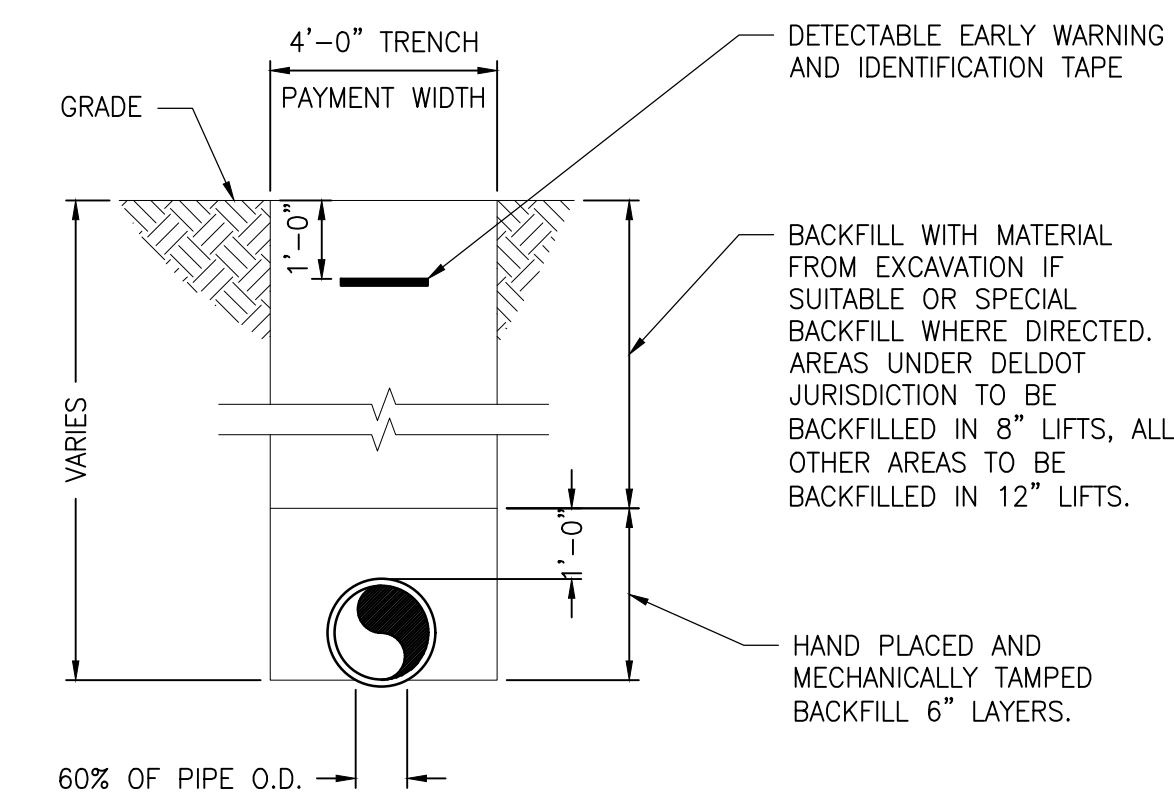
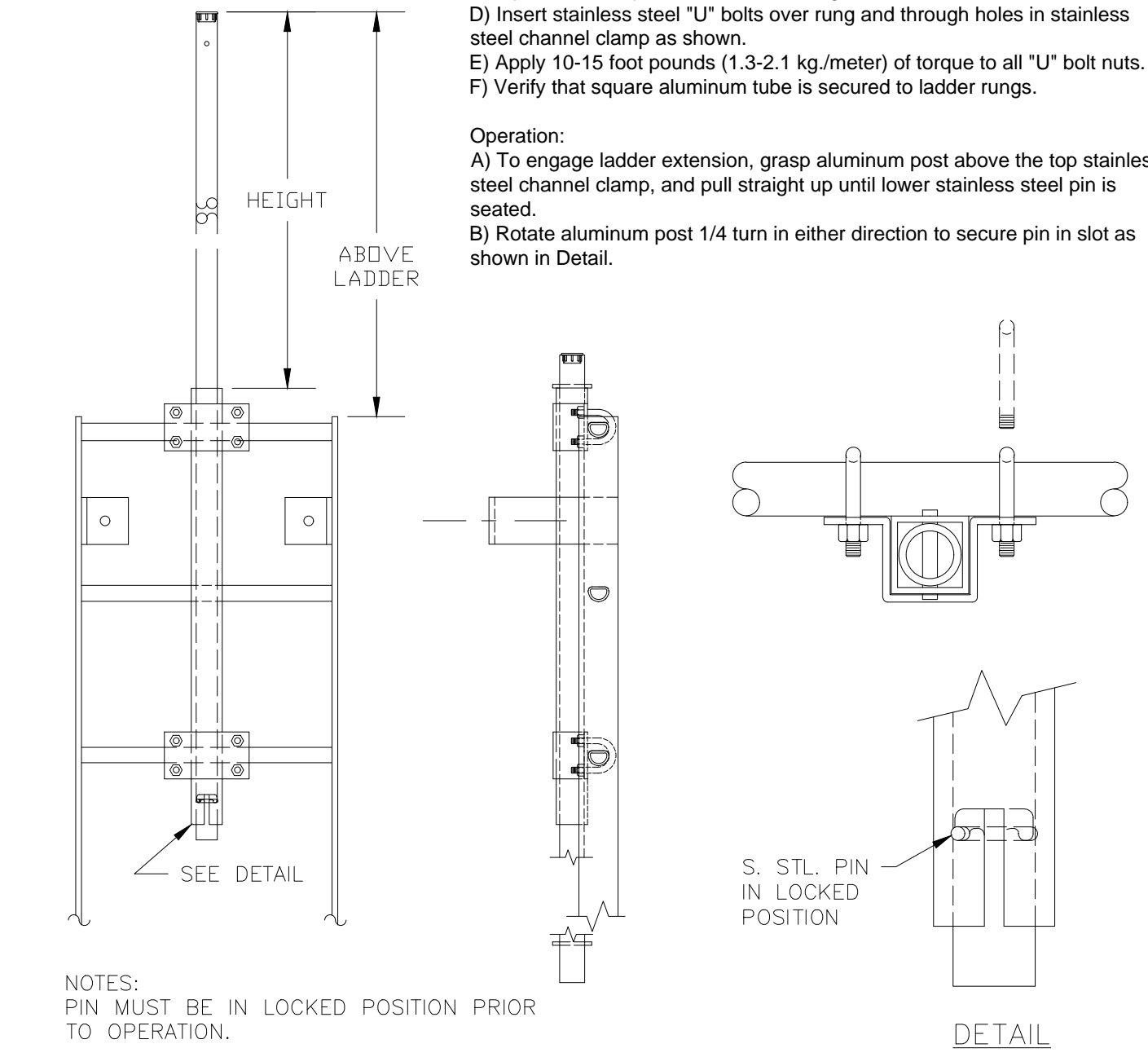
### SERIES L1E LADDER EXTENSION



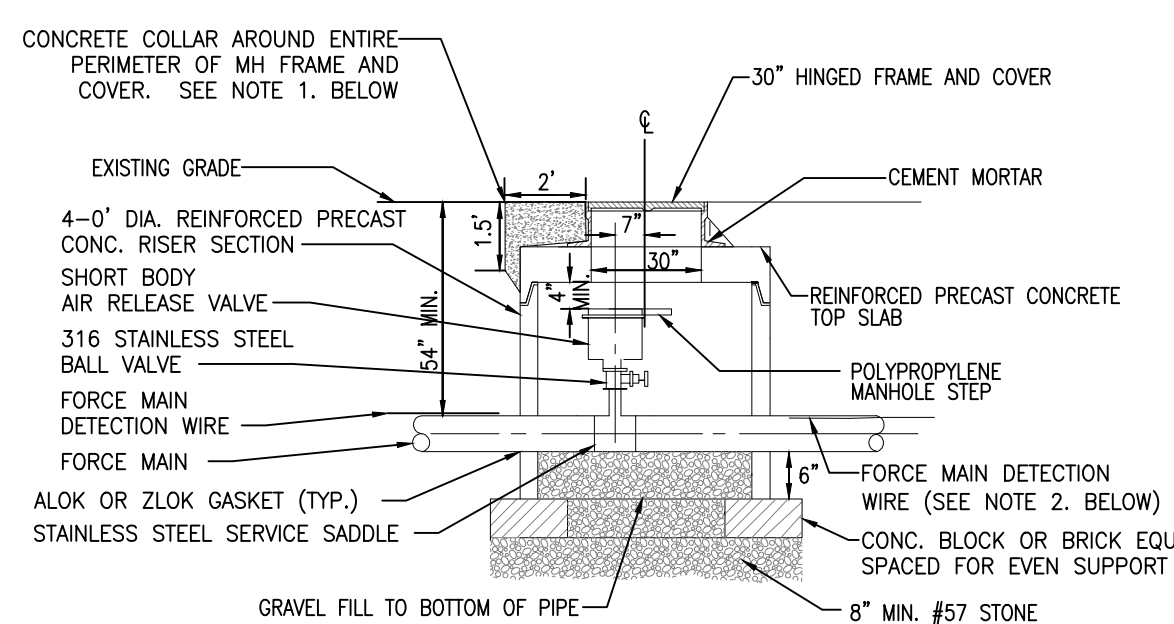
- STANDARD FEATURES:**
- EASY TO INSTALL ON ALUMINUM OR STAINLESS LADDERS
  - SECURE LOCKING IN THE EXTENDED POSITION
  - LIGHT WEIGHT OPERATION
  - ALL ALUMINUM AND STAINLESS STEEL CONSTRUCTION
  - ALSO AVAILABLE IN ALL TYPE 304 OR TYPE 316 S.S.TL.
  - 3 YEAR GUARANTEE

| MODEL | HEIGHT      | ABOVE LADDER | MIN. TANK DEPT. |
|-------|-------------|--------------|-----------------|
| A     | 37" (940MM) | 42" (1067MM) | 73" (1854MM)    |
| B     | 34" (864MM) | 39" (991MM)  | 55" (1397MM)    |

