

SITE DATA TABLE:

Table with 2 columns: Numbered items (1-29) and corresponding details such as 'TAX MAP NUMBER: 235-25-00-39.00', 'OWNERS: SPRING GARDEN, LLC', 'DEVELOPER: RIBERA DEVELOPMENT, LLC', etc.

FOUR WINDS FARM SUBDIVISION CONSTRUCTION PLAN SET

(2020-13) TAX ID 235-25.00-39.00 BROADKILL HUNDRED SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

PREPARED FOR: DEVELOPER RIBERA DEVELOPMENT, LLC

8684 VETERANS HIGHWAY, SUITE 203

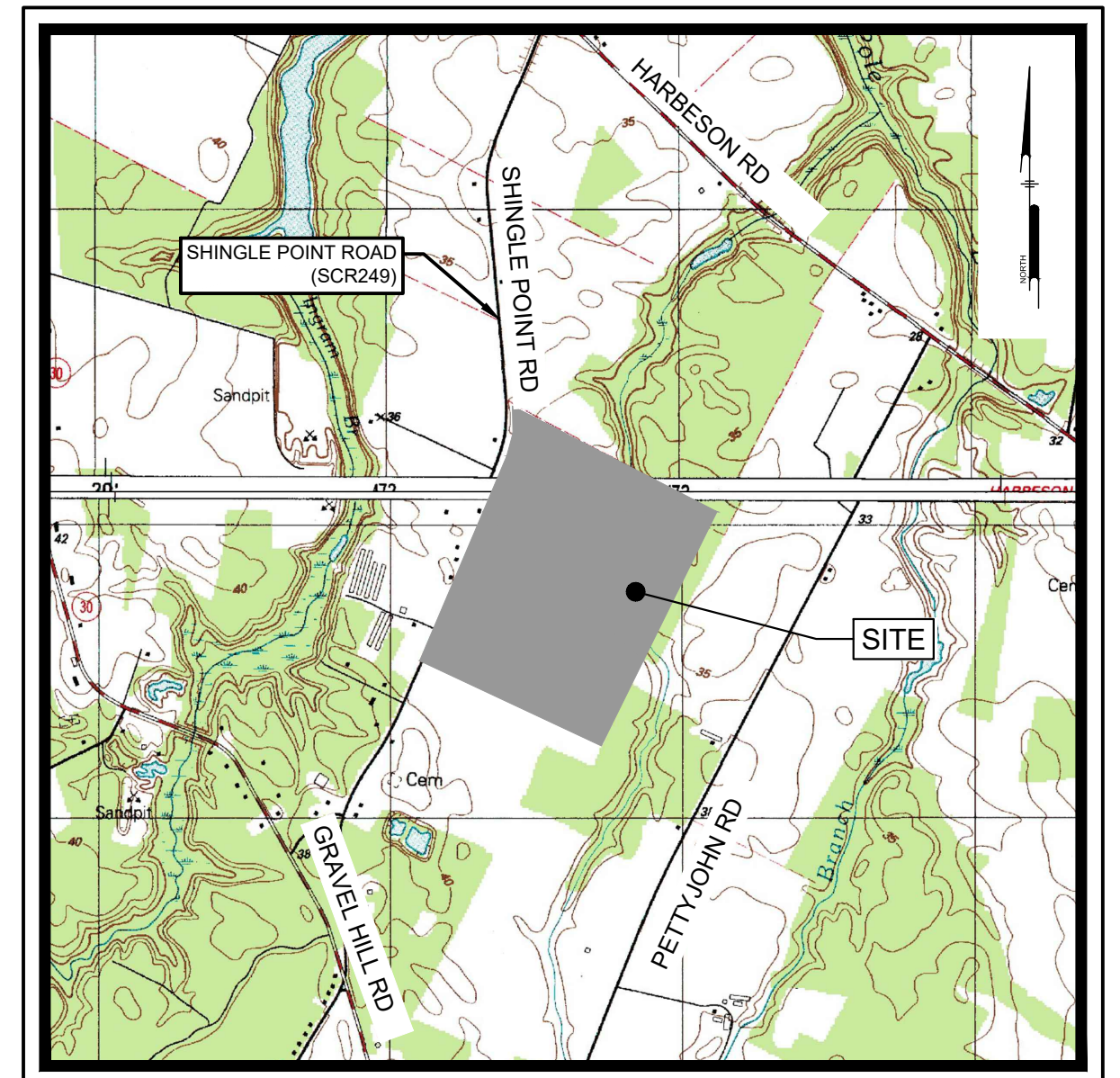
MILLERSVILLE, MD 21108

(443) 871-0486

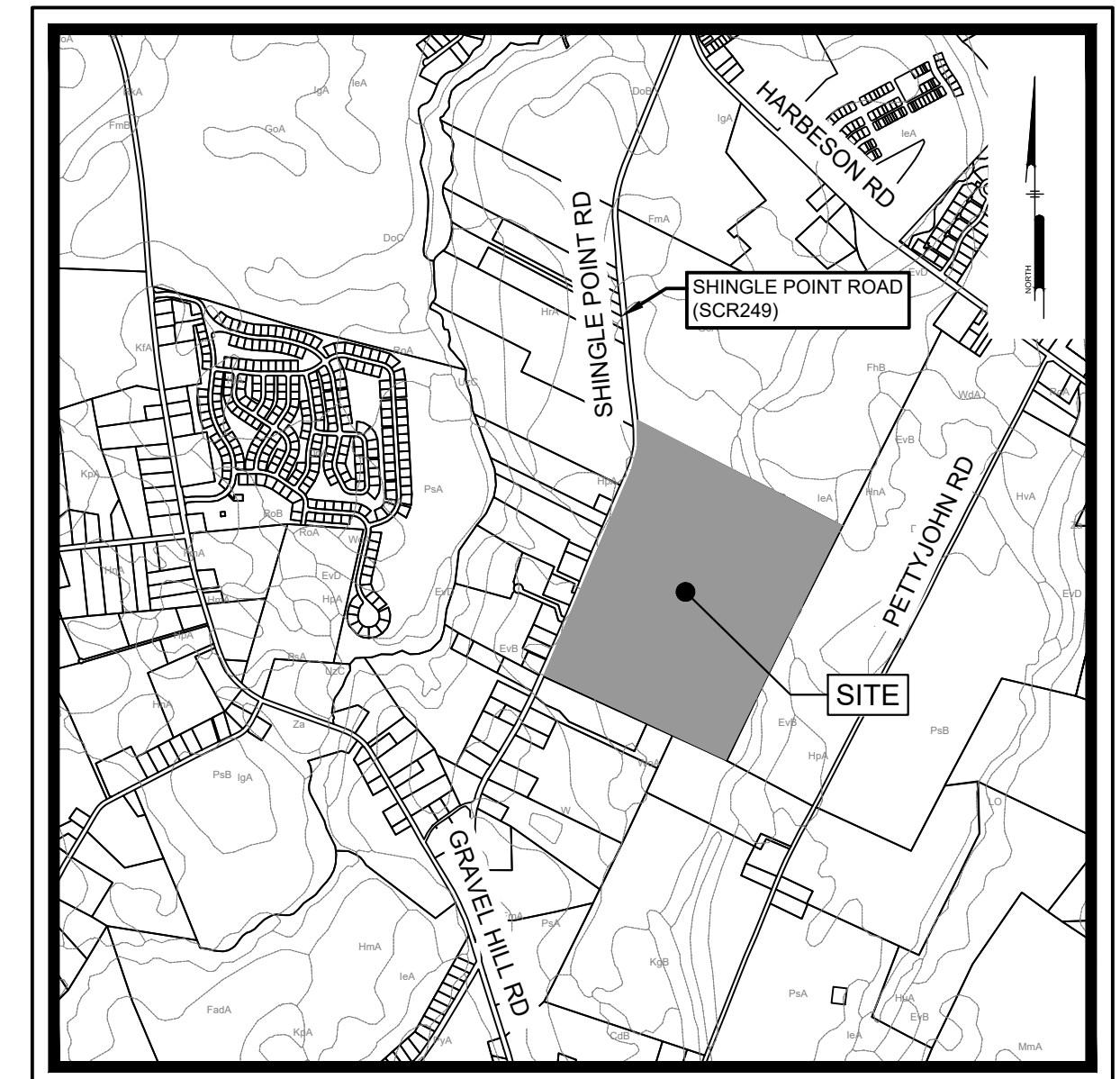
CONDITIONS OF APPROVAL:

Preliminary Approval was granted by Sussex County Planning Commission at their meeting on January 12, 2023... THE DEVELOPER SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, ROADS, BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS.

Sheet List Table with columns: Sheet #, Drawing #, Sheet Title. Lists sheets 1 through 94 including titles like 'COVER SHEET', 'PHASING PLAN', 'PRE-CONSTRUCTION MANAGEMENT KEY SHEET', etc.



LOCATION MAP Scale: 1" = 2000'



SOILS MAP Scale: 1" = 2000'

Sheet List Table with columns: Sheet #, Drawing #, Sheet Title. Lists sheets 1 through 41.

Sheet List Table with columns: Sheet #, Drawing #, Sheet Title. Lists sheets 42 through 77.

Sheet List Table

Sheet List Table with columns: Sheet #, Drawing #, Sheet Title. Lists sheets 78 through 94.

SOILS table with columns: TYPE, DESCRIPTION, HYDROLOGIC SOIL. Lists soil types such as FmA (FORT MOTT LOAMY SAND), EvB (EVESBORO LOAMY SAND), etc.

OWNERS: SPRING GARDEN LLC, 16793 ISLAND FARM LANE, MILTON, DE 19968. DEVELOPER/EQUITABLE OWNER: RIBERA DEVELOPMENT, LLC, 8684 VETERANS HIGHWAY, SUITE 203, MILLERSVILLE, MD 21108.

PREPARED BY: PENNONI ASSOCIATES INC.



18072 Davidson Drive Milton, DE 19968 T 302.684.8030 F 302.684.8054

CALL BEFORE YOU DIG Call Miss Utility of Delaware 800-282-8555

DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN...

RIBERA DEVELOPMENT, LLC DATE 8684 VETERANS HIGHWAY, SUITE 203, MILLERSVILLE, MD 21108 (443) 871-0486

ENGINEER CERTIFICATION: I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION...

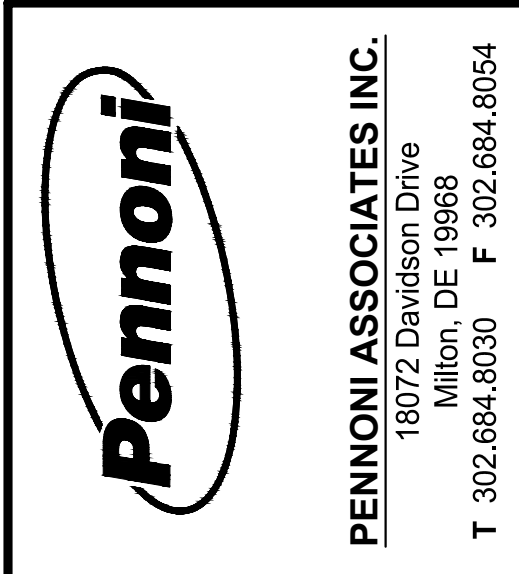
SIGNATURE ALAN DECKTOR, PE (DE PE#17771) PENNONI ASSOCIATES, INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 OFFICE (302) 684-8030 - FAX (302) 684-8054

OWNER CERTIFICATION: I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN...

RIBERA DEVELOPMENT, LLC DATE 8684 VETERANS HIGHWAY, SUITE 203, MILLERSVILLE, MD 21108 (443) 871-0486

WETLANDS CERTIFICATION: I, MICHAEL A. MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF...

SIGNATURE MICHAEL A. MARRA, PWS NO. 3557 PENNONI ASSOCIATES, INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 OFFICE (302) 684-8030 - FAX (302) 684-8054 (717) 620-5991 / EMAIL: MMARRA@PENNONI.COM



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

FOUR WINDS FARM SUBDIVISION COVER SHEET

TAX ID 235-25-00-39.00 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

RIBERA DEVELOPMENT, LLC 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108

Table with columns: REVISIONS, NO., DATE, REVISIONS. Lists revision details for the drawing.

PROJECT RIBER21001 DATE 2023-06-21 DRAWING SCALE AS SHOWN DRAWN BY LM/EW APPROVED BY AMD

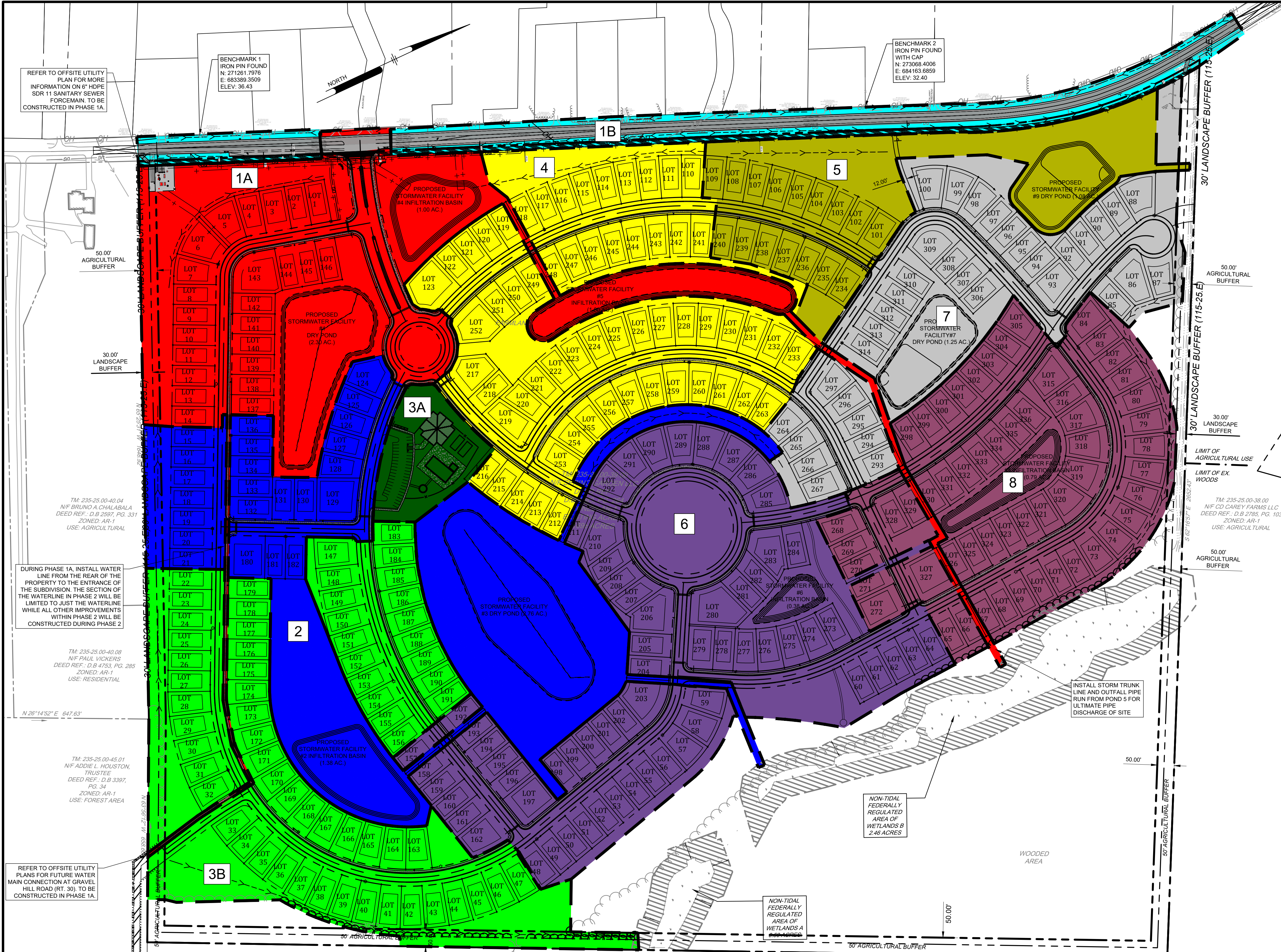
CS0001 SHEET 1 OF 94

PROJECT: 23720201.03A-PAL (R) (Update) Sheetlist

PROJECT: 23720201.03A-PAL (R) (Update) Sheetlist

PROJECT: 23720201.03A-PAL (R) (Update) Sheetlist

PROJECT: 23720201.03A-PAL (R) (Update) Sheetlist



CONSTRUCTION PHASING DATA				
PHASE	# OF LOTS	LOT #	ACRES	ROADWAY FOOTAGE
1A	24	LOT 1-14, 157-144	19.14	2,184
1B	0	DELDOT ROAD IMPROVEMENT	6.03	3,102
2	17	LOT 15-21, 124-126, 185-182	10.17	1,407
3A	81	AMENITY AREA, POOL AND CLUBHOUSE	2.03	0
3B	81	LOT 22-48, 147-156, 163-170, 183-191	19.05	2,442
4	50	LOT 110-123, 212-233, 241-263	16.64	2,360
5	24	LOT 101-109, 234-240	8.71	501
6	56	LOT 48-54, 157-162, 192-211, 272-292	20.56	2,751
7	38	LOT 85-100, 244-257, 293-297, 306-314	12.95	2,011
8	46	LOT 65-84, 288-272, 288-305, 315-336	15.55	2,247
TOTAL	336		139.89	19005

**NOTES:**

- THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE RELEASE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED. THE CONSTRUCTION OF THE FULL MOVEMENT HAMMERHEAD SITE ENTRANCE SHALL BEGIN AND SHALL BE SUBSTANTIALLY COMPLETE, AS DEFINED PER THE DEPARTMENT'S STANDARD SPECIFICATIONS, PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT AND SHALL BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 5TH BUILDING PERMIT. THE REMAINING CONSTRUCTION OF THE FULL MOVEMENT SITE ENTRANCE AND ALL ASSOCIATED ROADWAY AND PEDESTRIAN IMPROVEMENTS, AS DEPICTED IN THE DELDOT-APPROVED PLANS, SHALL BEGIN PRIOR TO THE ISSUANCE OF THE 6TH BUILDING PERMIT AND BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 24TH BUILDING PERMIT.
- PER CONDITION M, THERE SHALL BE ON SITE RECREATIONAL AMENITIES INCLUDING A CLUBHOUSE, OUTDOOR POOL AND DECK, A BATHHOUSE AND STORAGE BUILDING, A TOTT, AND PICKLEBALL COURTS. THE SIZE AND DIMENSIONS OF THE CLUBHOUSE, POOL, AND DECK SHALL BE INCLUDED ON THE FINAL SITE PLAN. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE PRIOR TO THE ISSUANCE OF THE 140TH RESIDENTIAL BUILDING PERMIT.

UTILITY LATERALS FOR THE CLUBHOUSE WILL BE INSTALLED IN PHASE 1A BUT THE CLUBHOUSE ITSELF WONT BE CONSTRUCTED UNTIL PHASE 3A.

**Pennoni**

**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.8030 F 302.684.8054

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**PHASING PLAN**

**RIBERA DEVELOPMENT, LLC**  
 8684 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

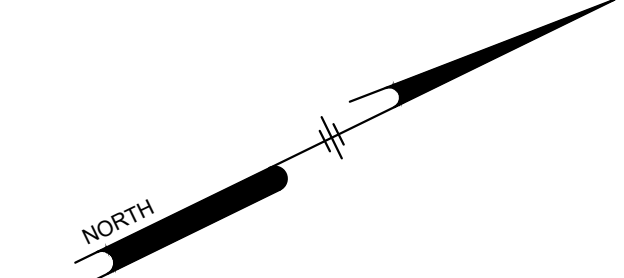
NO.	DATE	REVISIONS	BY
1			
2			
3			

PROJECT: RIBER21001  
 DATE: 2023-06-8  
 DRAWING SCALE: AS SHOWN  
 DRAWN BY: LM/EW  
 APPROVED BY: AMD

**CS0901**

SHEET 3 OF 94

PROJECT: RIBER21001 - Spring Center Property (CS0901)\_SHEETS/CS0901.dwg  
 PLOTTED: 2/27/2024 3:38 PM BY: [Name Redacted]  
 U:\Projects\RIBER21001 - Spring Center Property (CS0901)\_SHEETS/CS0901.dwg



REFER TO OFFSITE UTILITY PLANS FOR FORCEMAIN ALIGNMENT ALONG SINGLE POINT ROAD VIA CONNECTION AT GRAVEL HILL ROAD (RT. 30)

SHEET CS1702

SHEET CS1703

SHEET CS1704

SHEET CS1708

SHEET CS1705

SHEET CS1706

SHEET CS1707

SHEET CS1709

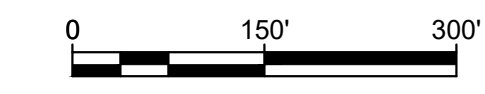
SHEET CS1710

**FIRE HYDRANT LOCATION (WITHIN FOUR WINDS SUBDIVISION)**

HYDRANT #	LOCATION
H-1	BETWEEN LOT 179 & 178 (HONEYSUCKLE DRIVE)
H-2	BETWEEN LOT 140 & 139 (HONEYSUCKLE DRIVE)
H-3	NEAR INTERSECTION WITH HONEYSUCKLE ROAD AND WISTERIA BLVD (LOT 146)
H-4	CORNER OF LOT 252 (MAYAPPLE DRIVE)
H-5	LOT 244 (MAYAPPLE DRIVE)
H-6	CORNER OF LOT 234 (MAYAPPLE DRIVE)
H-7	LOT 315 (TRILLIUM LANE)
H-8	LOT 320 & 319 (TRILLIUM LANE)
H-9	CORNER OF LOT 124 AND TRAFFIC CIRCLE
H-10	CORNER OF LOT 255 & 256 (WISTERIA BLVD)
H-11	INTERSECTION OF TRILLIUM LANE AND LAUREL DRIVE (LOT 263)
H-12	CORNER OF LOT 210 & 211 (LIGHTHOUSE CIRCLE)
H-13	INTERSECTION OF LAUREL DRIVE AND AZEALEA DRIVE (LOT 267)
H-14	BETWEEN LOT 203 AND 204 (HONEYSUCKLE DRIVE & TRILLIUM LANE INTERSECTION)
H-15	CORNER OF LOT 197 (HONEYSUCKLE DRIVE)
H-16	BETWEEN LOTS 190 AND 189 (MAYAPPLE DRIVE)
H-17	INTERSECTION OF TEABERRY LANE AND MAYAPPLE DRIVE (LOT 129)
H-18	CORNER OF LOT 272 (TRILLIUM LANE)
H-19	BETWEEN LOTS 166 AND 165 (HONEYSUCKLE DRIVE)
H-20	BETWEEN LOT 171 AND 170 (HONEYSUCKLE DRIVE)
H-31	ABOVE LOT 5 ON SINGLE POINT ROAD

**OFFSITE FIRE HYDRANT LOCATION (ALONG PETTYJOHN ROAD SEE SHEETS CS4606 TO CS4609)**

HYDRANT #	LOCATION
H-21	RIGHT CORNER OF PARCEL 54.04
H-22	CORNER OF PARCEL 145.00 & 146.00
H-23	CORNER OF PARCEL 12.04 & 12.05
H-24	CORNER OF PARCEL 15.00 & 16.00
H-25A	CORNER OF PARCEL 19.00 & 44.00
H-25	IN FRONT OF PARCEL 44.00
H-26	IN FRONT OF PARCEL 44.00
H-27	CORNER OF PARCEL 44.00 & 44.01
H-28	IN FRONT OF PARCEL 45.01
H-29	IN UTILITY EASEMENT ON HUSTON PROPERTY PARCEL 45.01, BEFORE DITCH CROSSING
H-30	IN UTILITY EASEMENT ON HUSTON PROPERTY PARCEL 45.01, BEFORE SITE CONNECTION



**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.9030 F 302.684.8054

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**FOUR WINDS FARM SUBDIVISION**

TAX ID 235-25-00-39.00  
 SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE

**UTILITY PLAN KEY SHEET**

RIBERA DEVELOPMENT, LLC  
 8694 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

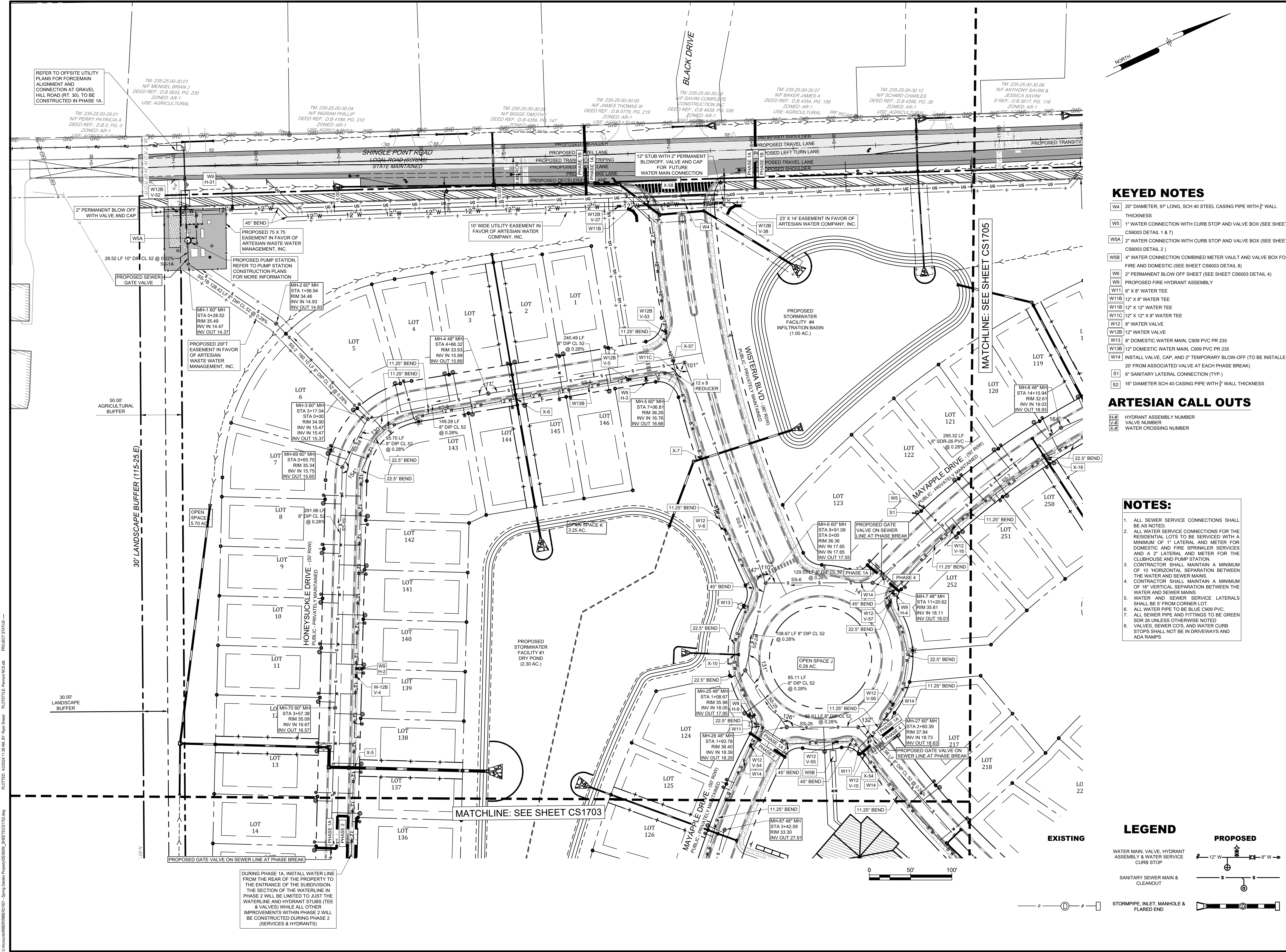
NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: RIBER21001  
 DATE: 2023-11-27  
 DRAWING SCALE: 1" = 150'  
 DRAWN BY: VPL/LET  
 APPROVED BY: AMD

PROJECT STATUS: PLOTTED: 4/20/24 1:58 AM BY: VPL/LET PROJECT NO: 24000001





**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 3/8" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 1 & 7)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- WSB 4" WATER CONNECTION COMBINED METER VAULT AND VALVE BOX FOR FIRE AND DOMESTIC (SEE SHEET CS6003 DETAIL 8)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W10 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11C 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 3/8" WALL THICKNESS

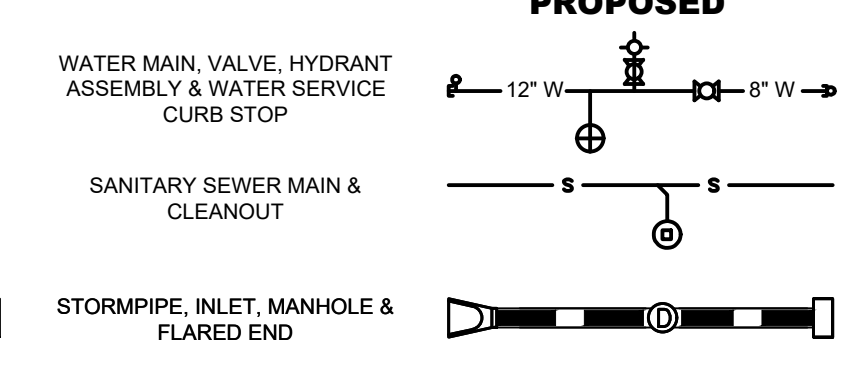
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10" HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**LEGEND**



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

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**UTILITY PLAN**  
RIBERA DEVELOPMENT, LLC  
8864 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

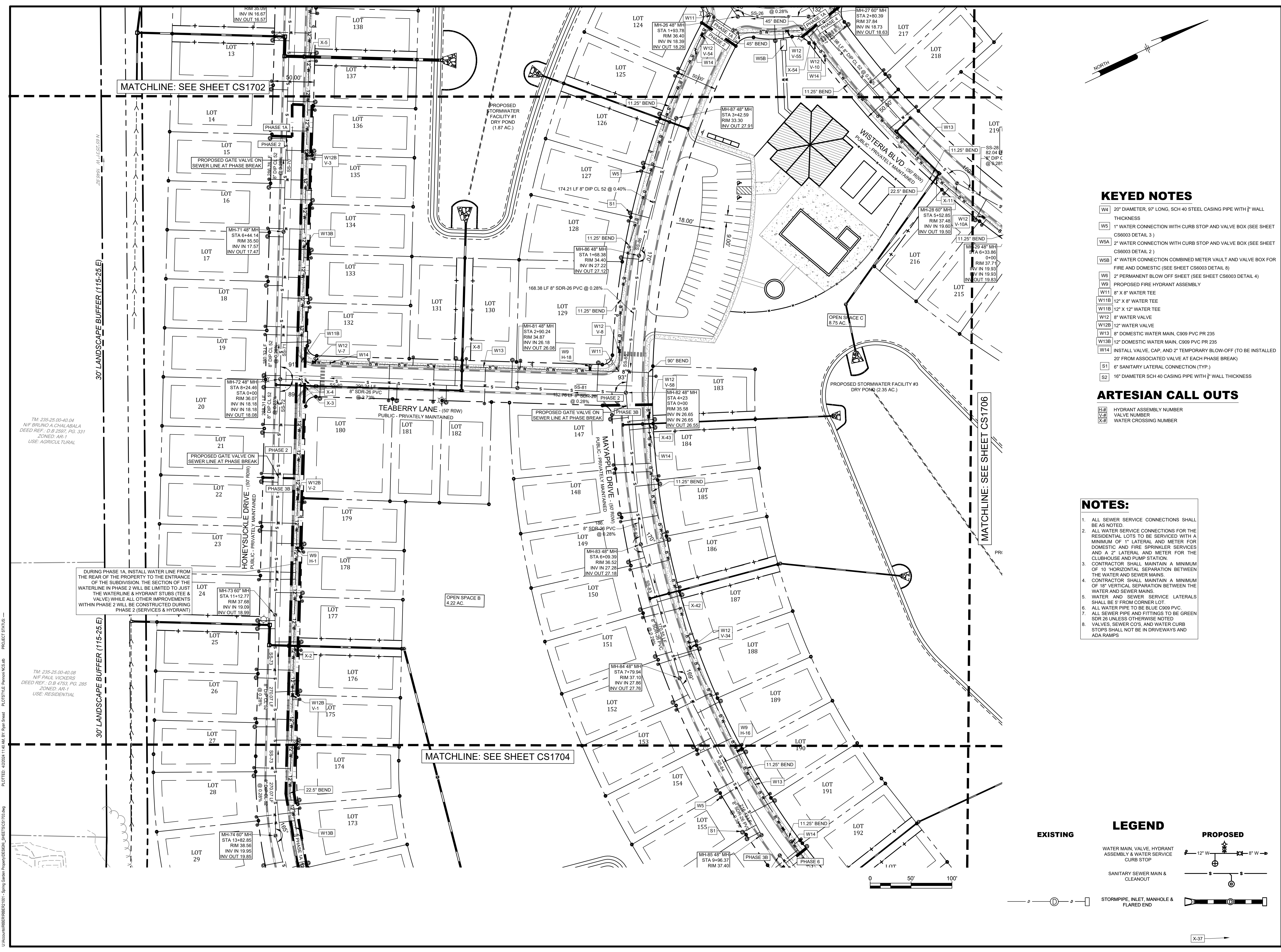
**FOUR WINDS FARM SUBDIVISION**  
TAX ID 235-25-00-39-00  
SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE

NO.	DATE	REVISIONS	BY
3	02/24/2023	REVISED PER SDCD COMMENTS	LFS
2	02/24/2023	REVISED PER AWC AND AVM COMMENTS	LFS
1	02/23/2023	REVISED PER AWC & AVM COMMENTS	VFL

PROJECT: RIBER21001  
DATE: 2023-11-27  
DRAWING SCALE: 1" = 50'  
DRAWN BY: LM/EW/VL  
APPROVED BY: AMD

**CS1702**  
SHEET 17 OF 94

PLOTTED: 4/20/24 1:08 AM BY: [Name] PROJECT STATUS: [Status]  
 U:\Projects\RIBER21001 - Spring Center Property\CS1702.dwg



**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- W5A 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W5B 4" WATER CONNECTION COMBINED METER VAULT AND VALVE BOX FOR FIRE AND DOMESTIC (SEE SHEET CS6003 DETAIL 6)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W6P PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11C 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

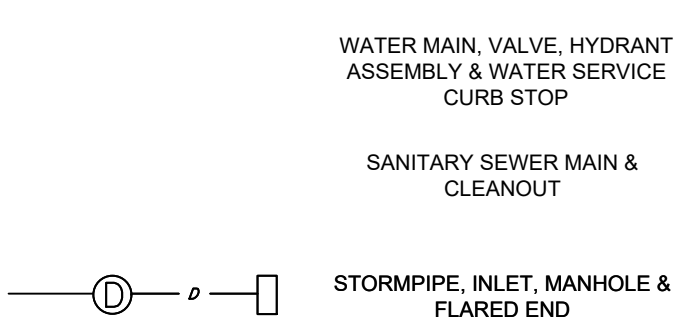
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

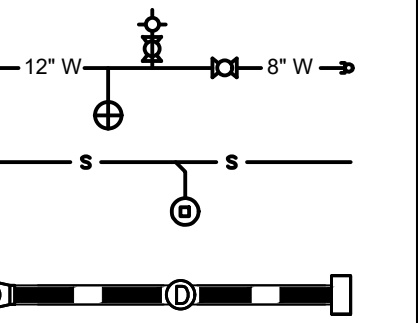
**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**EXISTING**



**PROPOSED**



**LEGEND**



**LEGEND**



**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.9030 F 302.684.8054

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**UTILITY PLAN**  
 RIBERA DEVELOPMENT, LLC  
 8894 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

FOUR WINDS FARM SUBDIVISION  
 TAX ID 235-25-00-39.00  
 SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE

NO.	DATE	REVISIONS	BY
3	2024-02-23	REVISED PER SCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AVM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

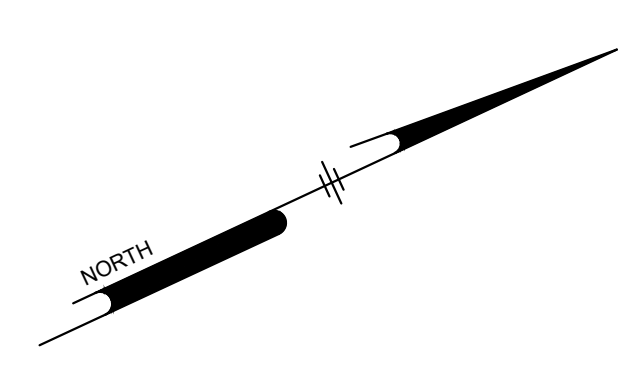
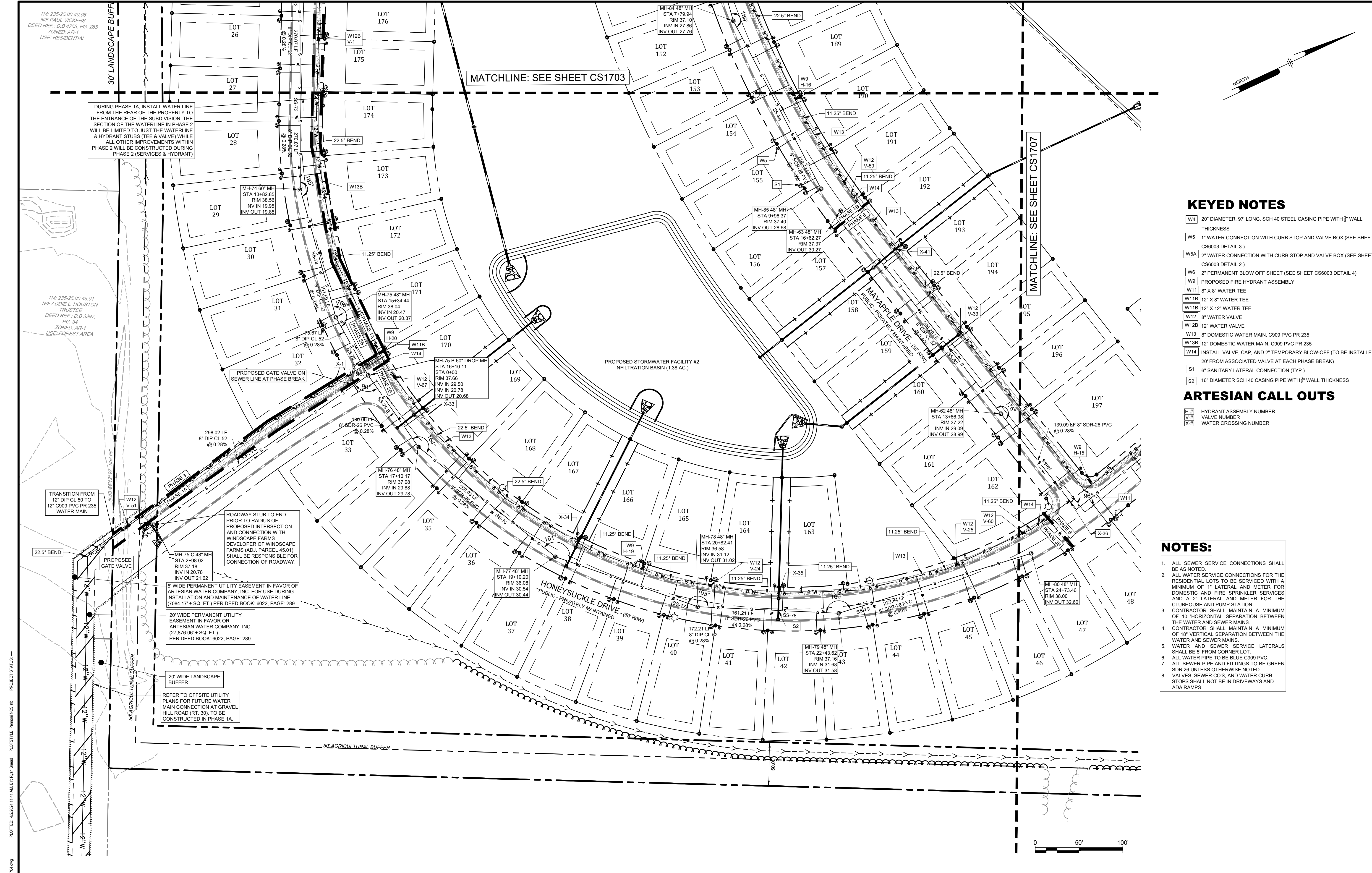
PROJECT: RIBER21001  
 DATE: 2023-11-27  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: LM/EW/VL  
 APPROVED BY: AMD

**CS1703**  
 SHEET 18 OF 94

TM: 235-25-00-40.04  
 N/F BRUNO A CHALABALA  
 DEED REF.: D.B. 2597, PG. 331  
 ZONED: AR-1  
 USE: AGRICULTURAL

TM: 235-25-00-40.08  
 N/F PAUL VICKERS  
 DEED REF.: D.B. 4753, PG. 285  
 ZONED: AR-1  
 USE: RESIDENTIAL

PROJECT STATUS:  
 PLOTTED: 4/23/24 11:40 AM BY: [Name] PLOT STYLE: Pennon V03.dwg



**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

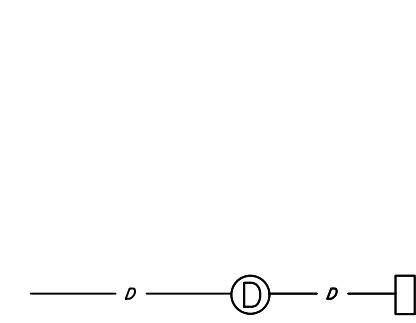
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