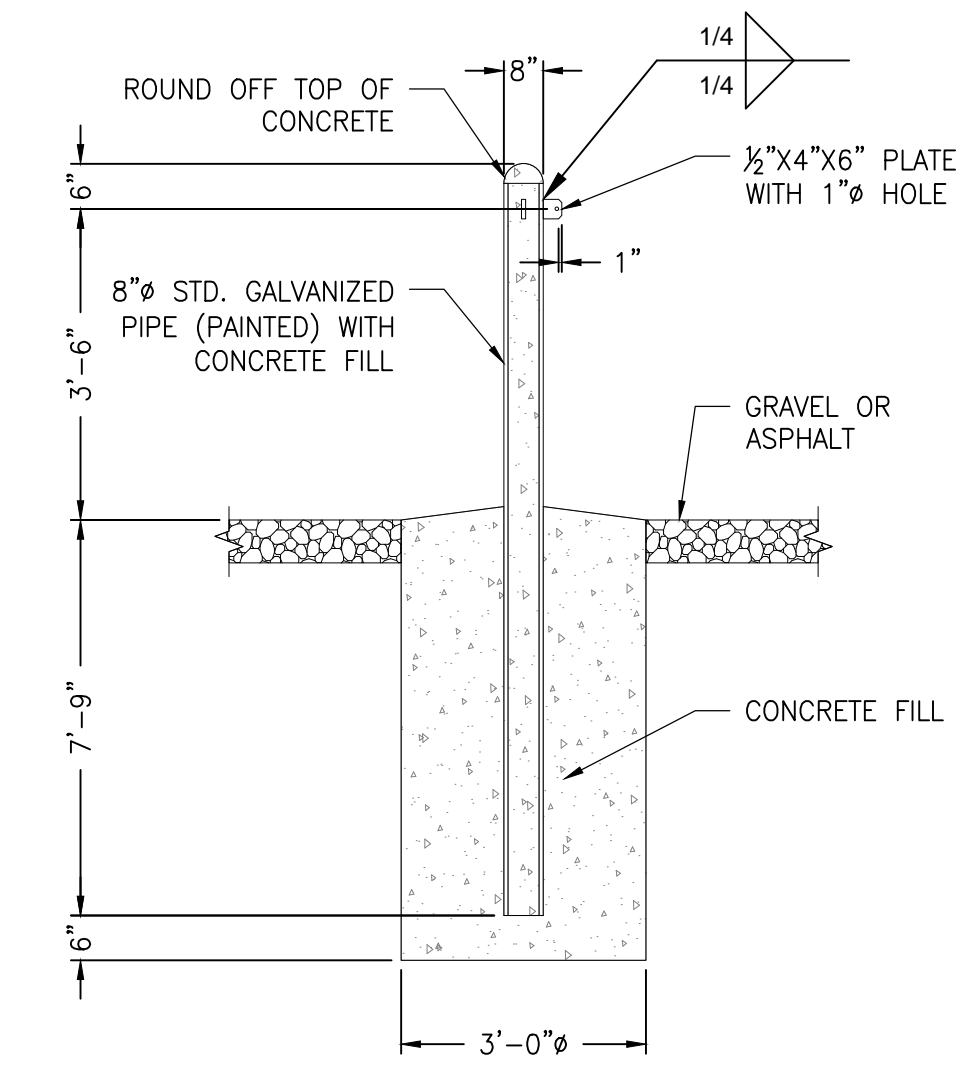
- INSTALLATION & OPERATION INSTRUCTIONS**
- Installation:**
- Place ladder flat on the ground with standoffs up.
  - Place 2" (52 mm) square aluminum tube in center of rungs with the "T" shaped slot below third rung as shown (Model A) or second rung (Model B).
  - Place stainless steel channel clamp over square aluminum tube so "U" clamp holes line up on either side of rungs as shown.
  - Insert stainless steel "U" bolts over rung and through holes in stainless steel channel clamp as shown.
  - Apply 10-15 foot pounds (1.3-2.1 kg/meter) of torque to all "U" bolt nuts.
  - Verify that square aluminum tube is secured to ladder rungs.
- Operation:**
- To engage ladder extension, grasp aluminum post above the top stainless steel channel clamp, and pull straight up until lower stainless steel pin is seated.
  - Rotate aluminum post 1/4 turn in either direction to secure pin in slot as shown in Detail.



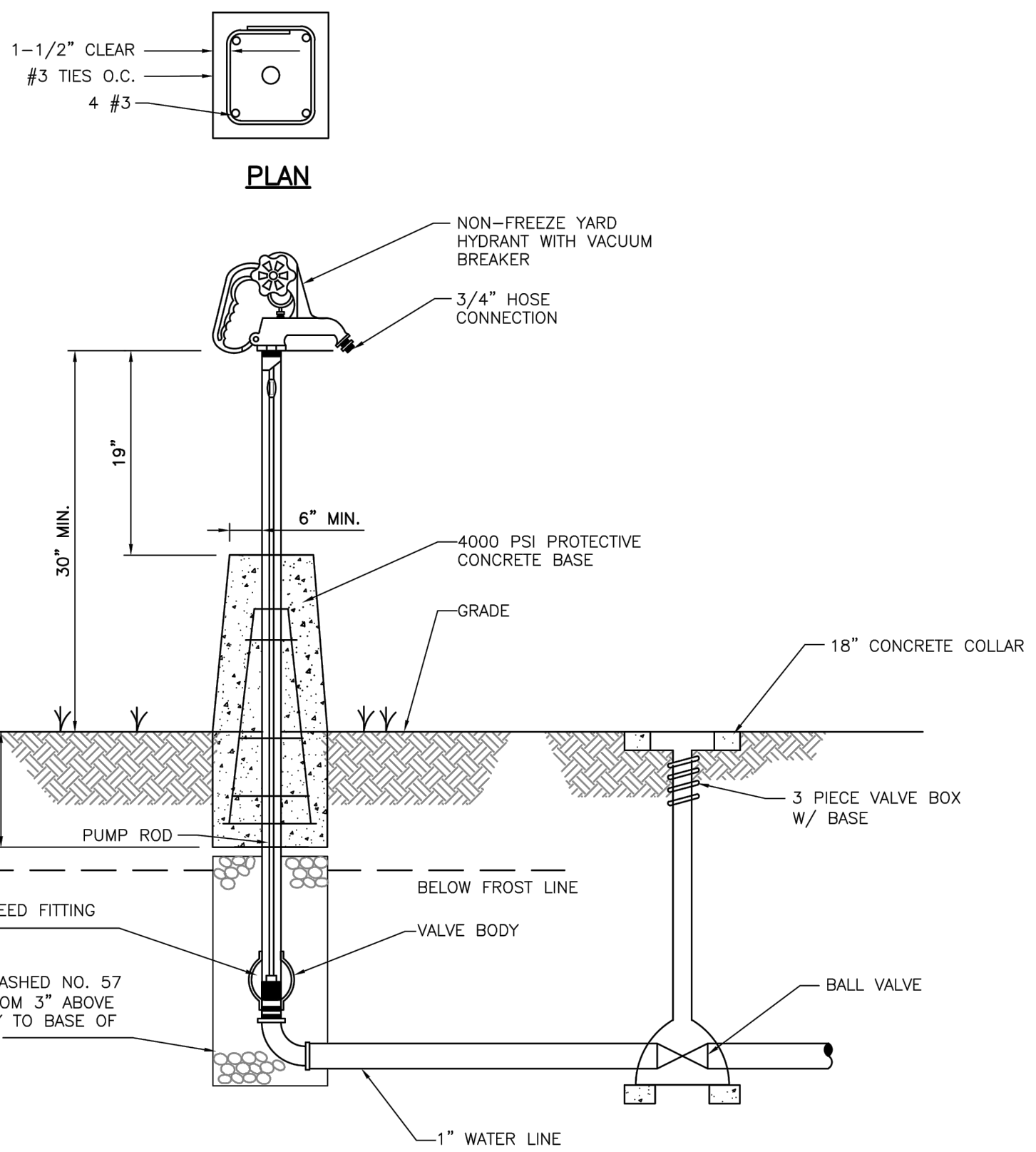
**PIPE BEDDING AND BACKFILL DETAIL**  
NO SCALE