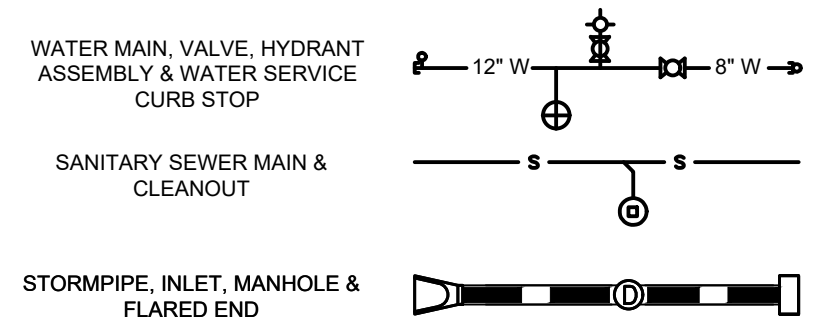
**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
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4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 6" FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**EXISTING**



**PROPOSED**



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Milton, DE 19968  
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**UTILITY PLAN**  
RIBERA DEVELOPMENT, LLC  
8894 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

FOUR WINDS FARM SUBDIVISION  
TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

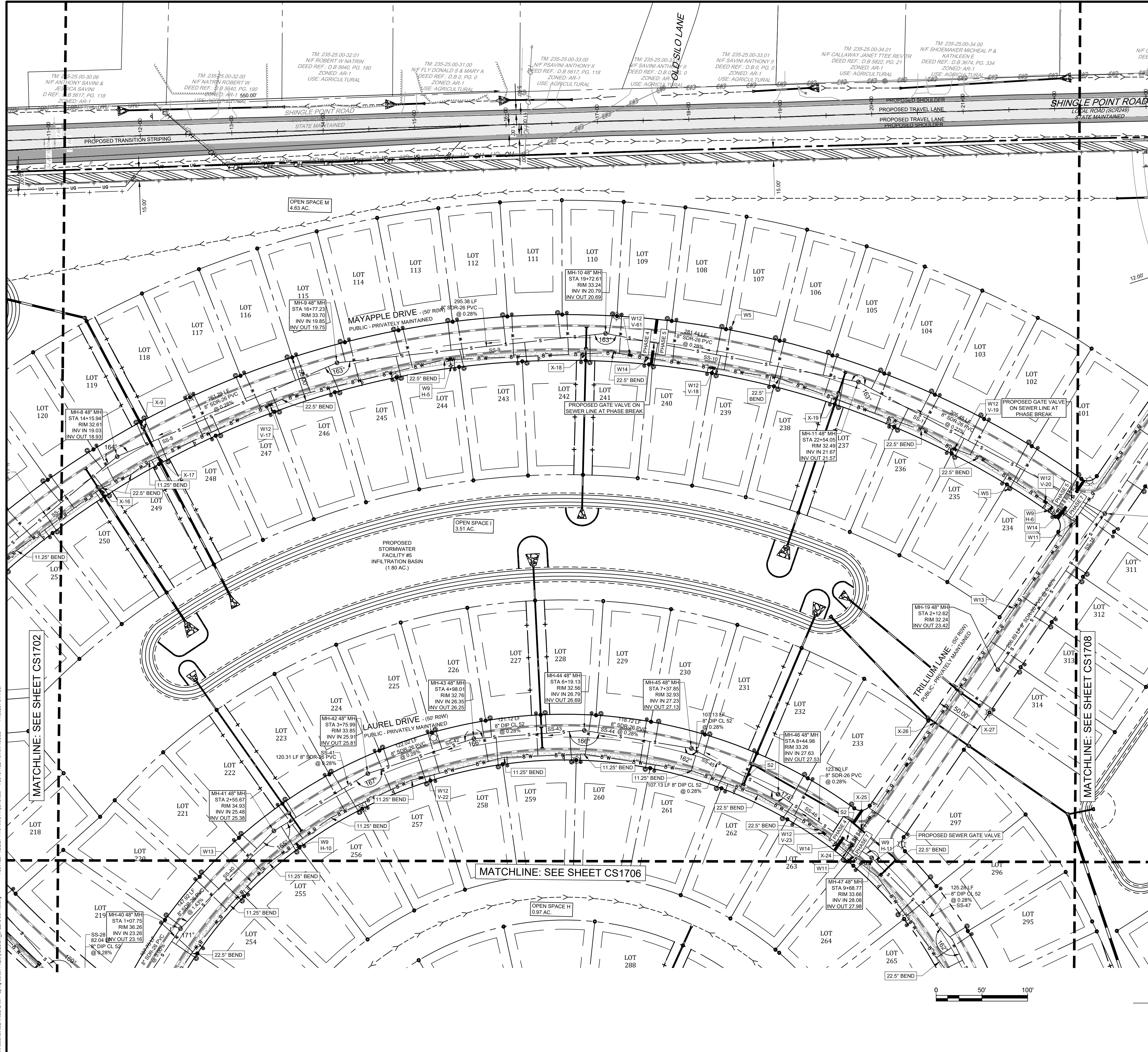
NO.	DATE	REVISIONS	BY
3	2024-02-23	REVISED PER SDCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AVM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

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PROJECT: RIBER21001  
DATE: 2023-11-27  
DRAWING SCALE: 1" = 50'  
DRAWN BY: LM/EW/VL  
APPROVED BY: AMD

**CS1704**  
SHEET 19 OF 94

U:\Projects\RIBER21001 - Spring Center Property\DESIGN\_SHEETS\CS1704.dwg  
 PLOTTED: 4/23/24 11:41 AM BY: Ryan Shiel PROJECT STATUS:



**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

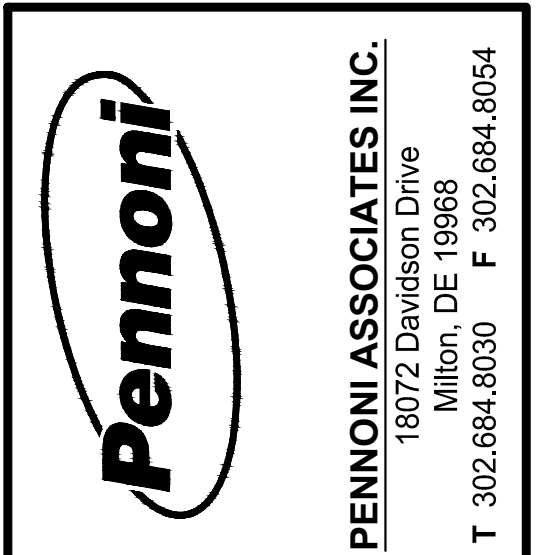
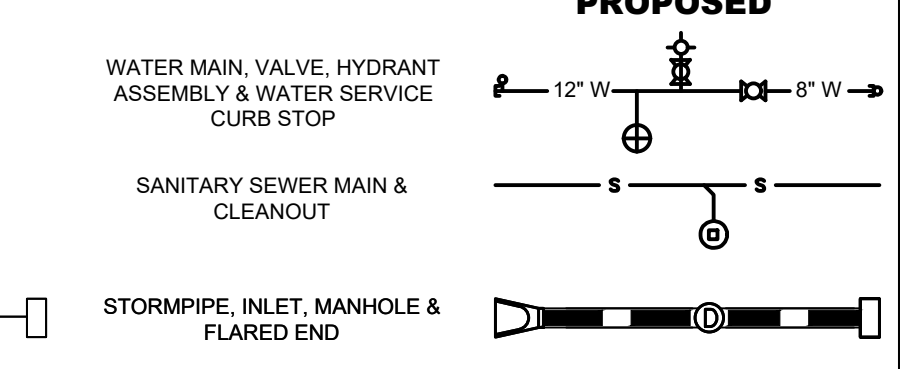
**ARTESIAN CALL OUTS**

- H-X HYDRANT ASSEMBLY NUMBER
- V-X VALVE NUMBER
- X-X WATER CROSSING NUMBER

**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10" HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
5. ALL WATER PIPE TO BE BLUE C909 PVC.
6. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
7. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**LEGEND**



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**FOUR WINDS FARM SUBDIVISION**  
 TAX ID 235-25-00-39.00  
 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
**UTILITY PLAN**  
 RIBERA DEVELOPMENT, LLC  
 8694 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	02/24/23	REVISED PER SDC COMMENTS	LFS
2	02/24/23	REVISED PER AWC AND AVM COMMENTS	LFS
1	02/21/23	REVISED PER AWC & AVM COMMENTS	VL

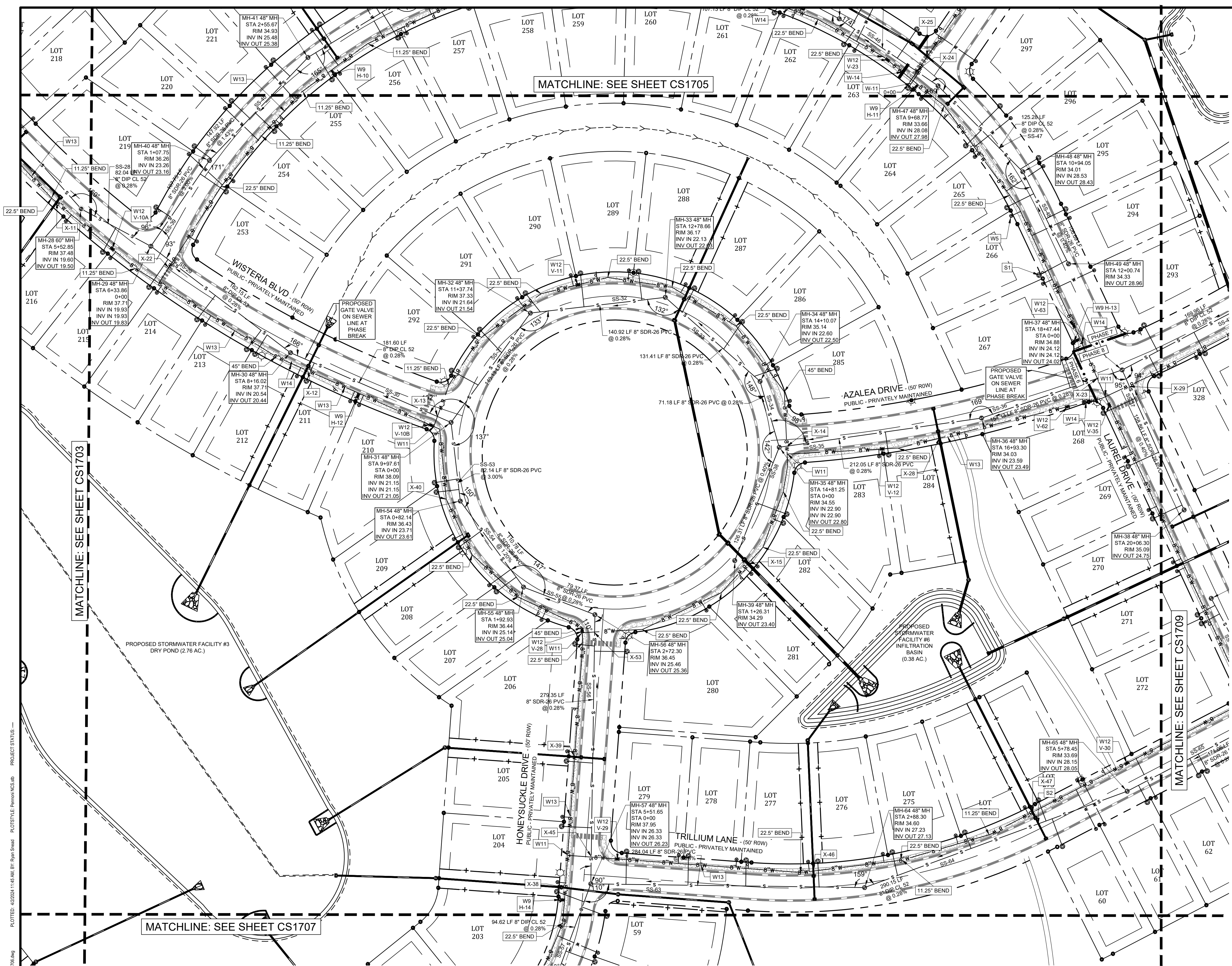
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PROJECT: RIBER21001  
 DATE: 2023-11-27  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: LM/EW/VL  
 APPROVED BY: AMD

**CS1705**  
 SHEET 20 OF 94

PLOTTED: 4/20/24 11:43 AM BY: Pinar Binal PROJECT STATUS: PLOTSTYLE: Pennoni V02.dwg  
 U:\Automation\BIBER21001 - Spring Center Property\CS1705\CS1705.dwg





**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

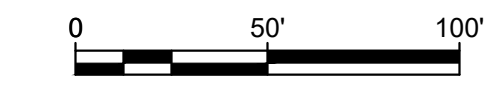
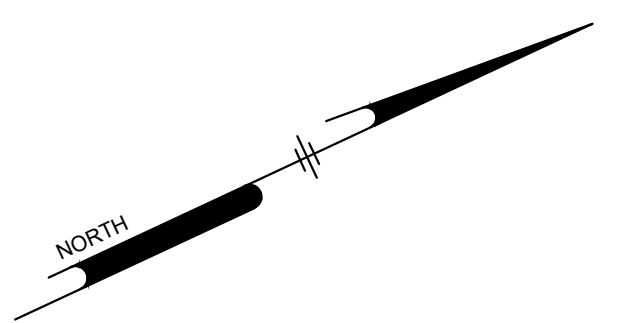
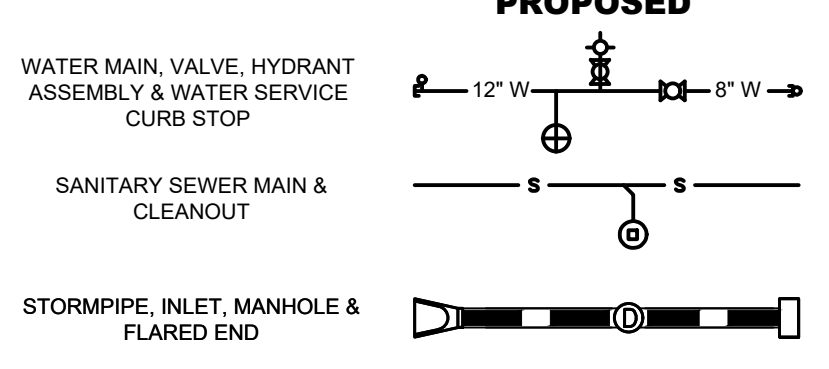
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
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4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**LEGEND**



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

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**UTILITY PLAN**  
RIBERA DEVELOPMENT, LLC  
8894 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

FOUR WINDS FARM SUBDIVISION  
SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE  
TAX ID 235-25-00-39-00

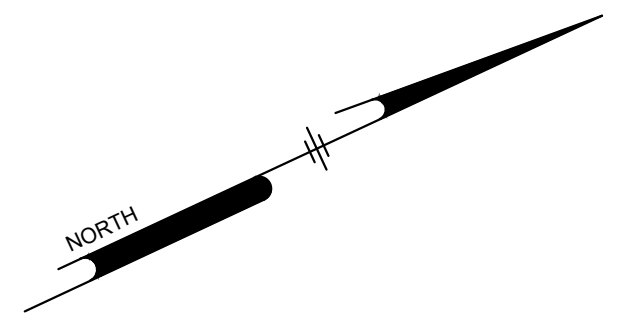
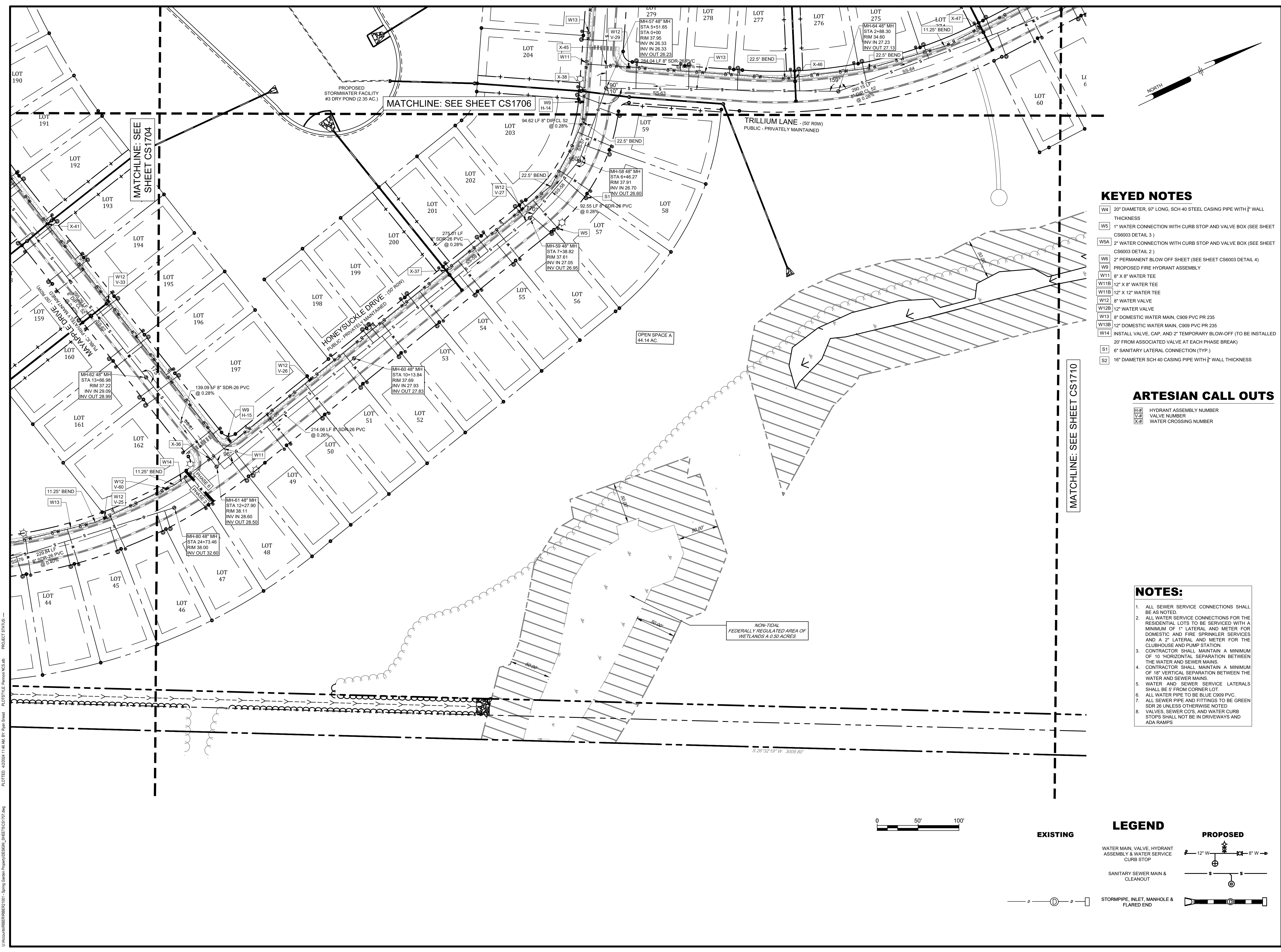
NO.	DATE	REVISIONS	BY
3	2024-03-23	REVISED PER SDCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AVM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

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PROJECT: RIBER21001  
DATE: 2023-11-27  
DRAWING SCALE: 1" = 50'  
DRAWN BY: LM/EW/VL  
APPROVED BY: AMD

**CS1706**  
SHEET 21 OF 94

PLOTTED: 4/23/24 1:44 AM BY: [Name] PROJECT STATUS: [Status]  
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**KEYED NOTES**

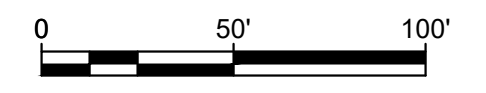
- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- W5A 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

**NOTES:**

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6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 35 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS

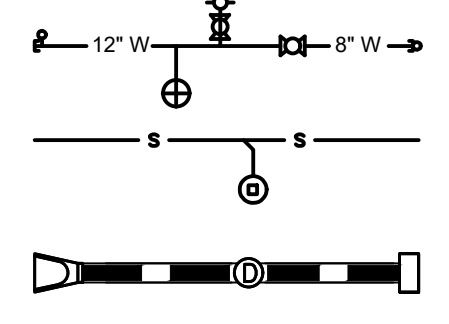


EXISTING

**LEGEND**

- WATER MAIN, VALVE, HYDRANT ASSEMBLY & WATER SERVICE CURB STOP
- SANITARY SEWER MAIN & CLEANOUT
- STORMPIPE, INLET, MANHOLE & FLARED END

PROPOSED



**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.9030 F 302.684.8054

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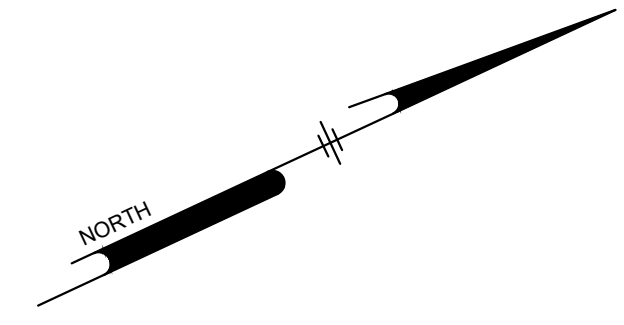
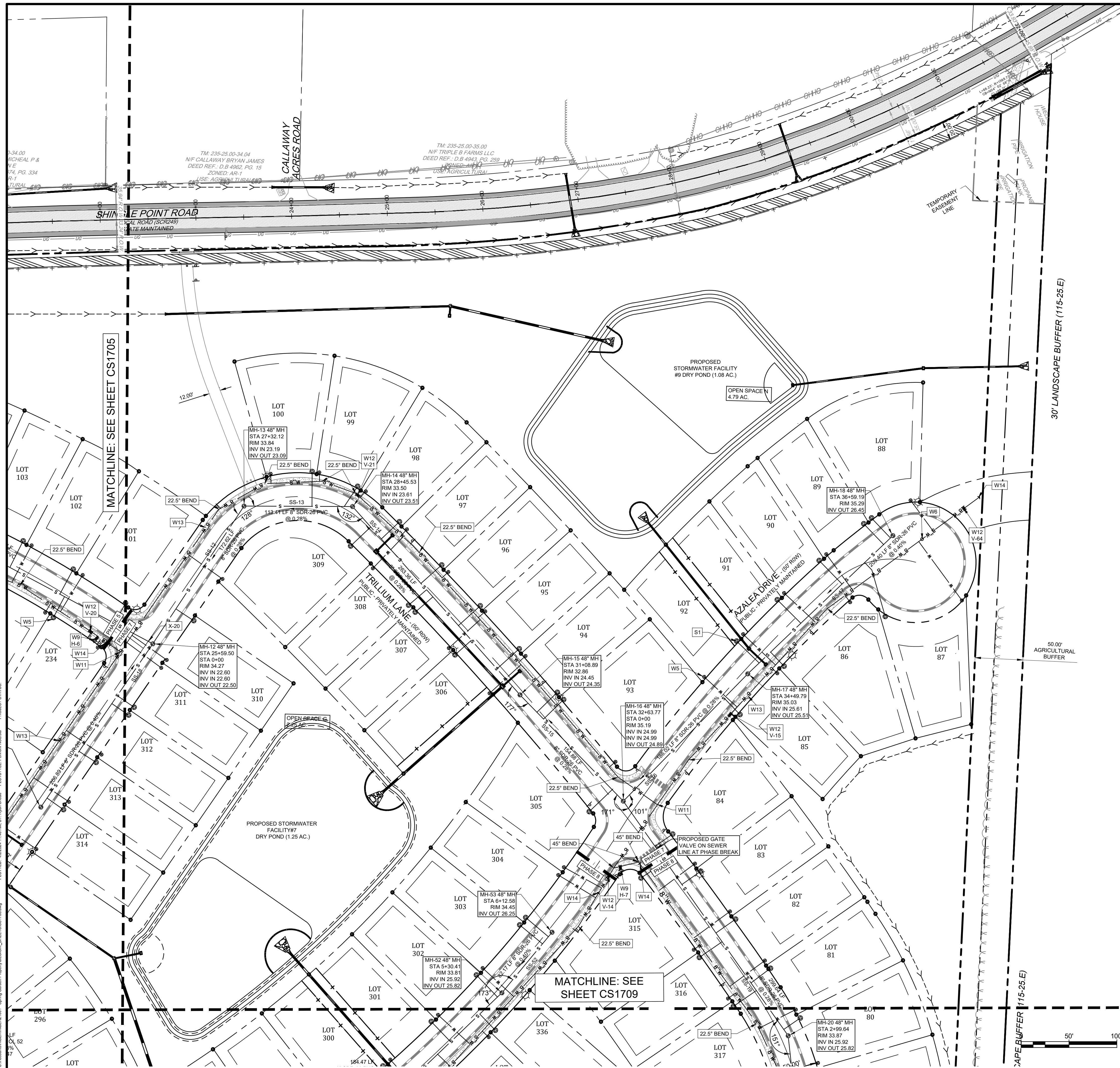
**FOUR WINDS FARM SUBDIVISION**  
 TAX ID 235-25-00-39-00  
 SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE  
**UTILITY PLAN**  
**RIBERA DEVELOPMENT, LLC**  
 8694 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	2024-02-23	REVISED PER SCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AVM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

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PROJECT: **RIBER21001**  
 DATE: 2023-11-27  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: LM/EW/VL  
 APPROVED BY: AMD

PLOTTED: 4/23/24 1:48 AM BY: Victor Shaul PROJECT STATUS:   
 U:\Admin\RIBER21001 - Spring Center Property\DCSDM\_SHEETS\CS1707.dwg



**KEYED NOTES**

- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- W5A 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)

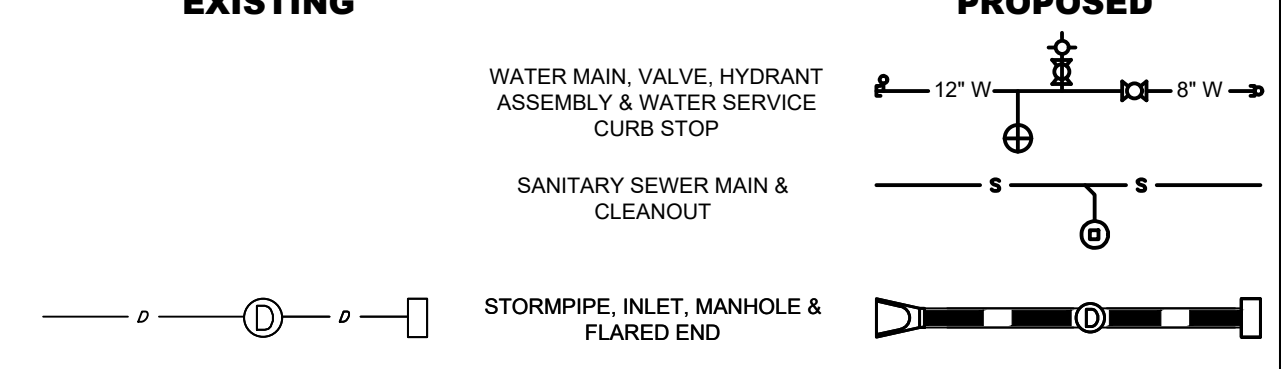
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
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5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**LEGEND**



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FOUR WINDS FARM SUBDIVISION  
 TAX ID 235-25-00-39.00  
 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

**UTILITY PLAN**

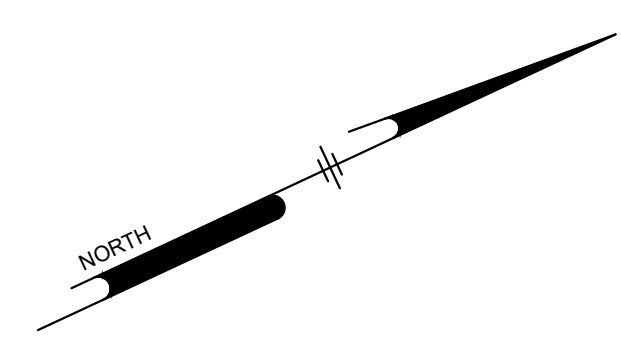
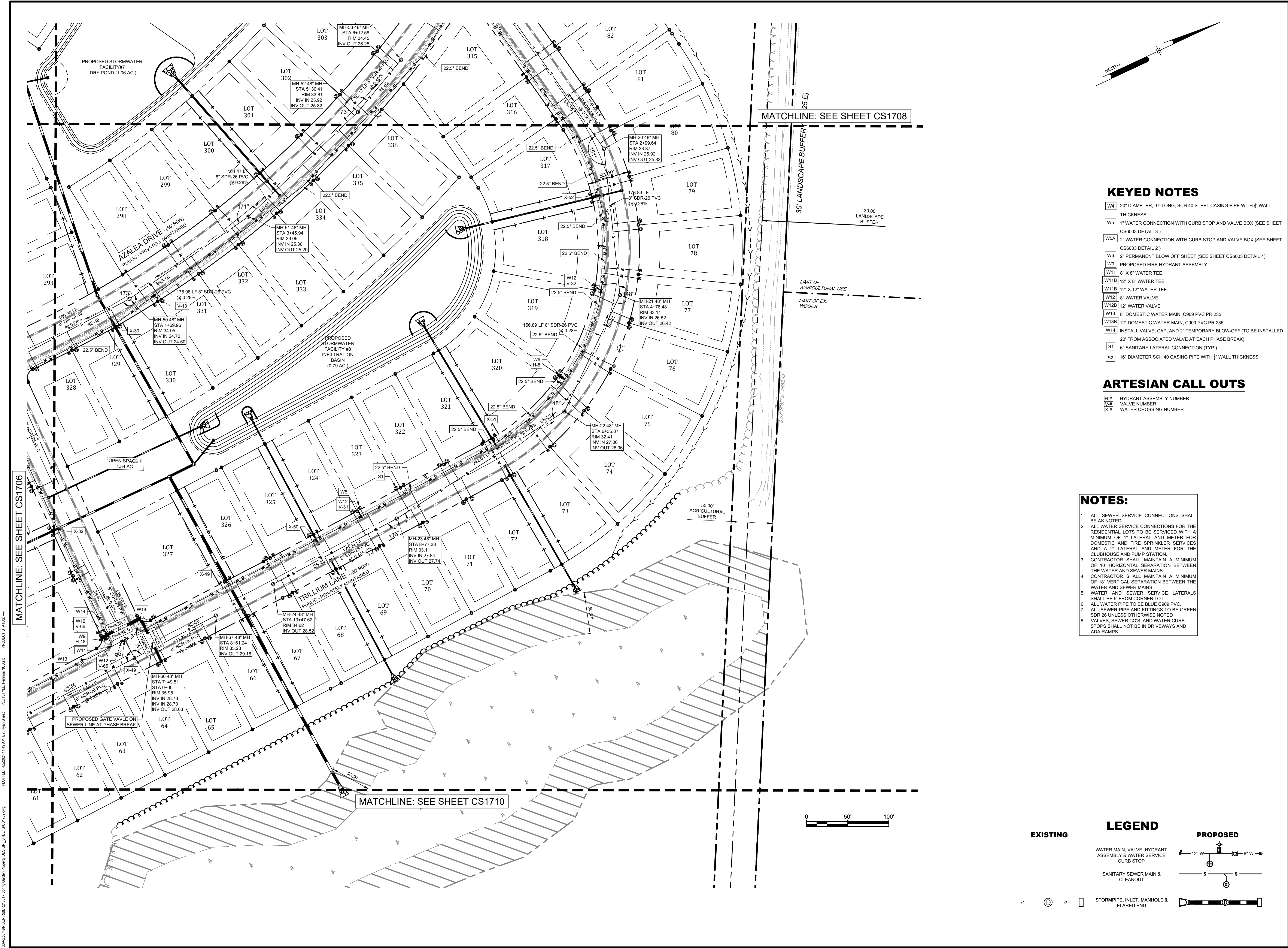
RIBERA DEVELOPMENT, LLC  
 8684 VETERANS HIGHWAY, SUITE 203  
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	2024-02-23	REVISED PER SDCD COMMENTS	LFS
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1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

PROJECT: RIBER21001  
 DATE: 2023-11-27  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: LM/EW/VL  
 APPROVED BY: AMD

**CS1708**  
 SHEET 23 OF 94

**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
 T 302.684.9030 F 302.684.8054



**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
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- W12B 12" WATER VALVE
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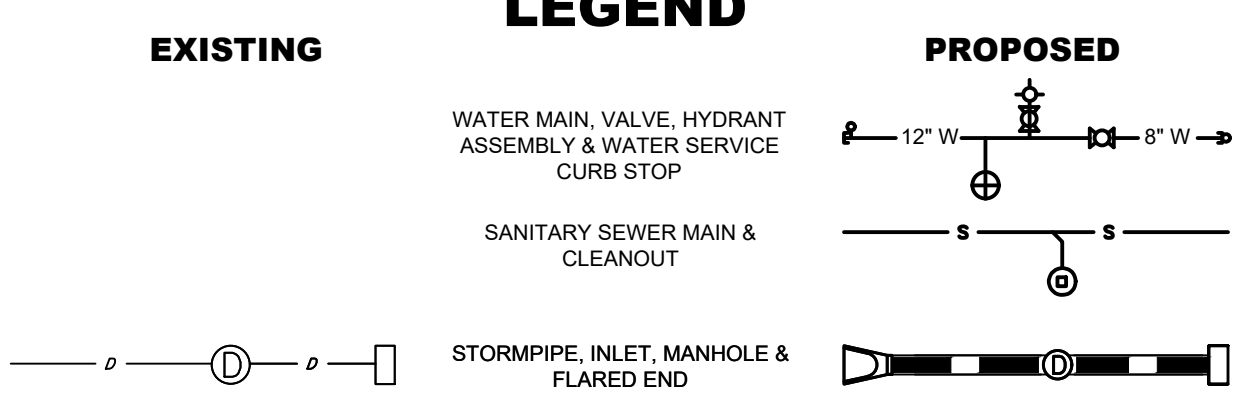
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
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- X# WATER CROSSING NUMBER

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**LEGEND**



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**UTILITY PLAN**  
RIBERA DEVELOPMENT, LLC  
8864 VETERANS HIGHWAY, SUITE 203  
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**FOUR WINDS FARM SUBDIVISION**  
TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

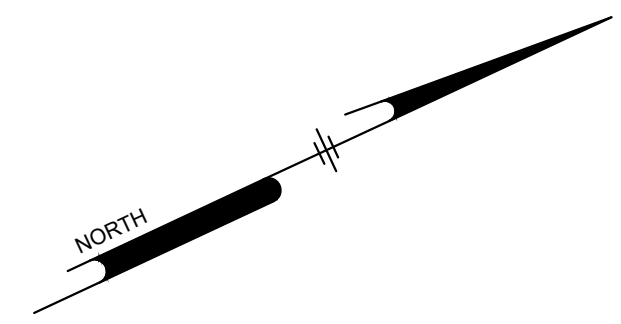
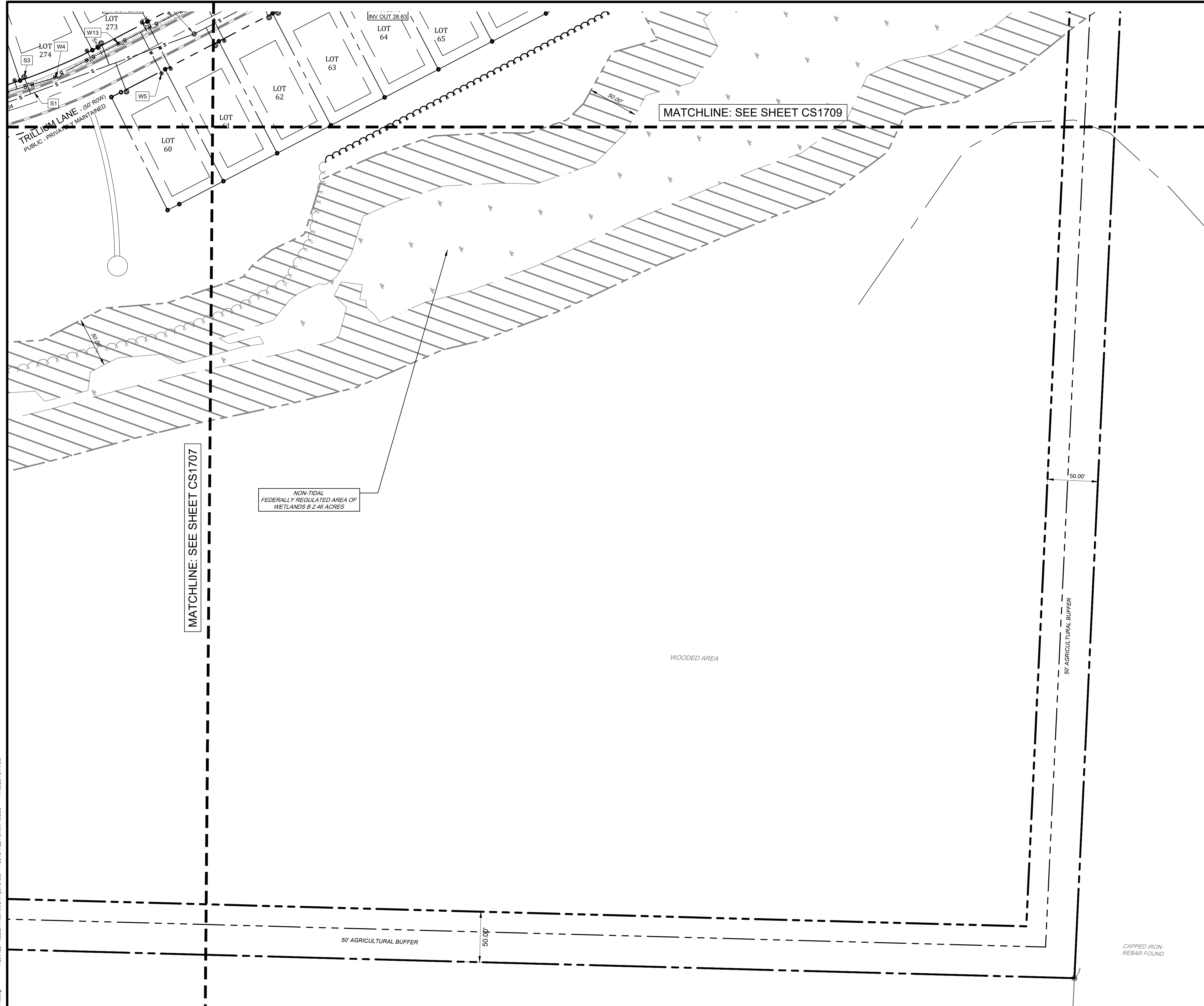
NO.	DATE	REVISIONS	BY
2	2024-02-23	REVISED PER SCED COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VL

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PROJECT: RIBER21001  
DATE: 2023-11-27  
DRAWING SCALE: 1" = 50'  
DRAWN BY: LM/EW/VL  
APPROVED BY: AMD

**CS1709**  
SHEET 24 OF 94

PLOTTED: 4/23/24 1:49 AM BY: Ryan Shiel PLOTSTYLE: Pennoni V02.dwg PROJECT STATUS:



**KEYED NOTES**

- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- W5 1" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 3)
- W5A 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11B 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

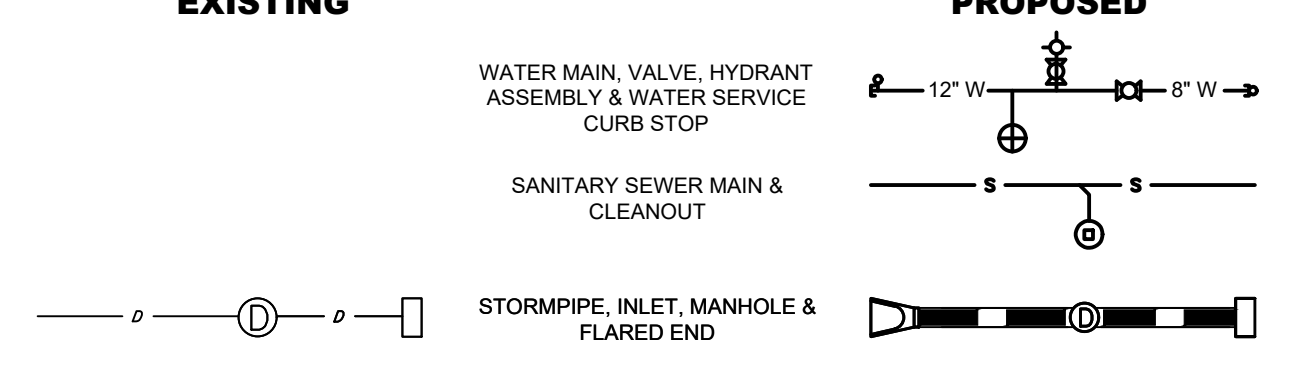
**ARTESIAN CALL OUTS**

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

**NOTES:**

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

**LEGEND**



**PENNONI ASSOCIATES INC.**  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

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**FOUR WINDS FARM SUBDIVISION**  
TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

**UTILITY PLAN**  
RIBERA DEVELOPMENT, LLC  
8864 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS
3	2024-02-23	REVISED PER SCED COMMENTS
2	2024-01-29	REVISED PER AWC AND AVMU COMMENTS
1	2023-12-18	REVISED PER AWC & AVMU COMMENTS