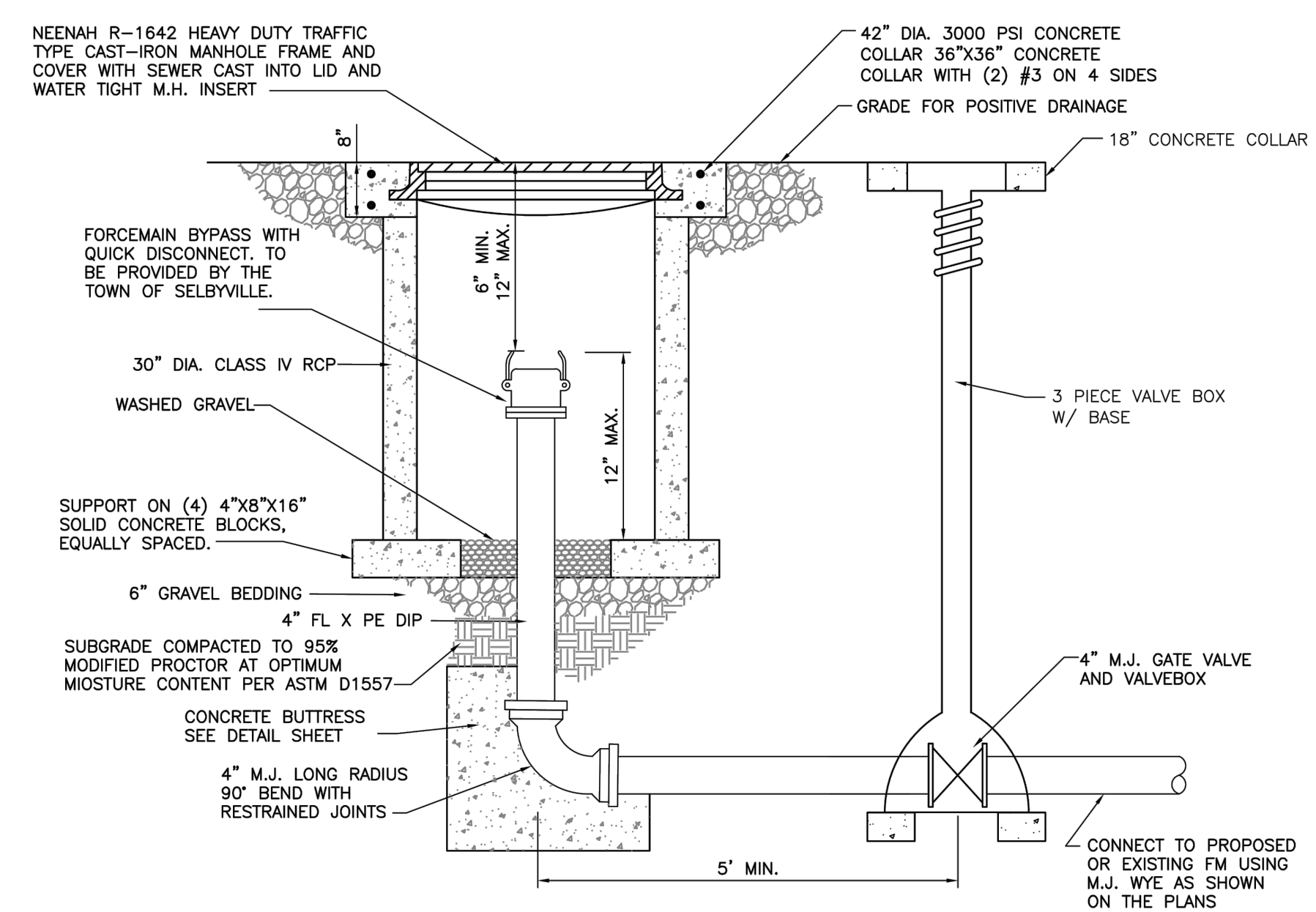
**AIR RELEASE VALVE DETAIL**  
NO SCALE



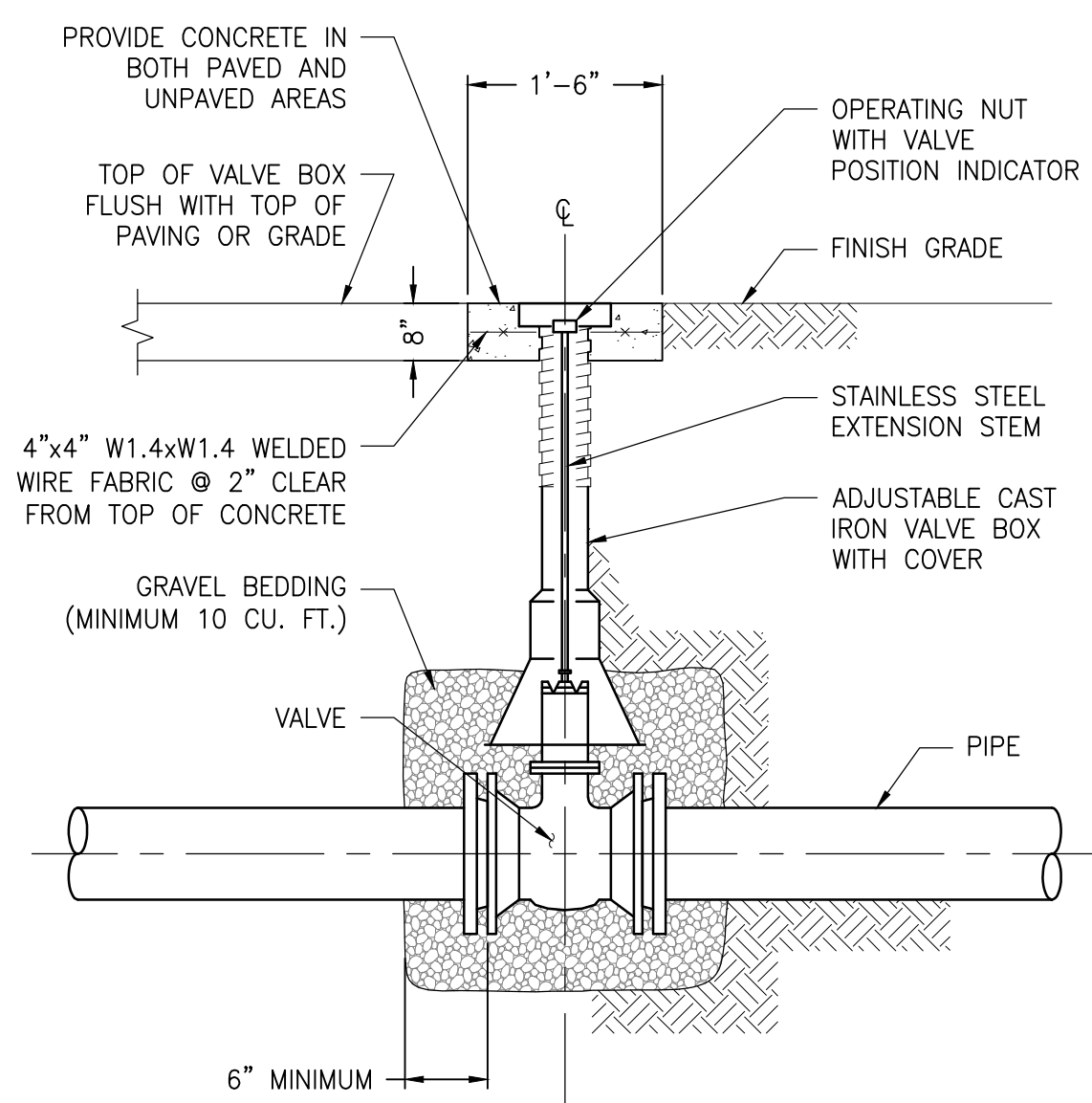
**FALL PROTECTION TIE-OFF DETAIL**  
NO SCALE