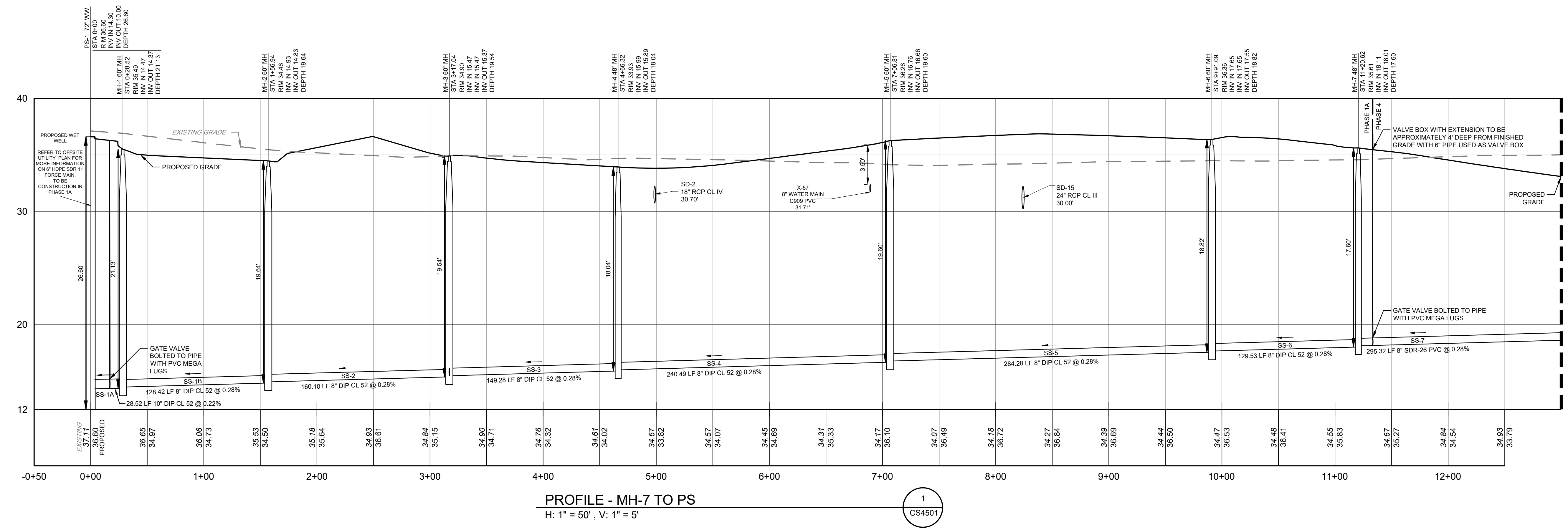
BY	DATE	REVISIONS

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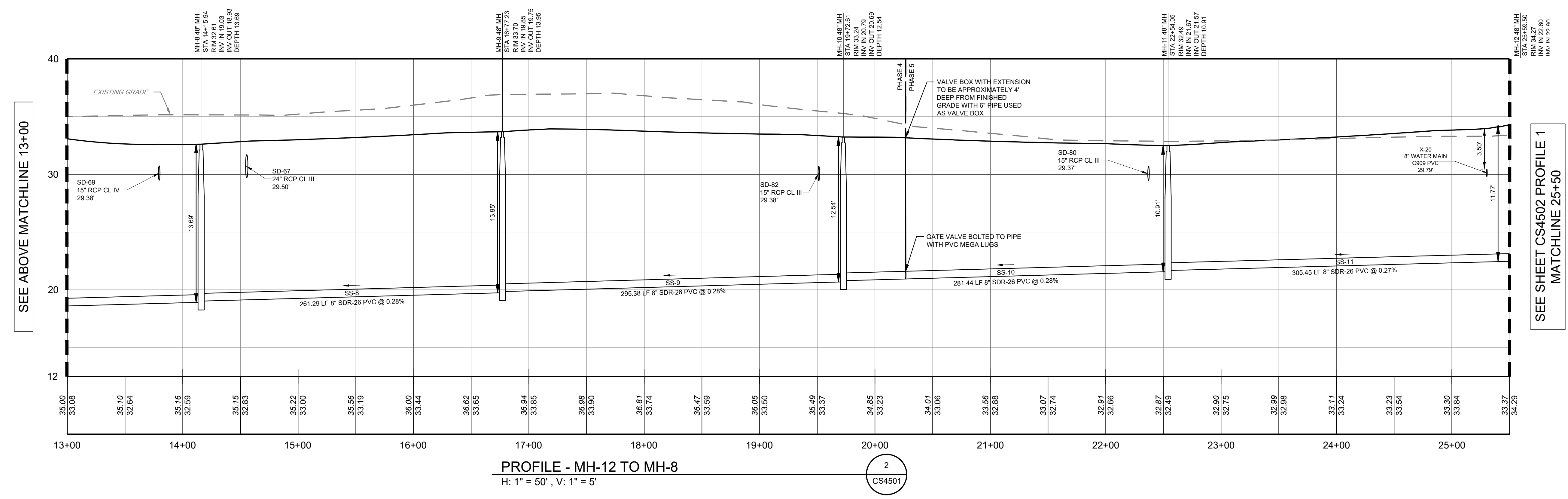
PROJECT	RIBER21001
DATE	2023-11-27
DRAWING SCALE	1" = 50'
DRAWN BY	LM/EW/VL
APPROVED BY	AMD

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 PLOTTED: 4/23/24 1:50 AM BY: Pjpw@pennoni.com  
 PROJECT STATUS:

U:\Mansfield\BIBER21001 - Spring Center Property\CS4501\_SHEET\CS4501.dwg PLOTTED: 4/20/24 10:41 AM BY: Ryan Powell PROJECT STATUS: —



SEE BELOW MATCHLINE 13+00



SEE ABOVE MATCHLINE 13+00

SEE SHEET CS4502 PROFILE 1 MATCHLINE 25+50

FOUR WINDS FARM SUBDIVISION

SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
SANITARY SEWER PROFILES

RIBERA DEVELOPMENT, LLC  
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MILLERSVILLE, MD 21108

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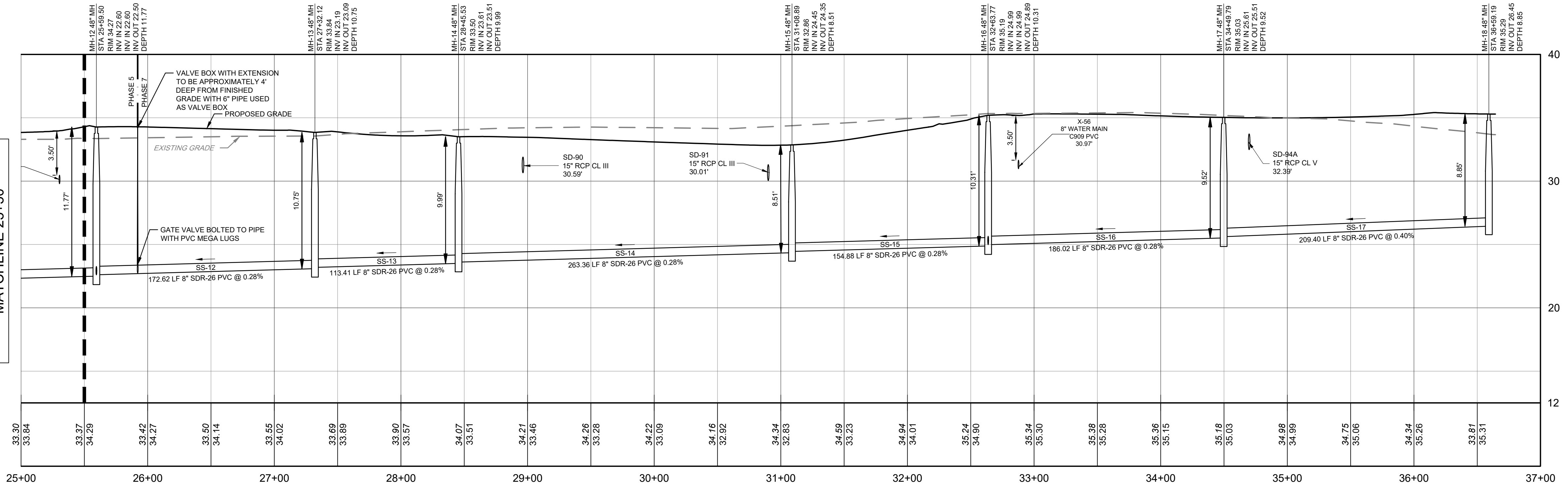
**Pennoni**  
PENNONI ASSOCIATES INC.  
18072 Davidson Drive  
Milton, DE 19968  
T 302.684.9030 F 302.684.8054

NO.	DATE	REVISIONS	BY
3	02/24/2023	REVISED PER SCD COMMENTS	LFS
2	02/24/2023	REVISED PER AWC AND AVM COMMENTS	LFS
1	02/23/2023	REVISED PER AWC & AVM COMMENTS	VPL

PROJECT	RIBER21001
DATE	2023-11-27
DRAWING SCALE	AS SHOWN
DRAWN BY	VPL/VL/MEW
APPROVED BY	AMD

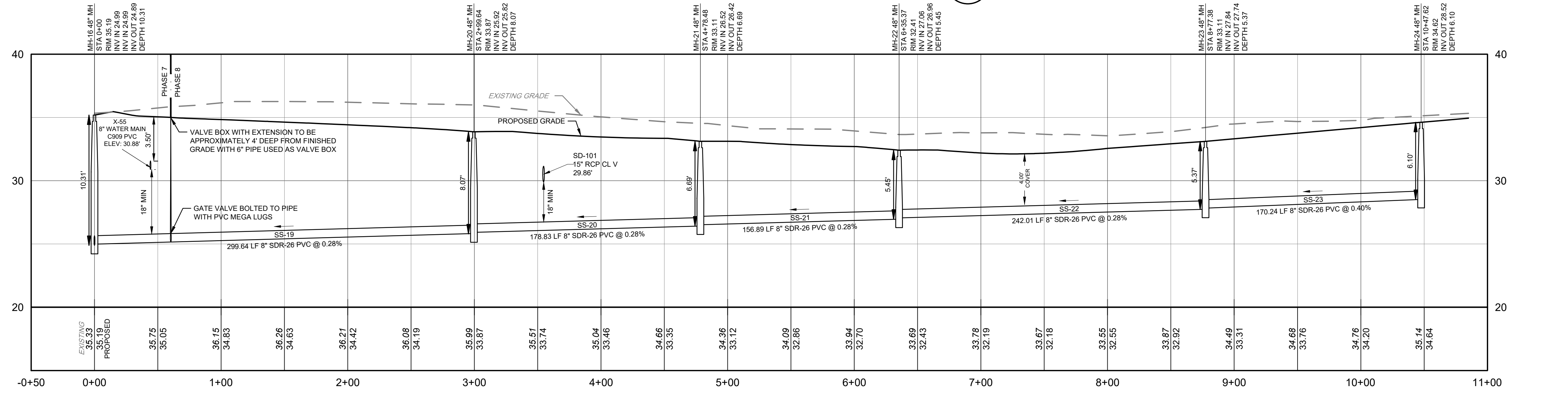
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SEE SHEET CS4501 PROFILE 2  
MATCHLINE 25+50



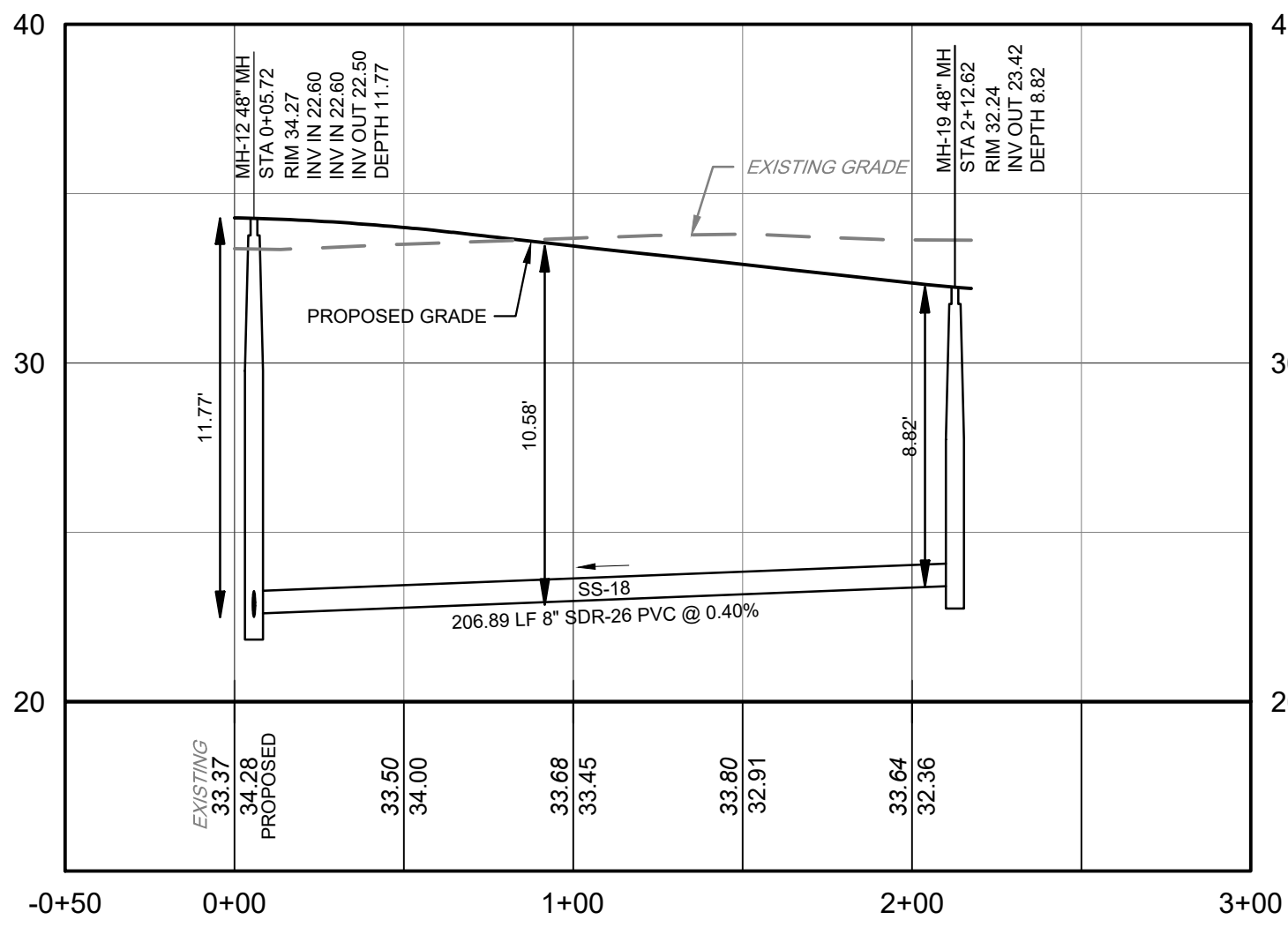
PROFILE - MH-18 TO MH-12  
H: 1" = 50' , V: 1" = 5'

1  
CS4502



PROFILE - MH-24 TO MH-16  
H: 1" = 50' , V: 1" = 5'

2  
CS4502



PROFILE - MH 19B TO MH-12  
H: 1" = 50' , V: 1" = 5'

3  
CS4502



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**FOUR WINDS FARM SUBDIVISION**

TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
**SANITARY SEWER PROFILES**

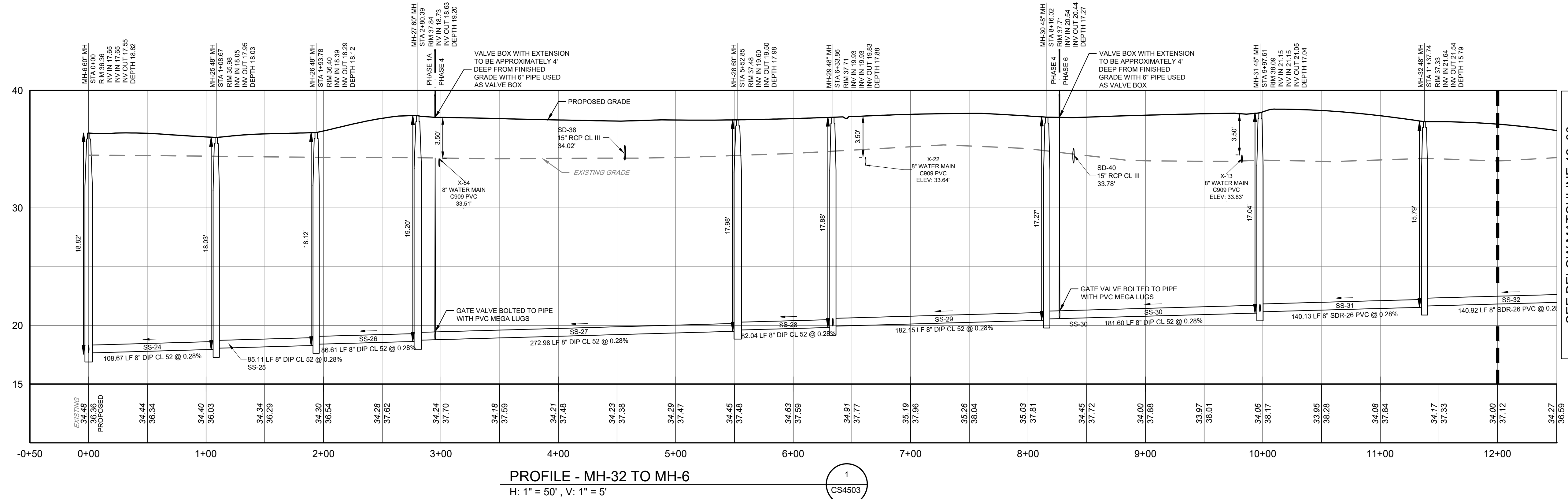
**RIBERA DEVELOPMENT, LLC**  
8694 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	2024-03-23	REVISED PER SDCD COMMENTS	LFS
2		REVISED PER AWC AND AVMCI COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVMCI COMMENTS	VPL

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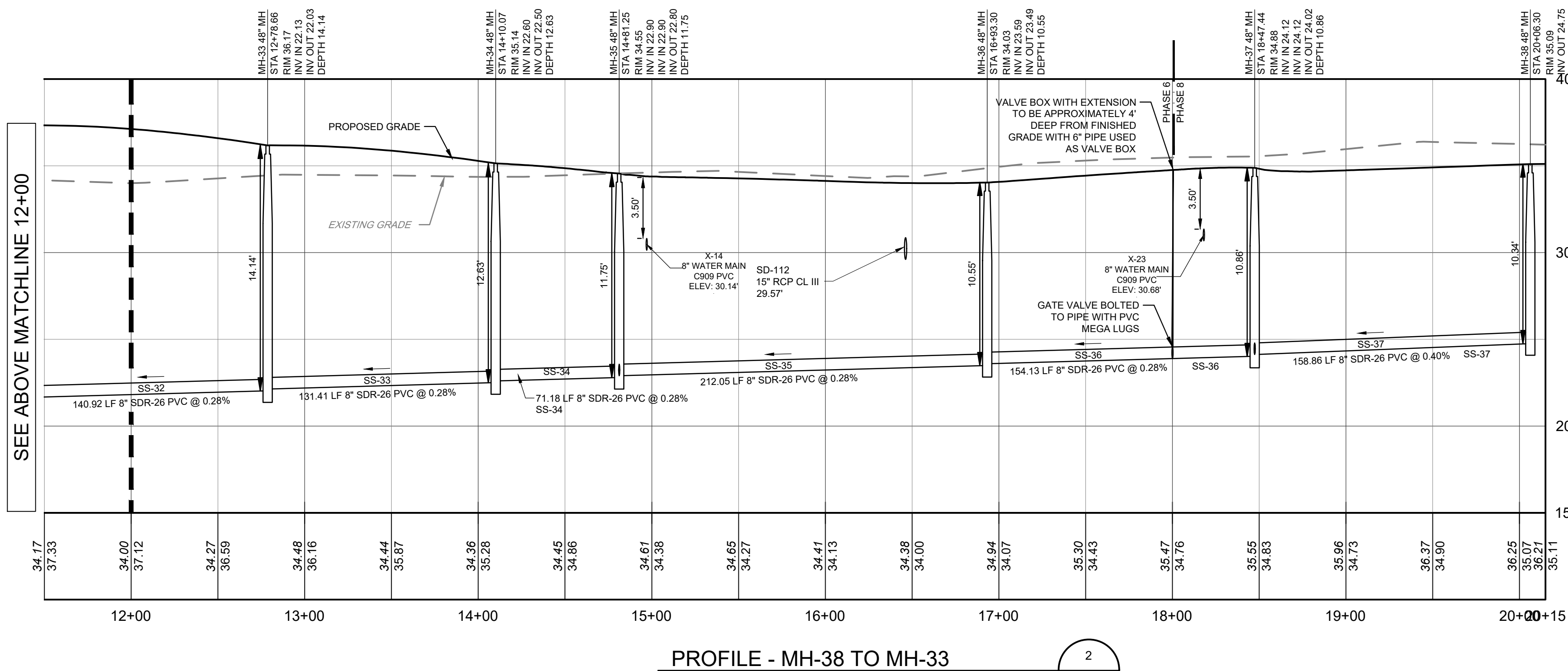
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DATE	2023-11-27
DRAWING SCALE	AS SHOWN
DRAWN BY	VPL/LM/EW
APPROVED BY	AMD