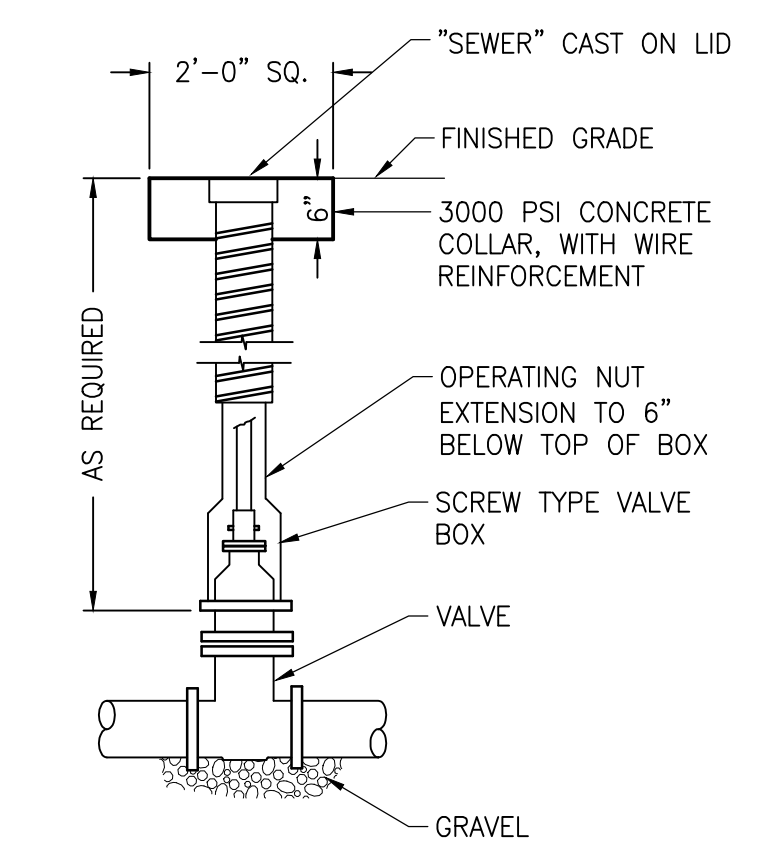
**FROST PROOF YARD HYDRANT DETAIL**  
NO SCALE



**EMERGENCY BYPASS & FORCEMAIN CLEANOUT DETAIL**  
NO SCALE



**VALVE BOX DETAIL**  
NO SCALE



**GATE VALVE DETAIL**  
NO SCALE

PRINTS ISSUED FOR: REVIEW

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

NO: \_\_\_\_\_

**GMB**  
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**KINGFISHER SUBDIVISION**  
TOWN OF SELBYVILLE, DELAWARE

**PUMP STATION DETAILS**

SCALE: AS NOTED SHEET NO. C6.5

DESIGN BY: SEM

DRAWN BY: RFT

CHECKED BY: \_\_\_\_\_

GMB FILE: 220013

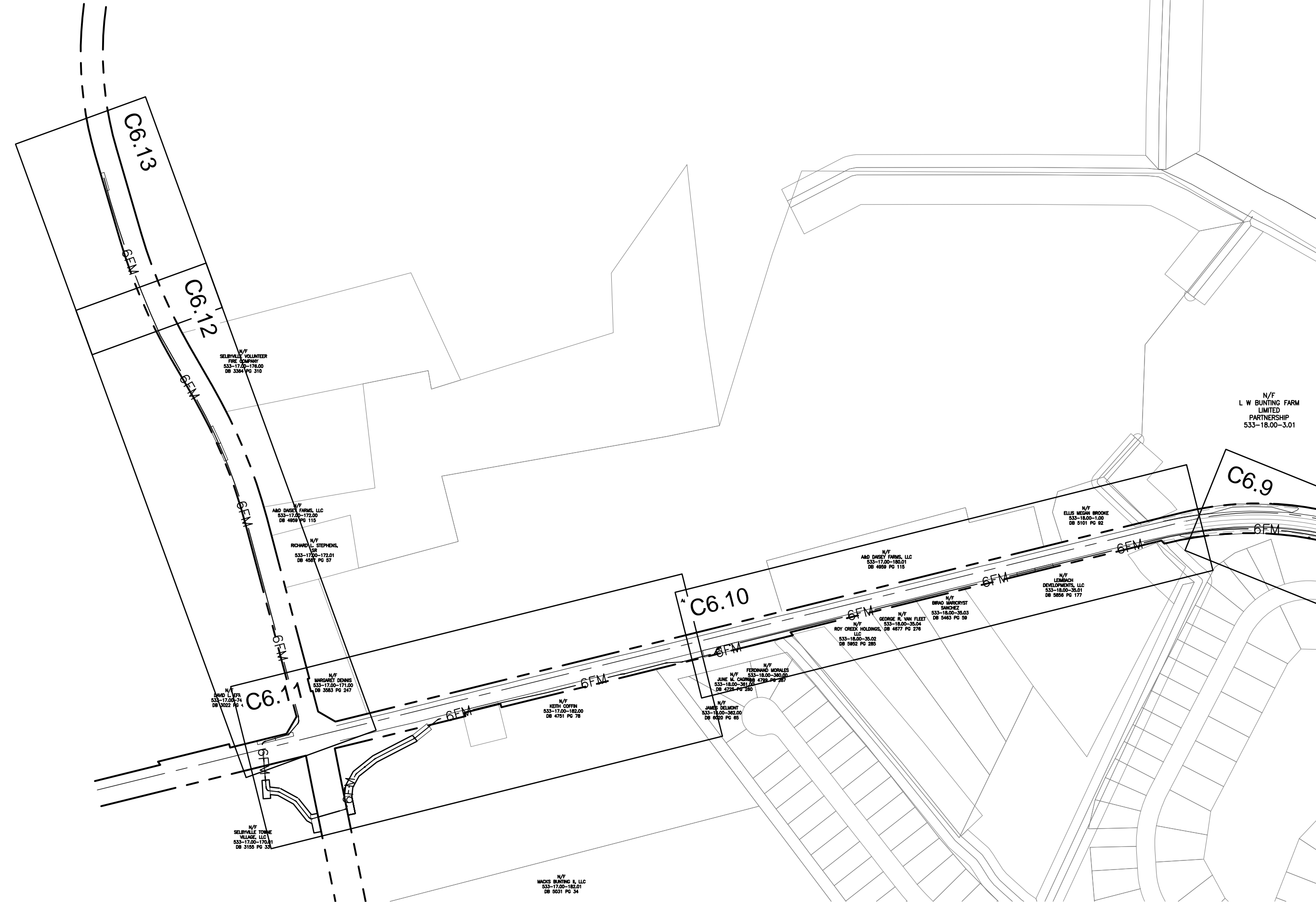
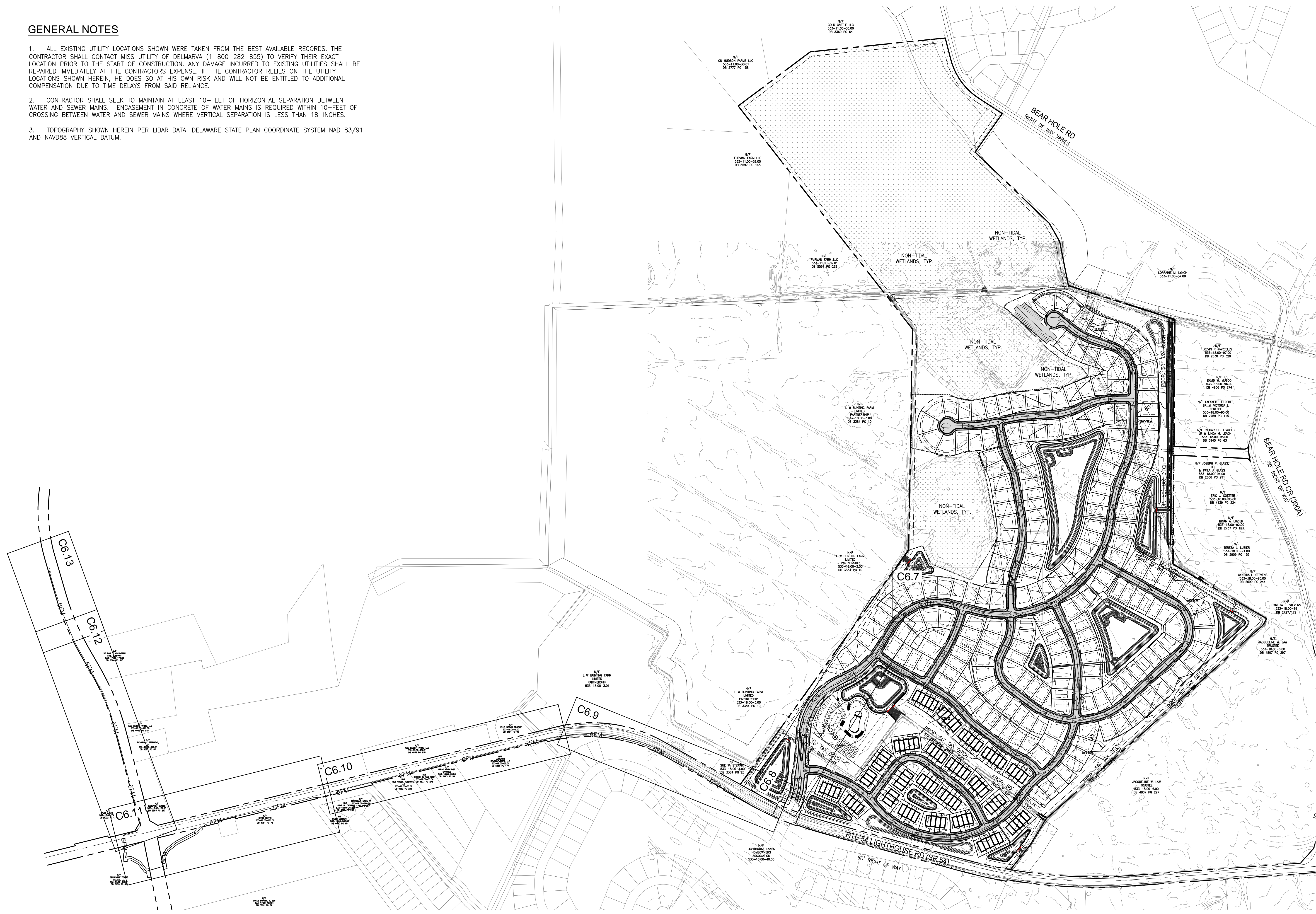
DATE: MARCH 2024

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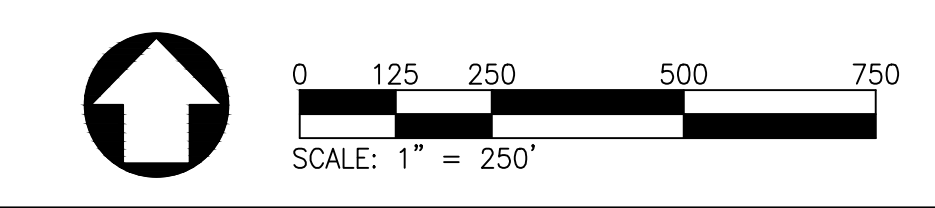
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 PLOT DATE: 3/14/2024  
 PLOT TIME: 10:00 AM  
 PLOT BY: RFT

**GENERAL NOTES**

1. ALL EXISTING UTILITY LOCATIONS SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-855) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE INCURRED TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREIN, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
2. CONTRACTOR SHALL SEEK TO MAINTAIN AT LEAST 10- FEET OF HORIZONTAL SEPARATION BETWEEN WATER AND SEWER MAINS. ENCASUREMENT IN CONCRETE OF WATER MAINS IS REQUIRED WITHIN 10- FEET OF CROSSING BETWEEN WATER AND SEWER MAINS WHERE VERTICAL SEPARATION IS LESS THAN 18- INCHES.
3. TOPOGRAPHY SHOWN HEREIN PER LIDAR DATA, DELAWARE STATE PLAN COORDINATE SYSTEM NAD 83/91 AND NAVD88 VERTICAL DATUM.



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 PEN1-RED 0.01 INCHES (1.0mm) PEN2-GREEN 0.01 INCHES (1.0mm) PEN3-YELLOW 0.01 INCHES (1.0mm) PEN4-BLUE 0.01 INCHES (1.0mm) PEN5-BLACK 0.01 INCHES (1.0mm)  
 PLOT CODE PEN-CON 0.01 INCHES (1.0mm) PEN-MAG 0.01 INCHES (1.0mm) PEN-WHITE 0.01 INCHES (1.0mm)  
 FIRM-MAGNET 0.01 INCHES (1.0mm) FIRM-MAGNET 0.01 INCHES (1.0mm) FIRM-MAGNET 0.01 INCHES (1.0mm)



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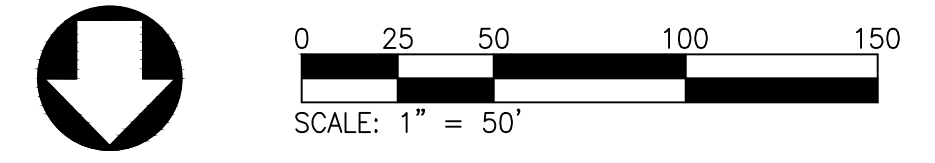
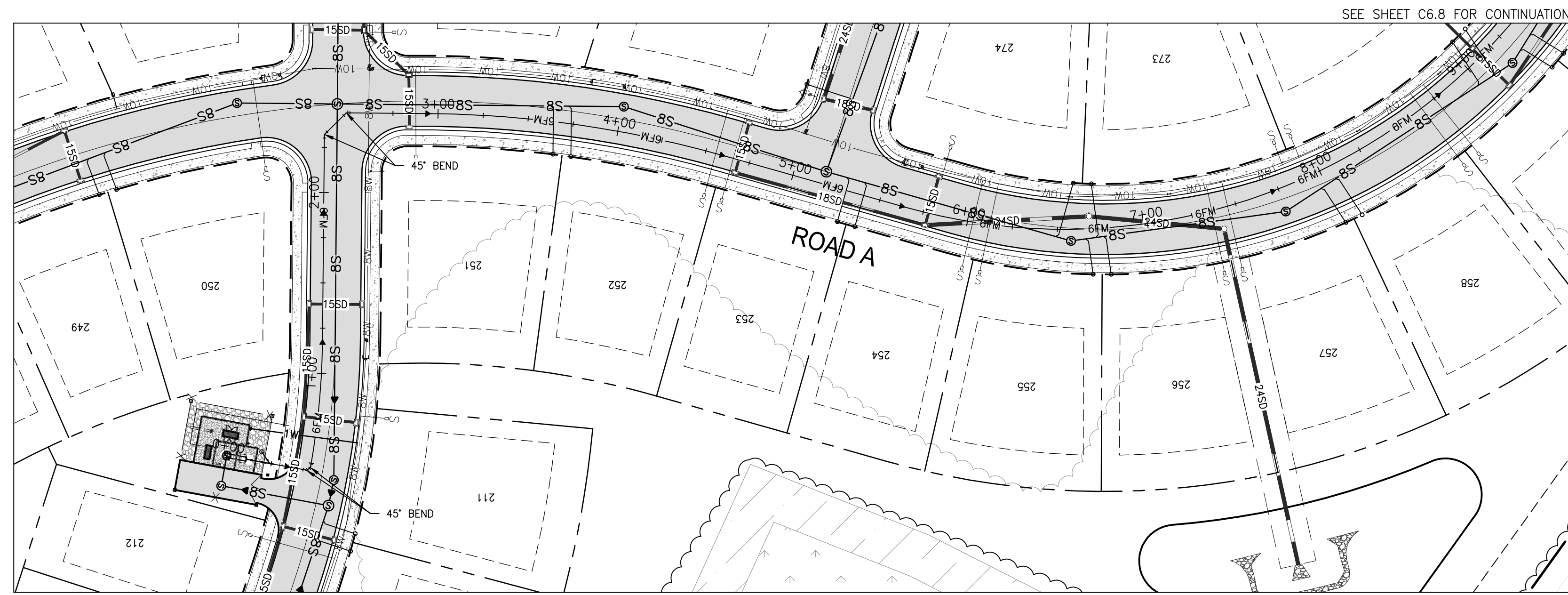
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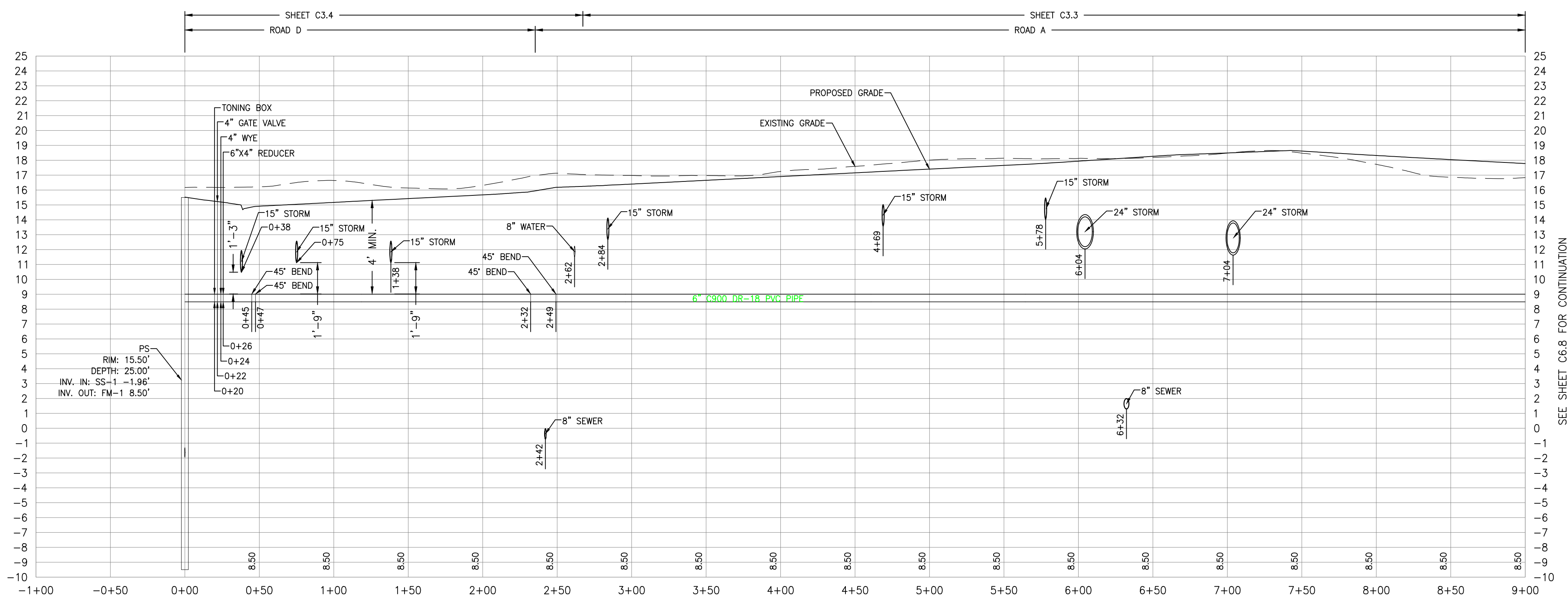
**FORCEMAIN PLAN  
 AND PROFILE KEY  
 SHEET**