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 PLOT STYLE: Penwin V3.ctb



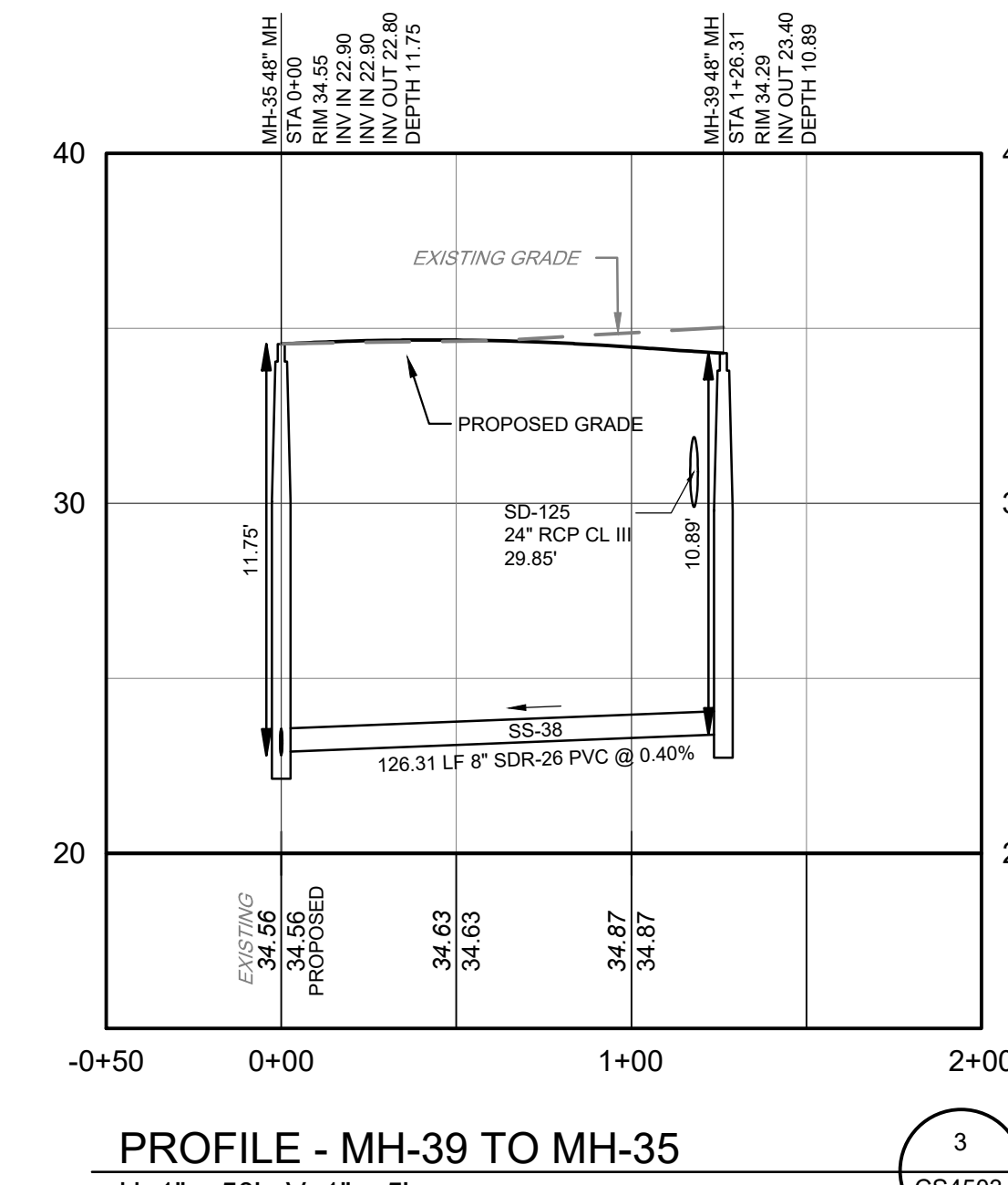
PROFILE - MH-32 TO MH-6  
 H: 1" = 50', V: 1" = 5'

1  
 CS4503



PROFILE - MH-38 TO MH-33  
 H: 1" = 50', V: 1" = 5'

2  
 CS4503



PROFILE - MH-39 TO MH-35  
 H: 1" = 50', V: 1" = 5'

3  
 CS4503

FOUR WINDS FARM SUBDIVISION

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 SINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
**SANITARY SEWER PROFILES**

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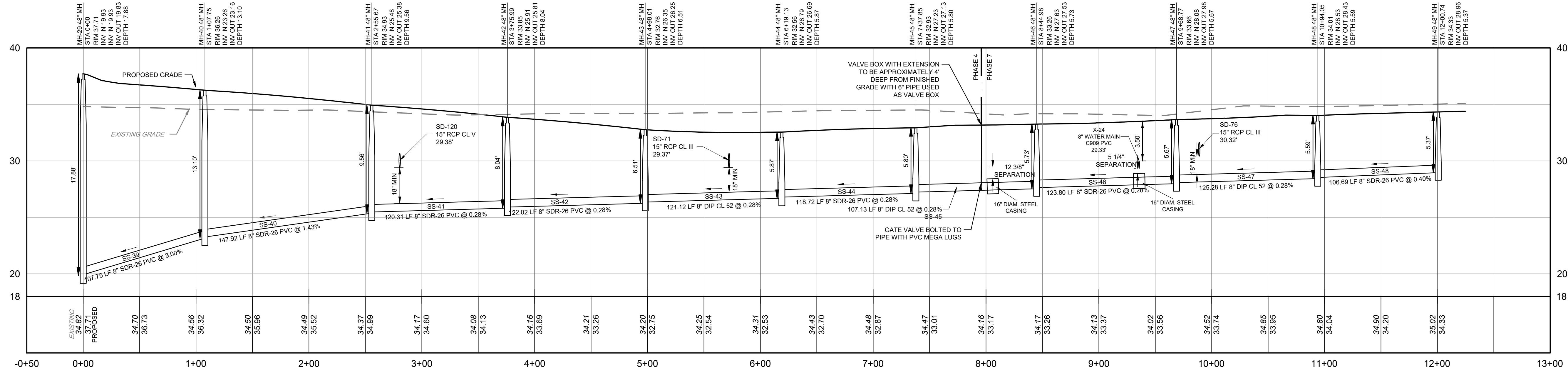
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

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1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VPL

PROJECT	RIBER21001
DATE	2023-11-27
DRAWING SCALE	AS SHOWN
DRAWN BY	VPL/LM/EW
APPROVED BY	AMD



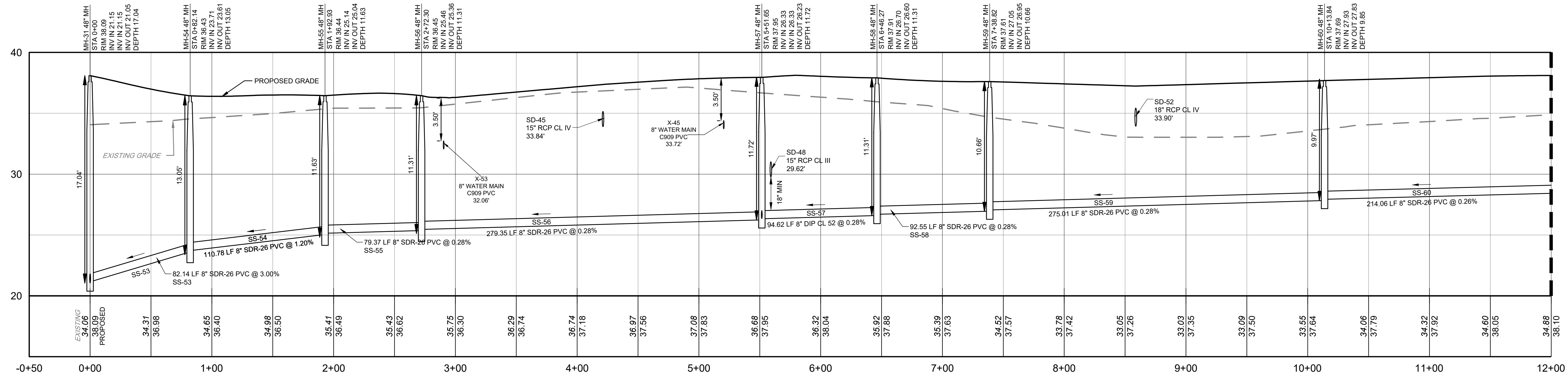
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PROFILE - MH-49 TO MH-29

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CS4504

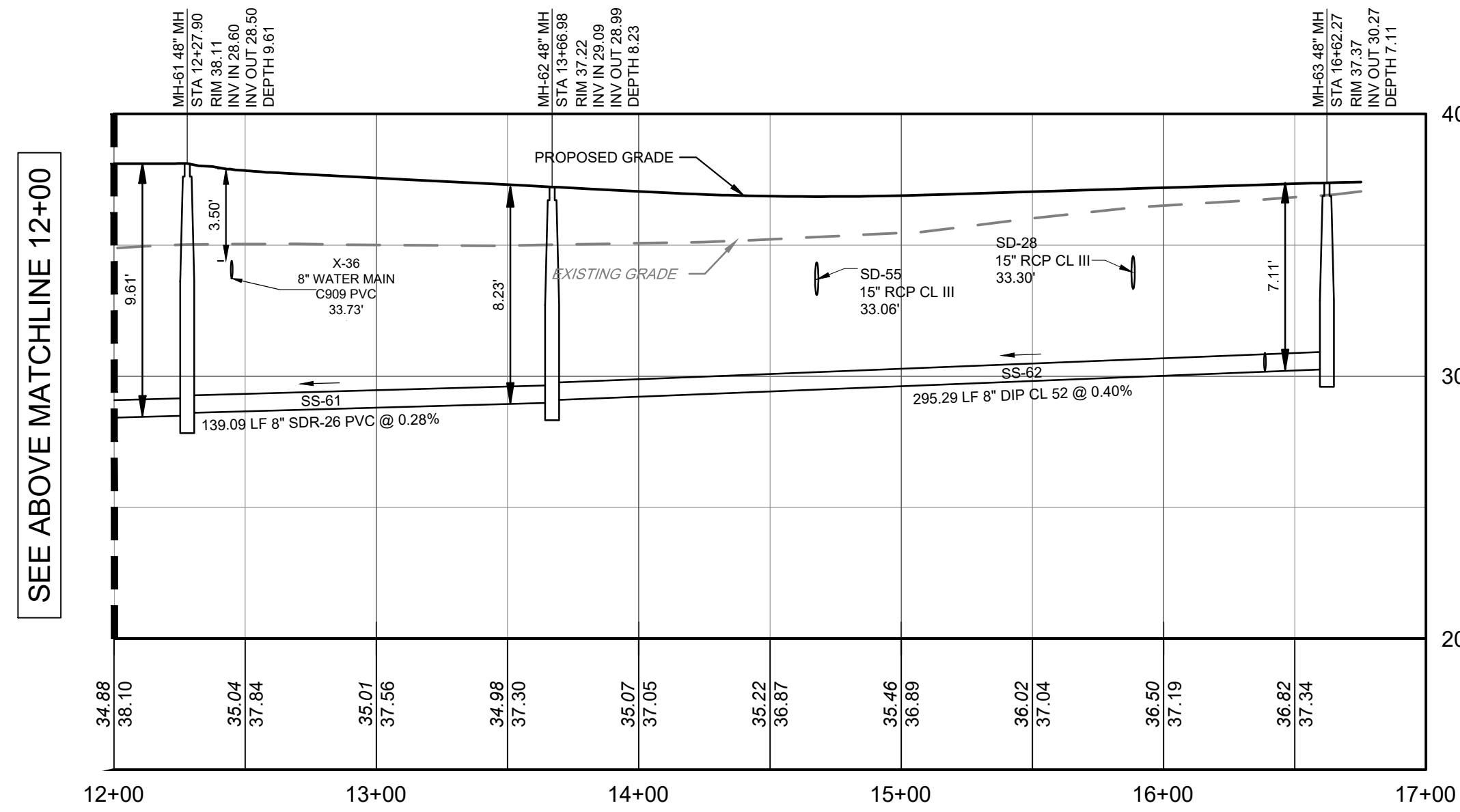


PROFILE - MH-61 TO MH-31

H: 1" = 50', V: 1" = 5'

2  
CS4504

SEE BELOW MATCHLINE 12+00



PROFILE - MH-63 TO MH-61

H: 1" = 50', V: 1" = 5'

3  
CS4504



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**FOUR WINDS FARM SUBDIVISION**

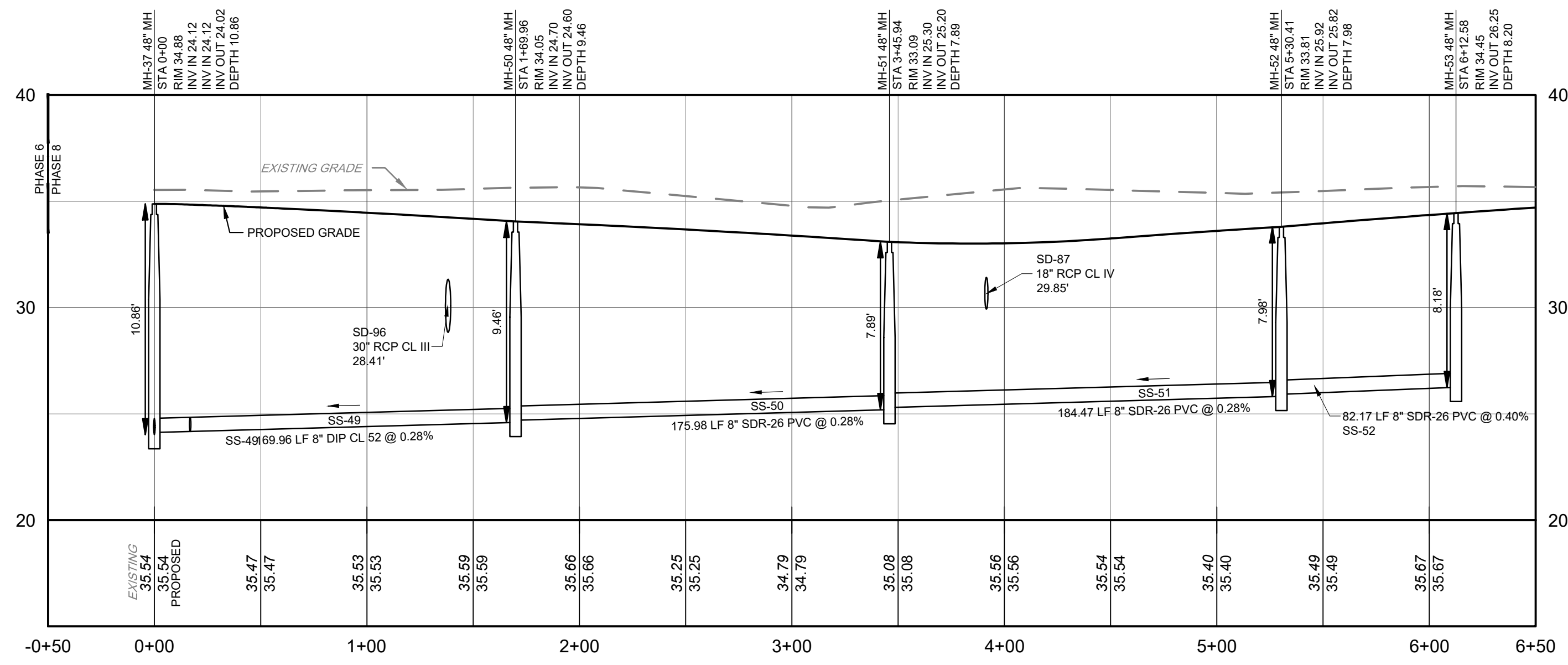
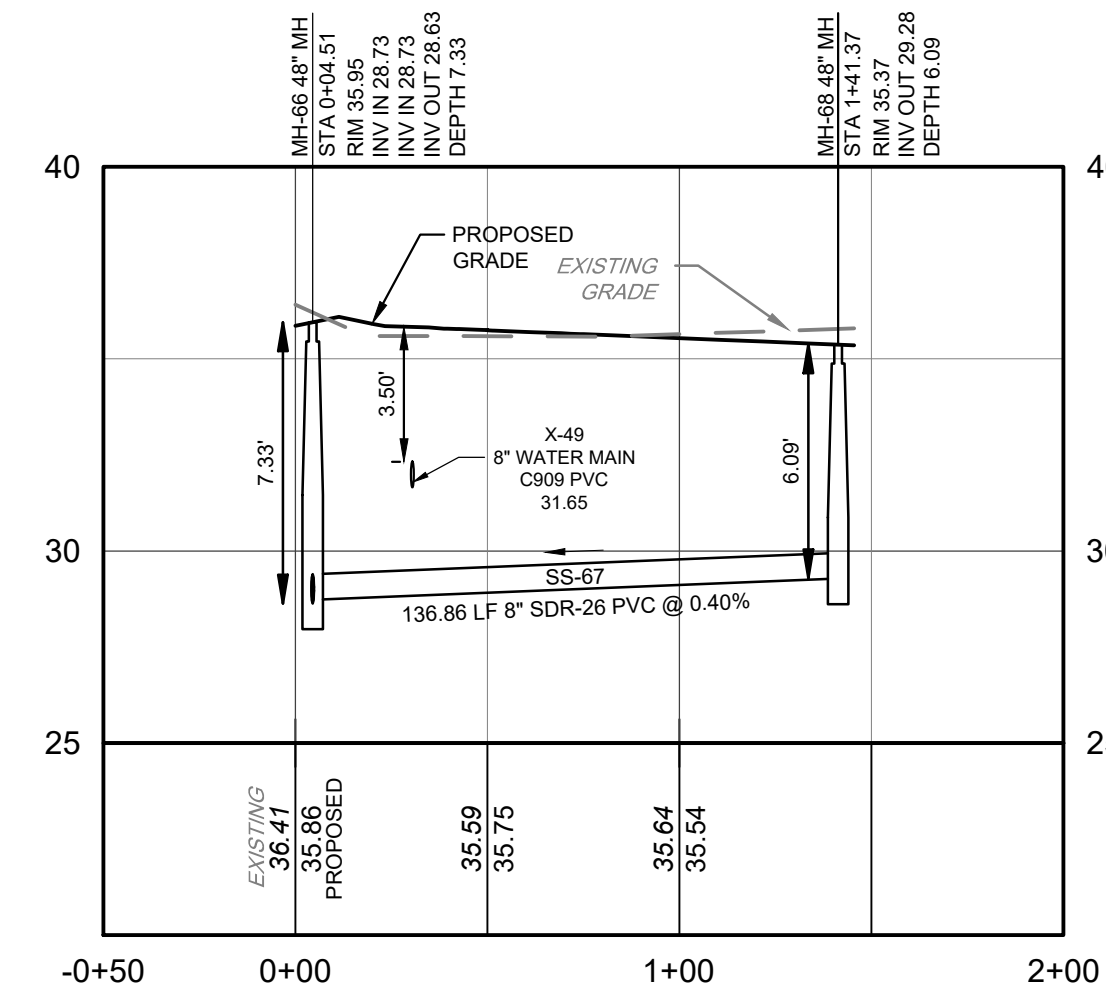
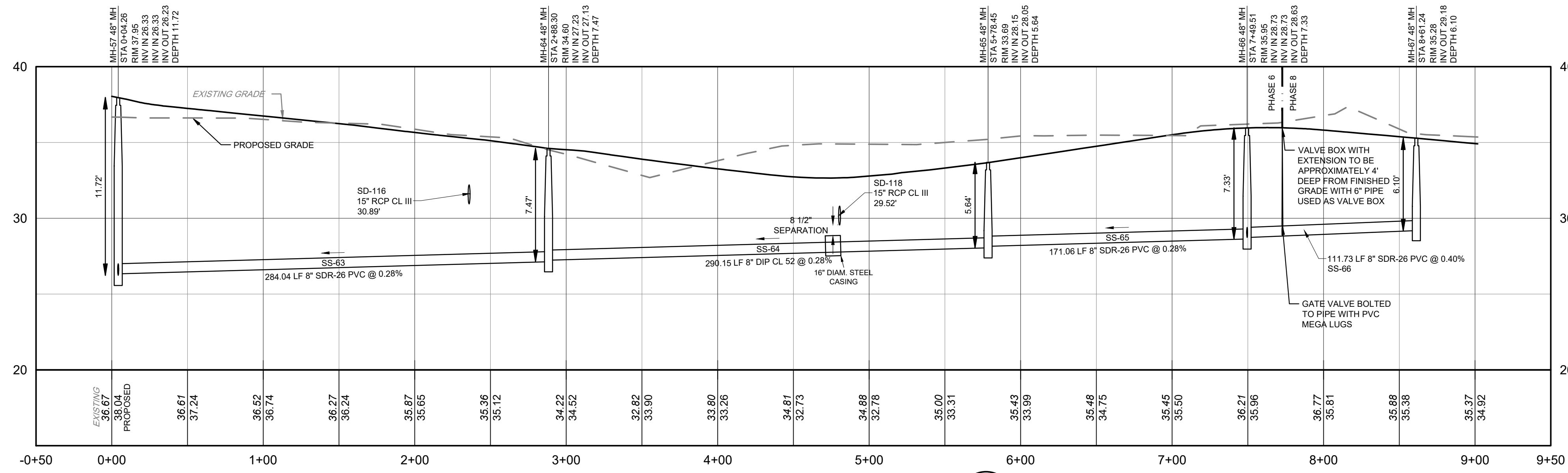
TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
**SANITARY SEWER PROFILES**