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|-------------------|-----------|
| SCALE : 1" = 250' | SHEET NO. |
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| DRAWN BY : RFT    |           |
| CHECKED BY :      |           |
| GMB FILE : 220013 |           |
| DATE : MARCH 2024 |           |

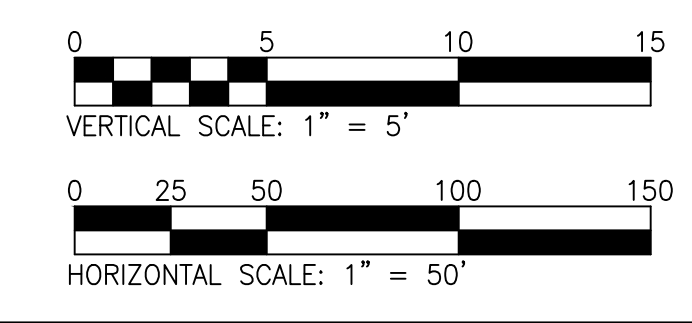


**GENERAL NOTES**

1. ALL EXISTING UTILITY LOCATIONS SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE INCURRED TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREIN, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
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3. THE BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS ARE BASED ON A SURVEY PERFORMED BY STEVE M. ADKINS LAND SURVEYING LLC, IN DECEMBER OF 2021.
4. CONTRACTOR SHALL INSTALL ALL FORCE MAIN IN ACCORDANCE WITH THE TOWN OF SELBYVILLE CONSTRUCTION STANDARDS AND SPECIFICATIONS. WHEN THE FORCE MAIN IS LOCATED WITHIN THE DELDOT RIGHT- OF- WAY, THE CONTRACTOR SHALL INSTALL THE FORCE MAIN IN ACCORDANCE WITH DELDOT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL DISTURBED AREAS OUTSIDE OF THE PAVEMENT WITHIN THE DELDOT RIGHT- OF- WAY SHALL BE COVERED WITH 6\"/>



**PROFILE OF FORCE MAIN PS TO LIGHTHOUSE LAKES MAINFOLD CONNECTION**  
 VERTICAL SCALE: 1"=5'  
 HORIZONTAL SCALE: 1"=50'



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**FORCEMAIN PLAN AND PROFILE**

|                   |  |
|-------------------|--|
| SCALE : 1" = 50'  | SHEET NO.                                  |
| DESIGN BY : SEM   | <b>C6.7</b>                                |
| DRAWN BY : RFT    |  |
| CHECKED BY :      |  |
| GMB FILE : 220013 |  |
| DATE : MARCH 2024 | © COPYRIGHT 2023 GEORGE, MILES & BUHR, LLC |

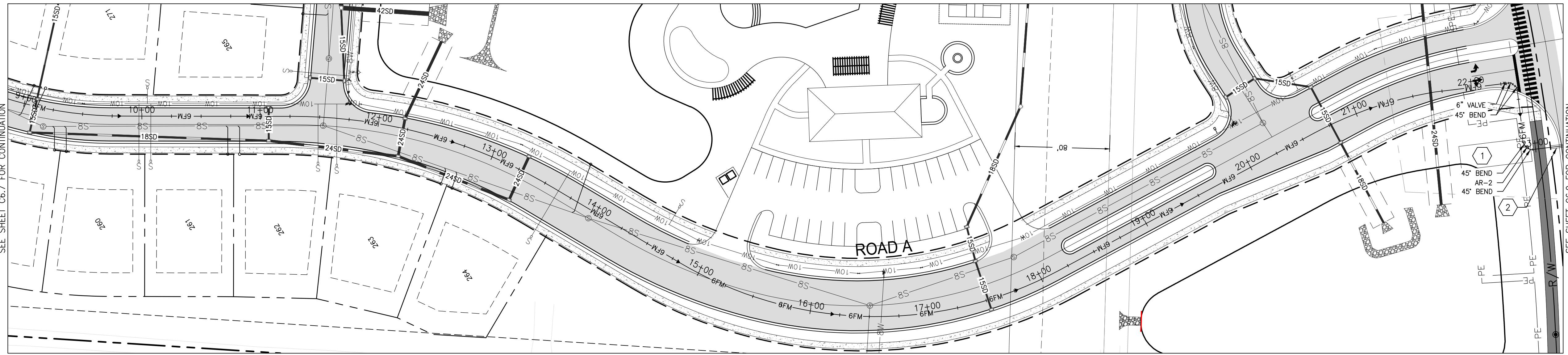
C:\Projects\2022\220013 Evans Jenkins Properties\Drawings\Working Sets\Engineering Plans\06.7 Forcemain Plan and Profile.dwg, 2/1/2024, Richard F. Thomas  
 PEN=RED (20) INCHES (50mm) PEN=GREEN (20) INCHES (50mm) PEN=BLUE (20) INCHES (50mm) PEN=WHITE (20) INCHES (50mm)  
 PLOT CODE PEN=CON (20) INCHES (50mm) PEN=CON (20) INCHES (50mm)

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FORCEMAIN PLAN  
 AND PROFILE

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| SCALE : 1" = 50'  | SHEET NO.   |
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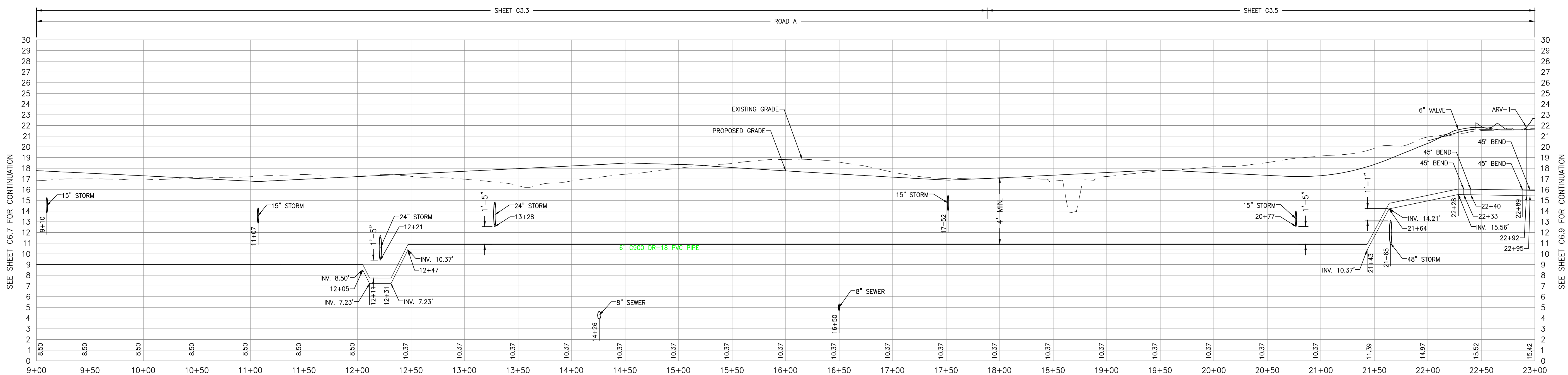


CONSTRUCTION NOTES

- 1 20'x60' DIRECTIONAL DRILL ENTRANCE PIT.
- 2 CONTRACTOR TO DIRECTIONAL DRILL APPROXIMATELY 75LF OF 6" SDR-11 HDPE PIPE WITH 12" SDR-11 HDPE CASING PIPE UNDER LIGHTHOUSE ROAD. SEE PROFILE FOR DETAILS. CONTRACTOR SHALL TRANSITION FROM PVC PRESSURE PIPE TO HDPE PRESSURE PIPE PRIOR TO THE DIRECTION DRILL. SEE SHEET C6.4 FOR PIPE TRANSITION DETAIL.

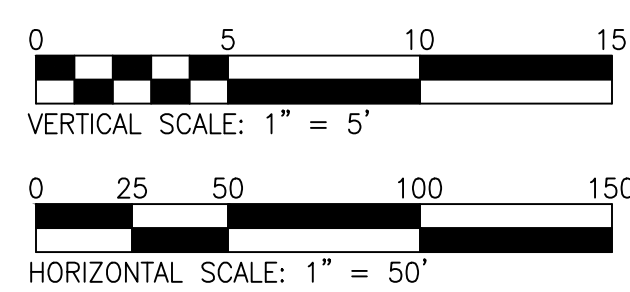
GENERAL NOTES

1. ALL EXISTING UTILITY LOCATIONS SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE INCURRED TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREIN, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
2. CONTRACTOR SHALL SEEK TO MAINTAIN AT LEAST 10- FEET OF HORIZONTAL SEPARATION BETWEEN WATER AND SEWER MAINS. ENCASEMENT IN CONCRETE OF WATER MAINS IS REQUIRED WITHIN 10- FEET OF CROSSING BETWEEN WATER AND SEWER MAINS WHERE VERTICAL SEPARATION IS LESS THAN 18- INCHES.
3. THE BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS ARE BASED ON A SURVEY PERFORMED BY STEVE M. ADKINS LAND SURVEYING LLC, IN DECEMBER OF 2021.
4. CONTRACTOR SHALL INSTALL ALL FORCE MAIN IN ACCORDANCE WITH THE TOWN OF SELBYVILLE CONSTRUCTION STANDARDS AND SPECIFICATIONS. WHEN THE FORCE MAIN IS LOCATED WITHIN THE DELDOT RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL THE FORCE MAIN IN ACCORDANCE WITH DELDOT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL DISTURBED AREAS OUTSIDE OF THE PAVEMENT WITHIN THE DELDOT RIGHT-OF-WAY SHALL BE COVERED WITH 6" TOPSOIL, FERTILIZED, SEEDED AND MULCHED PER THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK OR IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.



PROFILE OF FORCE MAIN PS TO LIGHTHOUSE LAKES MAINFOLD CONNECTION (1)

VERTICAL SCALE: 1"=5'  
 HORIZONTAL SCALE: 1"=50'





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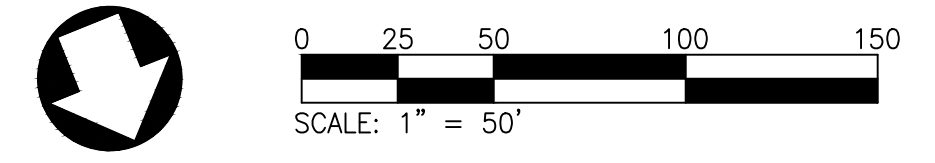
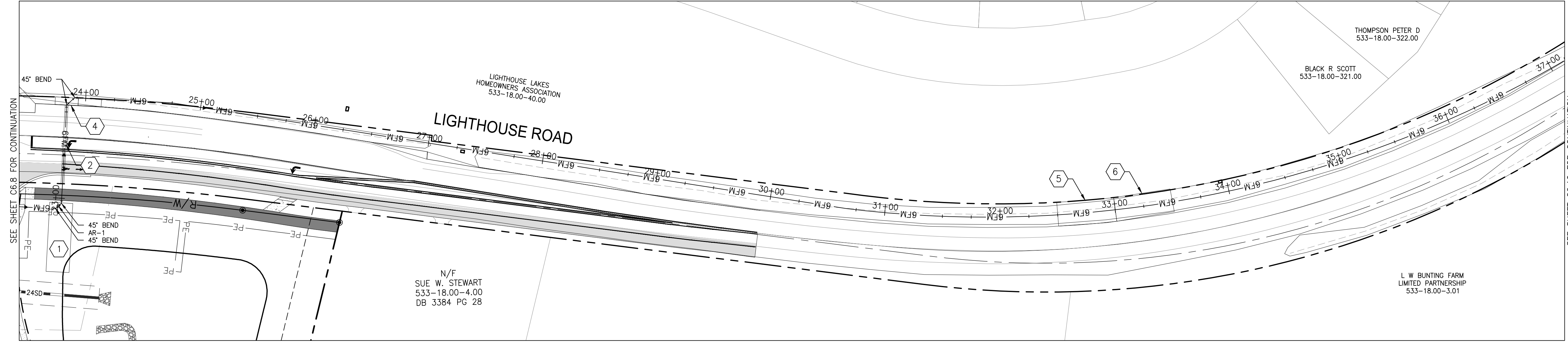
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**FORCEMAIN PLAN AND PROFILE**

|                   |             |
|-------------------|-------------|
| SCALE : 1" = 50'  | SHEET NO.   |
| DESIGN BY : SEM   | <b>C6.9</b> |
| DRAWN BY : RFT    |             |
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| GMB FILE : 220013 |             |
| DATE : MARCH 2024 |             |

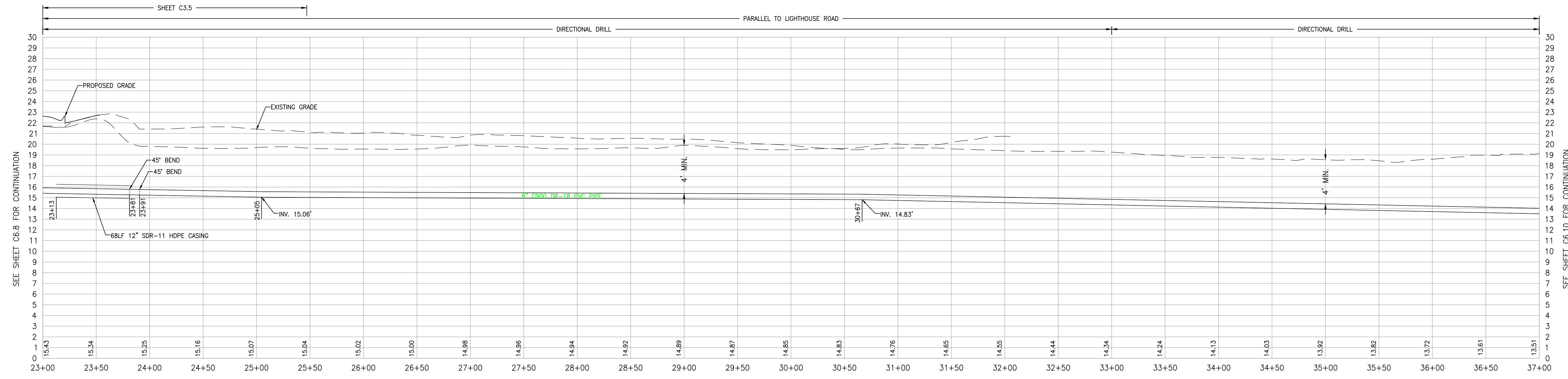


**CONSTRUCTION NOTES**

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- 2 CONTRACTOR TO DIRECTIONAL DRILL APPROXIMATELY 75LF OF 6" SDR-11 HDPE PIPE WITH 12" SDR-11 HDPE CASING PIPE UNDER LIGHTHOUSE ROAD. SEE PROFILE FOR DETAILS. CONTRACTOR SHALL TRANSITION FROM PVC PRESSURE PIPE TO HDPE PRESSURE PIPE PRIOR TO THE DIRECTION DRILL. SEE SHEET C6.4 FOR PIPE TRANSITION DETAIL.
- 3 6'x20' DIRECTIONAL DRILL EXIT PIT WITHIN DELDOT RIGHT-OF-WAY. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE DELDOT EDGE OF PAVEMENT AND SHALL NOT ENCR OACH ON THE LIGHTHOUSE LAKES MULTIMODAL PATH.
- 4 6'x20' DIRECTIONAL DRILL ENTRANCE PIT. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE DELDOT EDGE OF PAVEMENT AND SHALL NOT ENCR OACH ON THE LIGHTHOUSE LAKES MULTIMODAL PATH.
- 5 18'x50' DIRECTIONAL DRILL ENTRANCE PIT WITHIN DELDOT RIGHT-OF-WAY. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE DELDOT EDGE OF PAVEMENT.
- 6 18'x50' DIRECTIONAL DRILL EXIT PIT WITHIN DELDOT RIGHT-OF-WAY. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE DELDOT EDGE OF PAVEMENT.