RIBERA DEVELOPMENT, LLC  
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PROJECT: **RIBER21001**  
DATE: 2023-11-27  
DRAWING SCALE: **AS SHOWN**  
DRAWN BY: **VPL/LMEW**  
APPROVED BY: **AMD**



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18072 Davidson Drive  
Milton, DE 19968  
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**FOUR WINDS FARM SUBDIVISION**

TAX ID 235-25-00-39.00  
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE  
**SANITARY SEWER PROFILES**

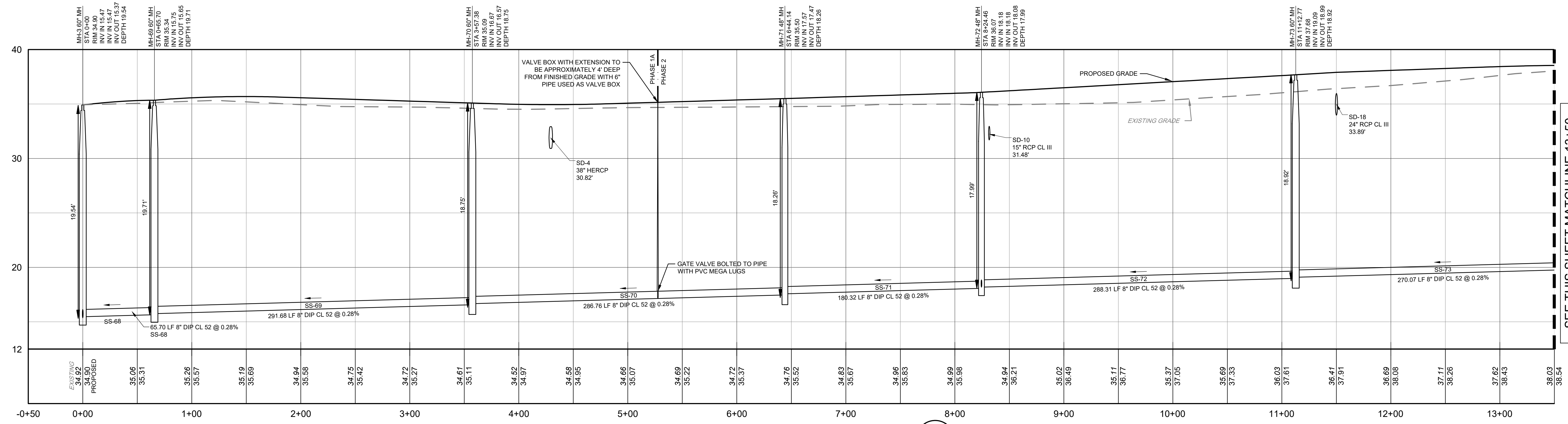
RIBERA DEVELOPMENT, LLC  
8694 VETERANS HIGHWAY, SUITE 203  
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	2024-03-23	REVISED PER SCED COMMENTS	LFS
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PROJECT	RIBER21001
DATE	2023-11-27
DRAWING SCALE	AS SHOWN
DRAWN BY	VPL/LMEW
APPROVED BY	AMD

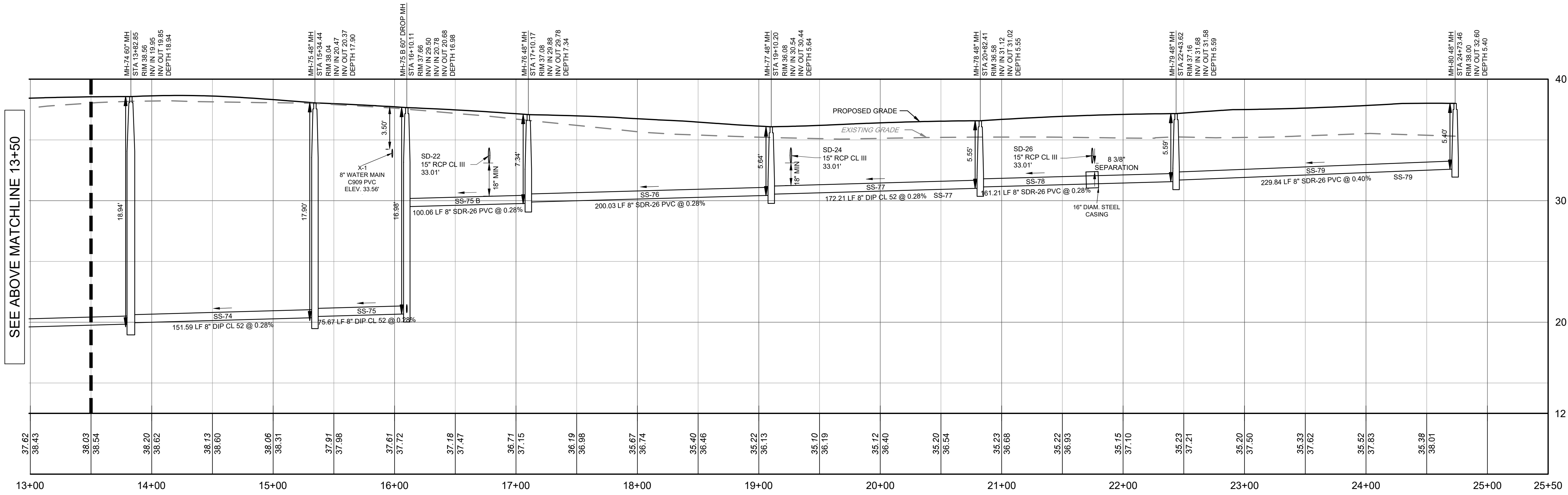
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PROFILE - MH-77 TO MH-3  
H: 1" = 50', V: 1" = 5'

1  
CS4506

SEE THIS SHEET MATCHLINE 13+50



PROFILE - MH-84 TO MH-78  
H: 1" = 50', V: 1" = 5'

2  
CS4506

SEE ABOVE MATCHLINE 13+50

**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 18072 Davidson Drive  
 Milton, DE 19968  
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**FOUR WINDS FARM SUBDIVISION**  
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2		REVISED PER AWC AND AVMH COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVMH COMMENTS	VPL

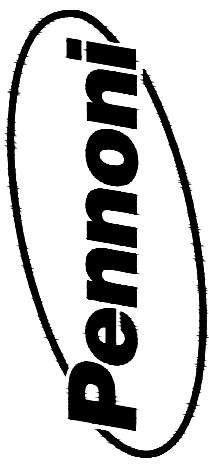
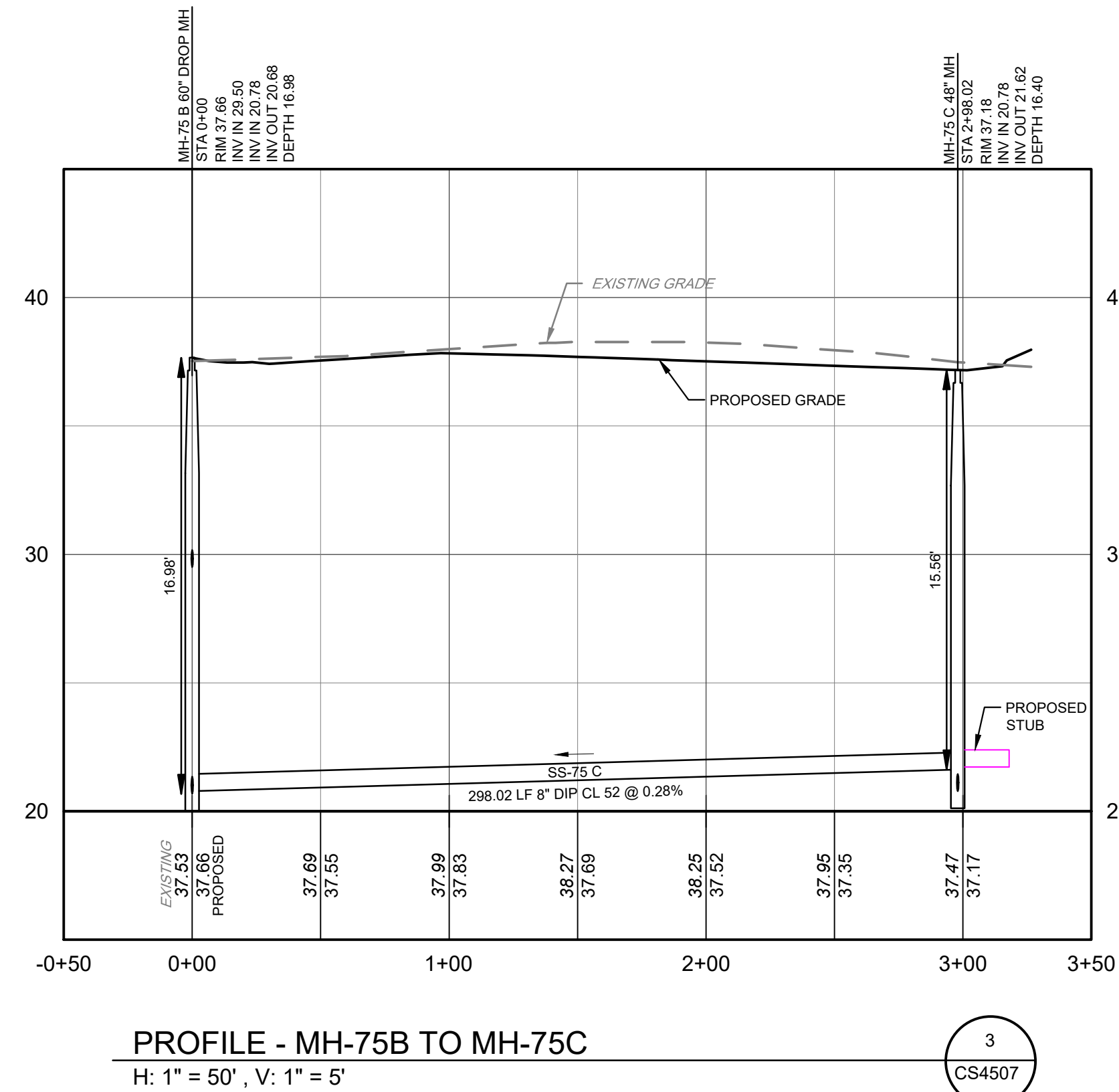
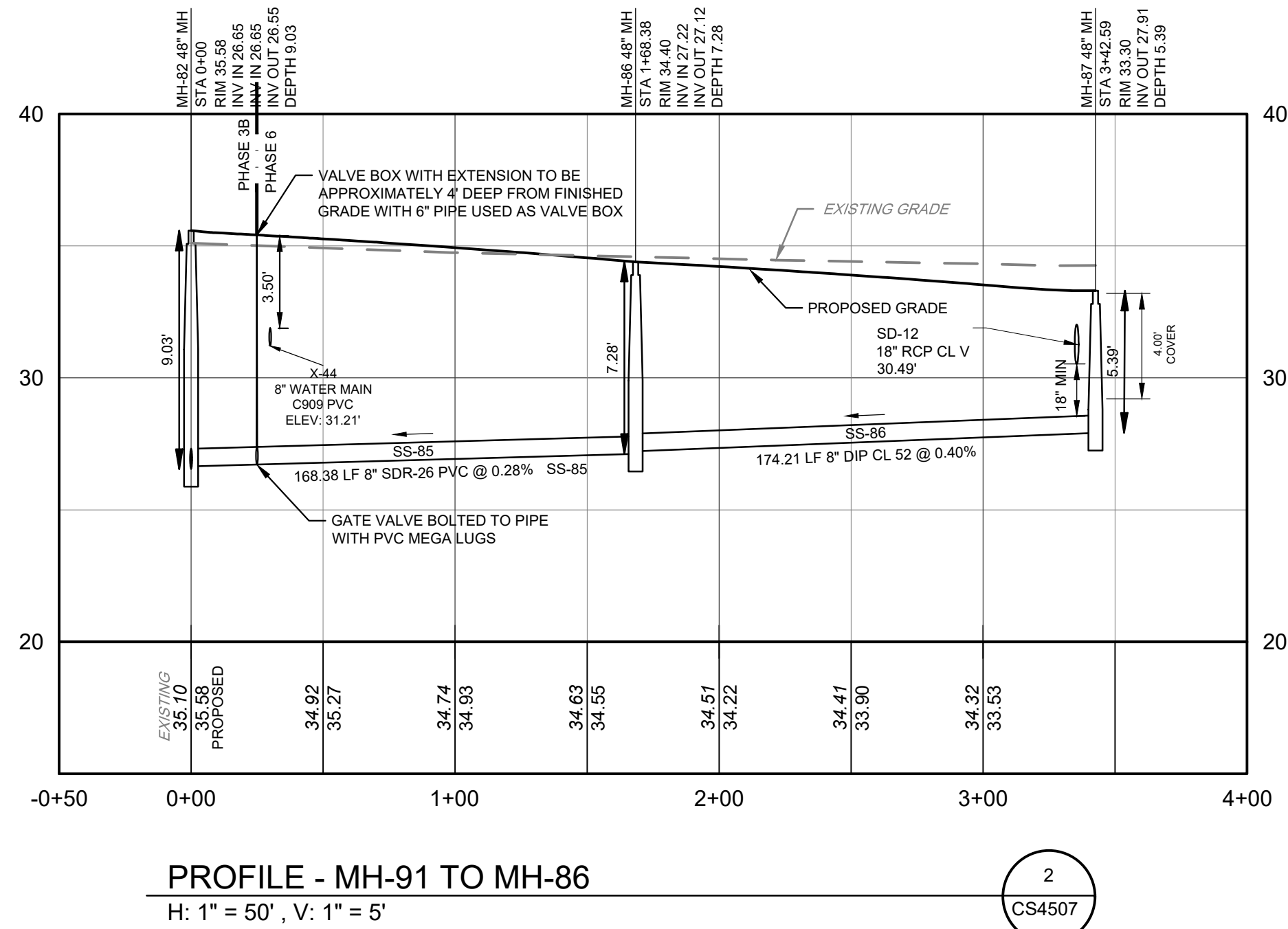
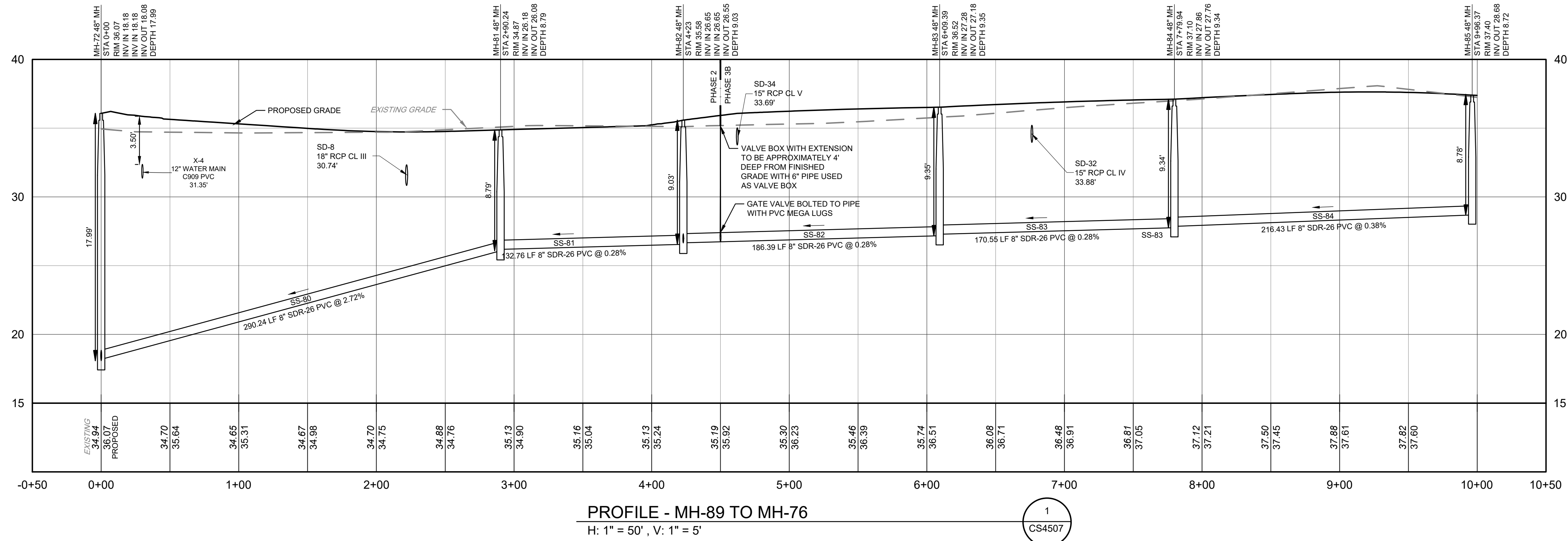
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PROJECT: **RIBER21001**  
 DATE: 2023-11-27  
 DRAWING SCALE: **AS SHOWN**  
 DRAWN BY: **VPL/LM/EW**  
 APPROVED BY: **AMD**

**CS4506**  
 SHEET 82 OF 94

PROJECT STATUS: PLOTTED: 4/20/24 10:09 AM BY: Ryan Powell PLOT STYLE: Pennoni V03.dwg

U:\Admin\BIBER\BIBER21001 - Spring Center Property\DCSD\A\_SHEET\CS4507.dwg



**PENNONI ASSOCIATES INC.**  
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MILLERSVILLE, MD 21108

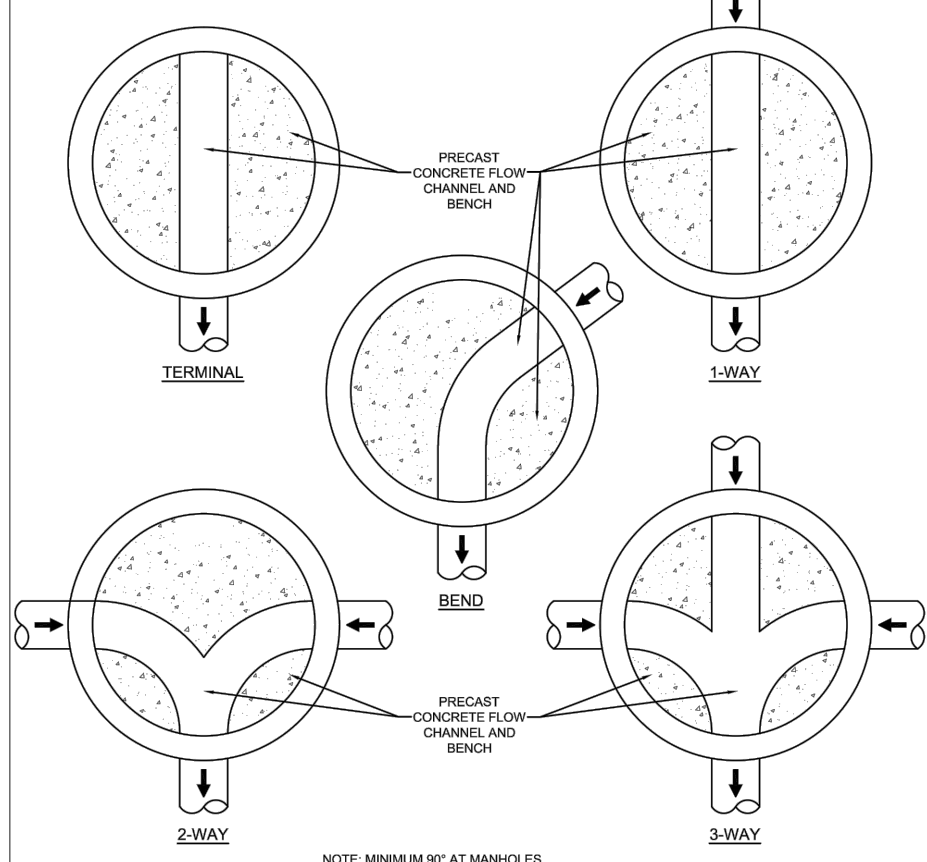
NO.	DATE	REVISIONS	BY
3	2024-03-23	REVISED PER SDCD COMMENTS	LFS
2		REVISED PER AWC AND AVM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AVM COMMENTS	VPL

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PROJECT	RIBER21001
DATE	2023-11-27
DRAWING SCALE	AS SHOWN
DRAWN BY	VPL/LM/EW
APPROVED BY	AMD