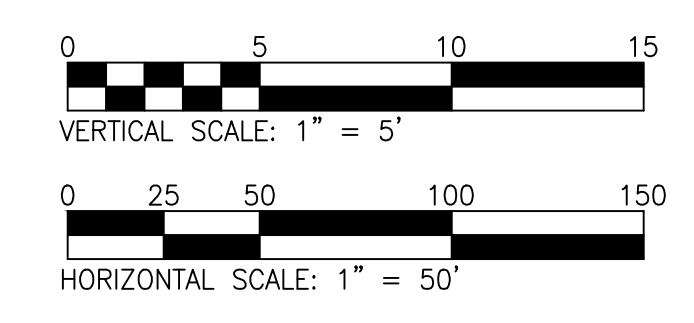
**GENERAL NOTES**

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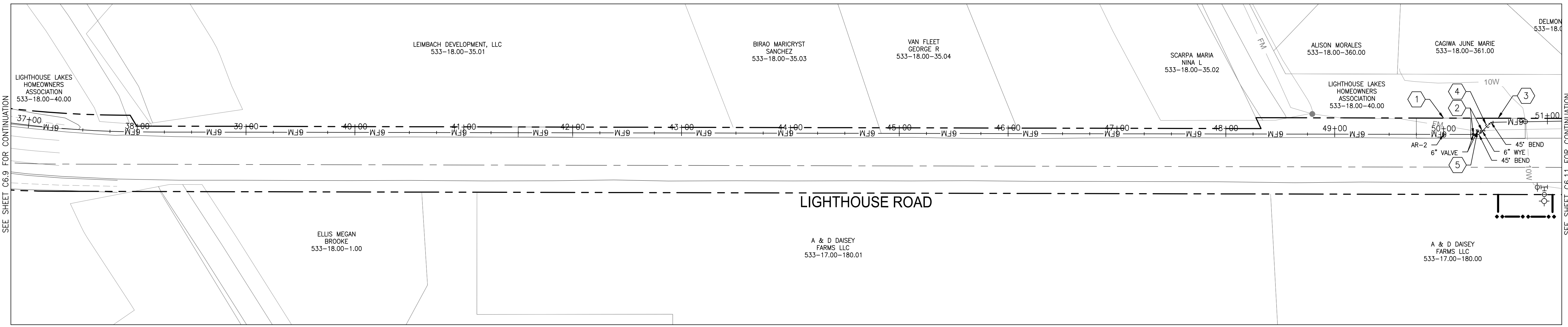
**PROFILE OF FORCE MAIN PS TO LIGHTHOUSE LAKES MAINFOLD CONNECTION (2)**

VERTICAL SCALE: 1"=5'  
 HORIZONTAL SCALE: 1"=50'



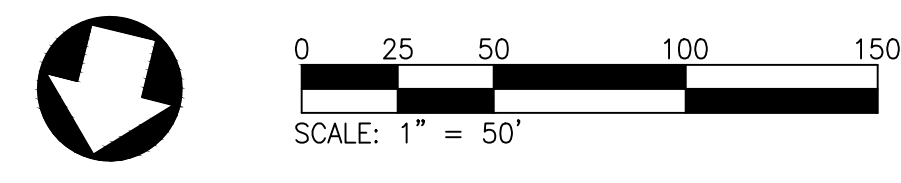
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 PLOT DATE: 2/1/2024 10:00 AM  
 PLOT TIME: 10:00 AM  
 PLOT USER: RFT  
 PLOT DEVICE: HP DesignJet T1100e (24 INCHES (610mm))  
 PLOT SCALE: 1" = 50'  
 PLOT SHEET: 1 OF 1  
 PLOT STATUS: SUCCESS

| DATE | REVISIONS | NO. |
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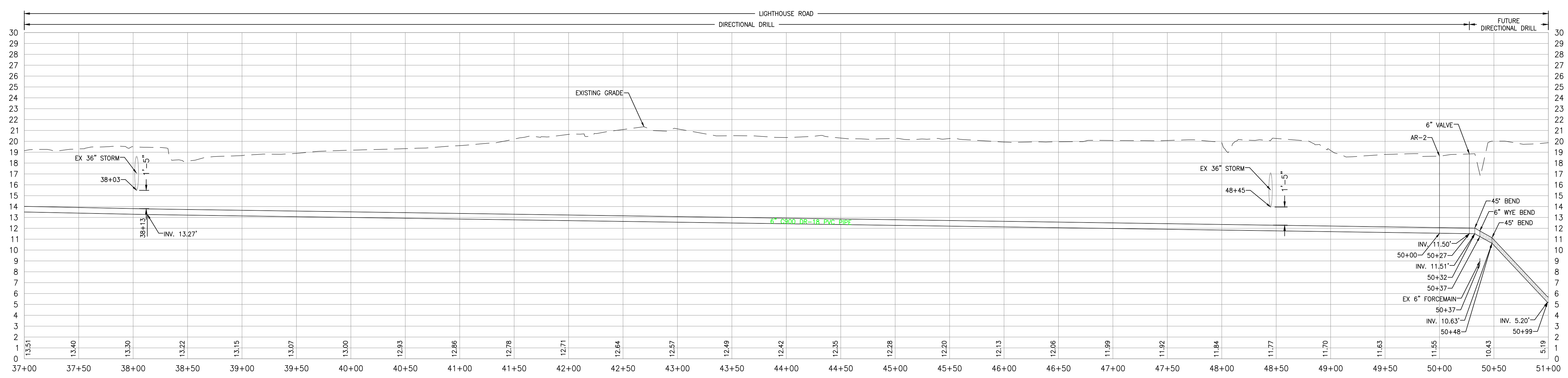
**CONSTRUCTION NOTES**

- 1 18'X50' DIRECTIONAL DRILL EXIT PIT WITHIN DELDOT RIGHT-OF-WAY. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE EDGE OF PAVEMENT.
- 2 PROPOSED FORCEMAIN MANFOLD CONNECTION TO EXISTING 6" HDPE SDR-11 LIGHTHOUSE LAKES FORCEMAIN. CONTRACTOR TO INSTALL ONE (1) 6"X6" WYE AS SHOWN WITH ONE (1) 6" INLINE ISOLATION GATE VALVE UPSTREAM ON THE KINGFISHER FORCEMAIN.
- 3 FUTURE 18'X50' DIRECTIONAL DRILL ENTRANCE PIT WITHIN DELDOT RIGHT-OF-WAY. ALL EXCAVATION SHALL BE A MINIMUM OF 2- FEET FROM THE EDGE OF PAVEMENT.
- 4 CONTRACTOR TO INSTALL 6" CAP AND PLUG FOR THE FUTURE EXTENSION OF THE PROPOSED KINGFISHER FORCE MAIN. CAP AND PLUG AND THE KINGFISHER AND LIGHTHOUSE LAKES MANFOLD CONNECTION SHALL BE REMOVED ONCE COASTAL VILLAGES SEWER DISCHARGE CONNECTION COMES ONLINE.
- 5 CONTRACTOR TO INSTALL ONE (1) 6" ISOLATION GATE VALVE INLINE WITH THE PROPOSED 6"X6" WYE ON THE EXISTING LIGHTHOUSE LAKES FORCE MAIN FOR FUTURE MANFOLD DISCONNECTION AND POTENTIAL REROUTING OF FLOWS TO COASTAL VILLAGES.

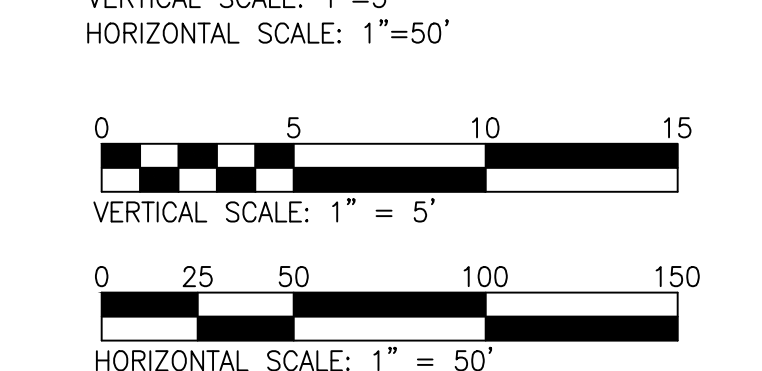


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**PROFILE OF FORCE MAIN PS TO LIGHTHOUSE LAKES MAINFOLD CONNECTION (3)**



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 TOWN OF SELBYVILLE, DELAWARE

**FORCEMAIN PLAN AND PROFILE**

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|-------------------|--------------|
| SCALE : 1" = 50'  | SHEET NO.    |
| DESIGN BY : SEM   | <b>C6.10</b> |
| DRAWN BY : RFT    |              |
| CHECKED BY :      |              |
| GMB FILE : 220013 |              |
| DATE : MARCH 2024 |              |