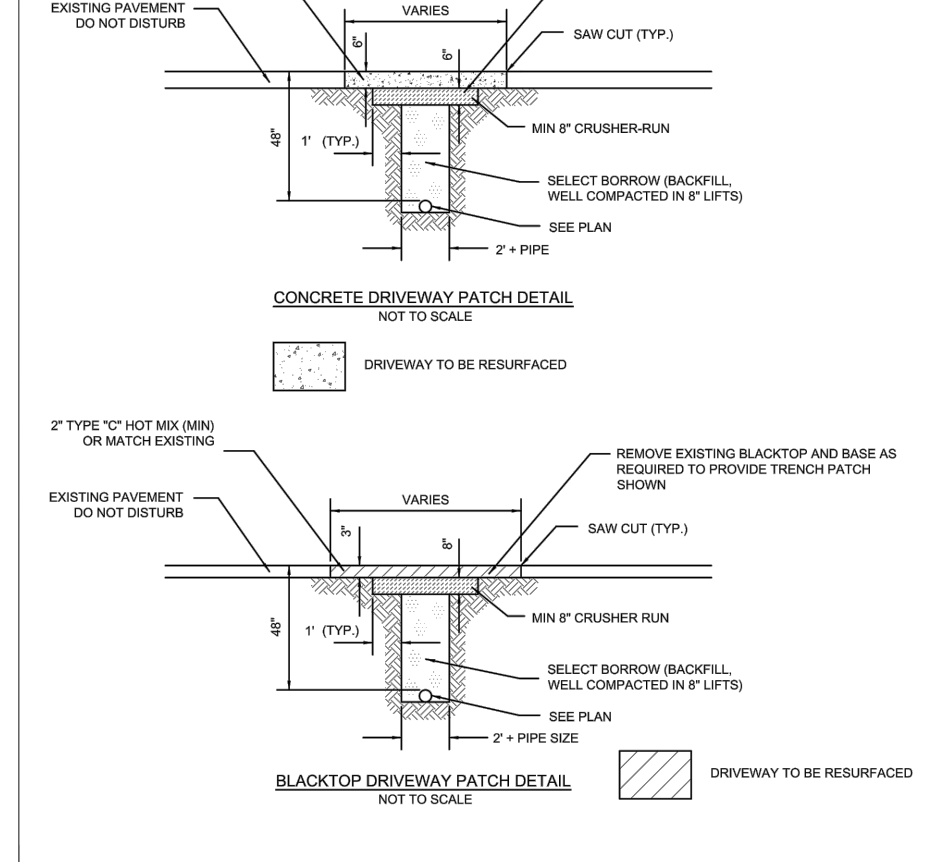
**CS4507**  
SHEET 83 OF 94

PROJECT STATUS: PLOTTED: 3/27/2014 11:47 AM BY: Vignesh Senthil PLOTTED BY: Vignesh Senthil



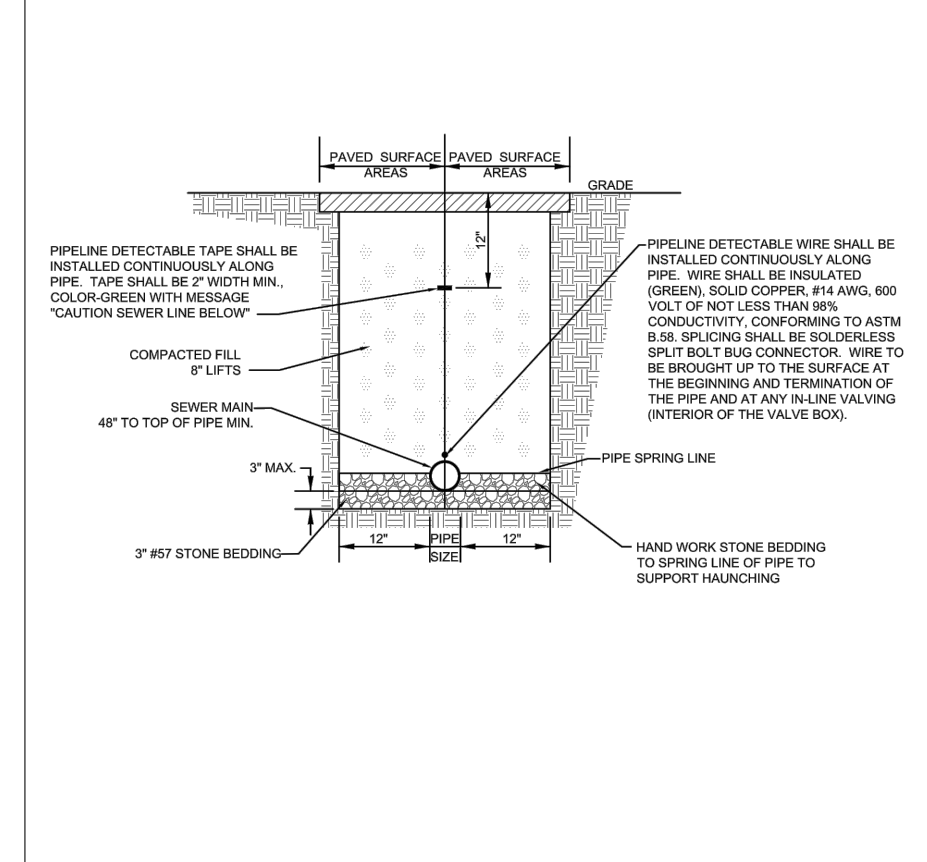
STANDARD DETAILS TYPICAL MANHOLE FLOW CHANNEL PATTERNS

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-10



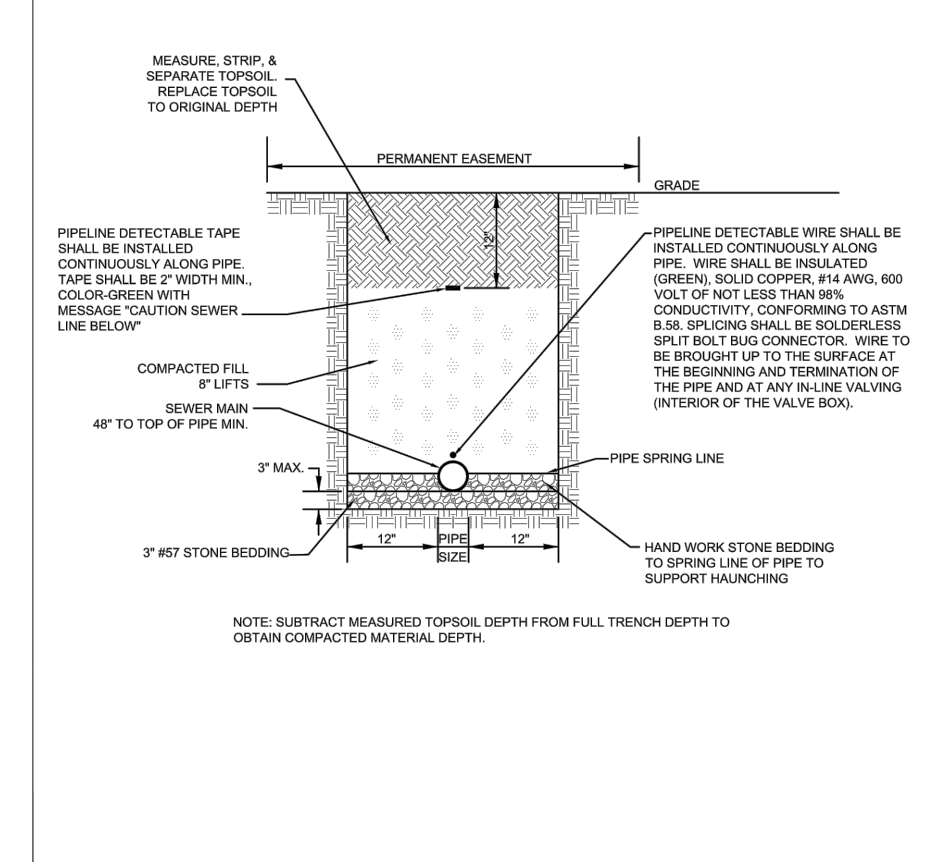
STANDARD DETAILS DRIVEWAY PATCH

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: PP-01



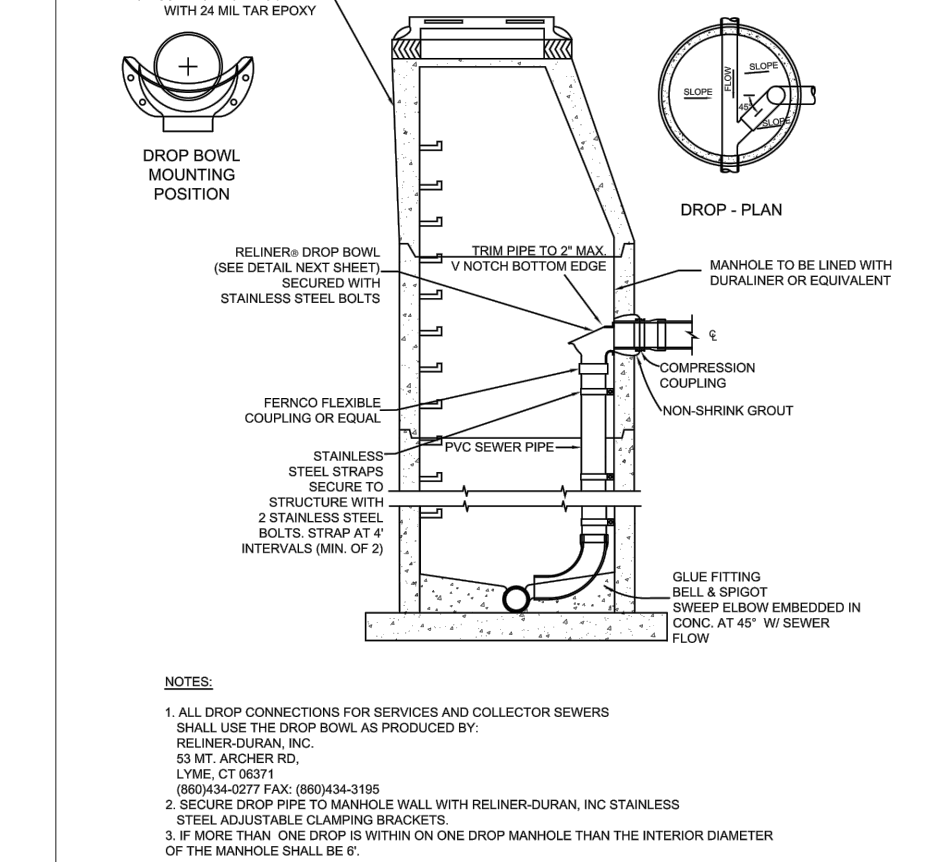
STANDARD DETAILS TRENCH DETAIL FOR PAVED AREAS

ISSUED: JUNE 15, 2012 REVISED: SEPTEMBER 1, 2015
REVISED: FEBRUARY 20, 2014 SCALE: NOT TO SCALE
REVISION: MARCH 17, 2015 PLATE: TR-01



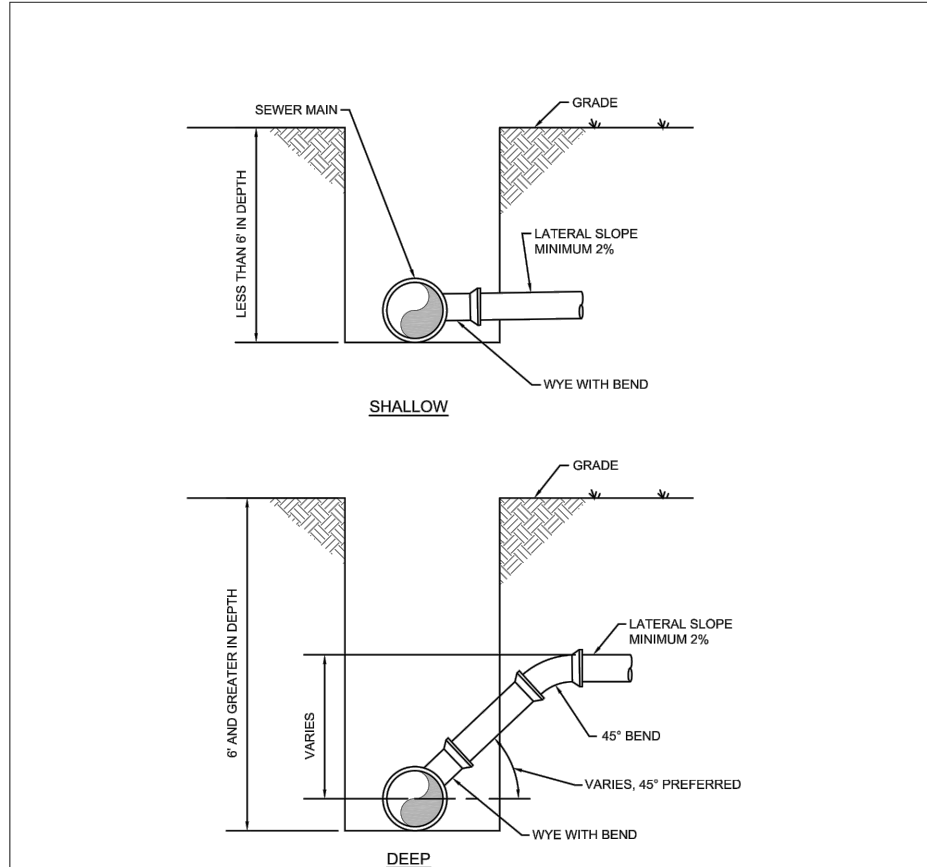
STANDARD DETAILS TRENCH DETAILS FOR UNPAVED AREAS

ISSUED: JUNE 15, 2012 REVISED: SEPTEMBER 1, 2015
REVISED: FEBRUARY 20, 2014 SCALE: NOT TO SCALE
REVISION: MARCH 17, 2015 PLATE: TR-02



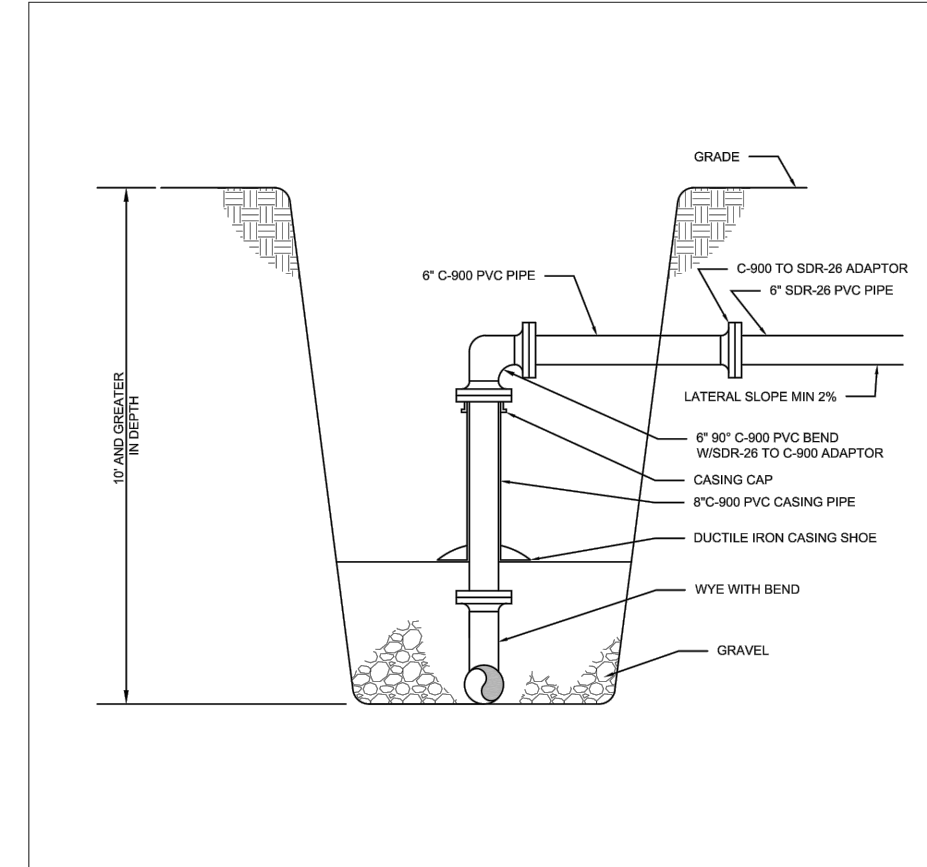
STANDARD DETAILS INSIDE DROP CONNECTION OF 2

ISSUED: JANUARY 31, 2019 REVISED:
SCALE: NOT TO SCALE
REVISION: PLATE: MH-08



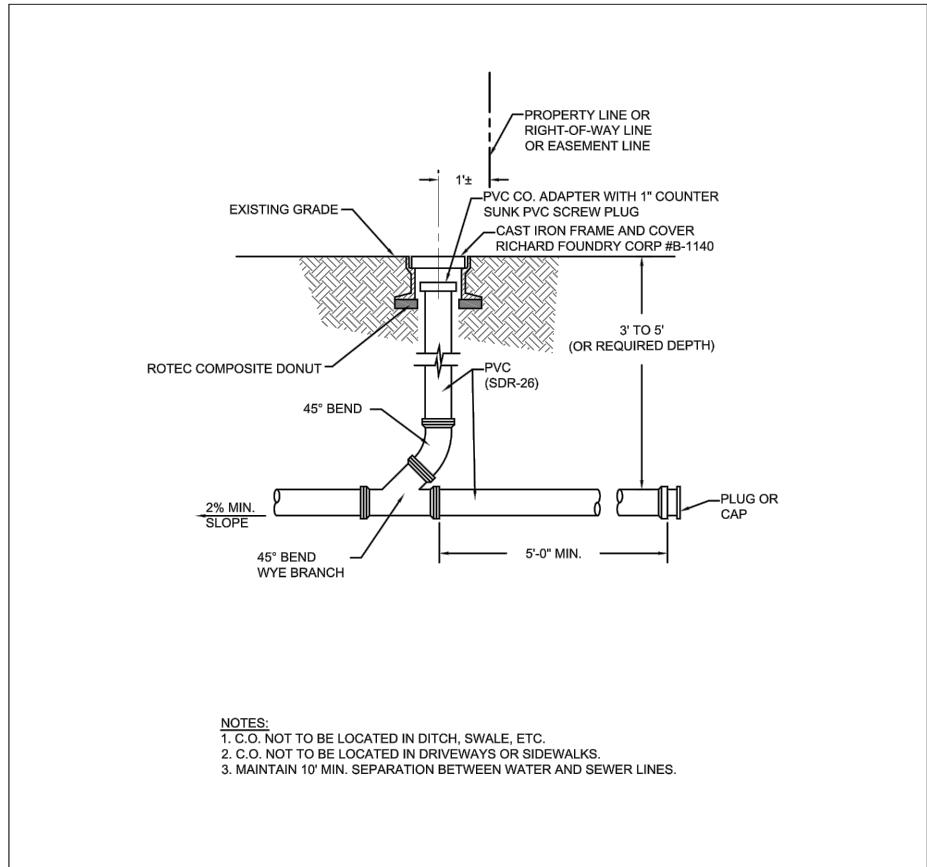
STANDARD DETAILS STANDARD LATERAL CONNECTIONS

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: CO-03



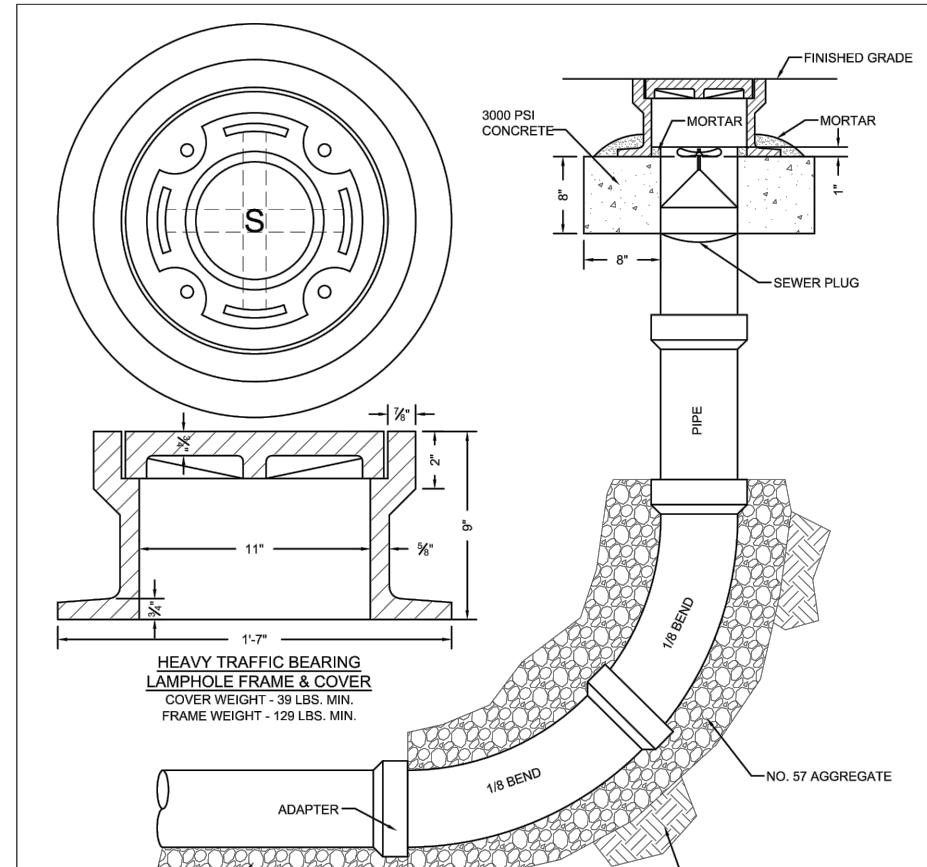
STANDARD DETAILS DEEP LATERAL RISER

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: CO-04



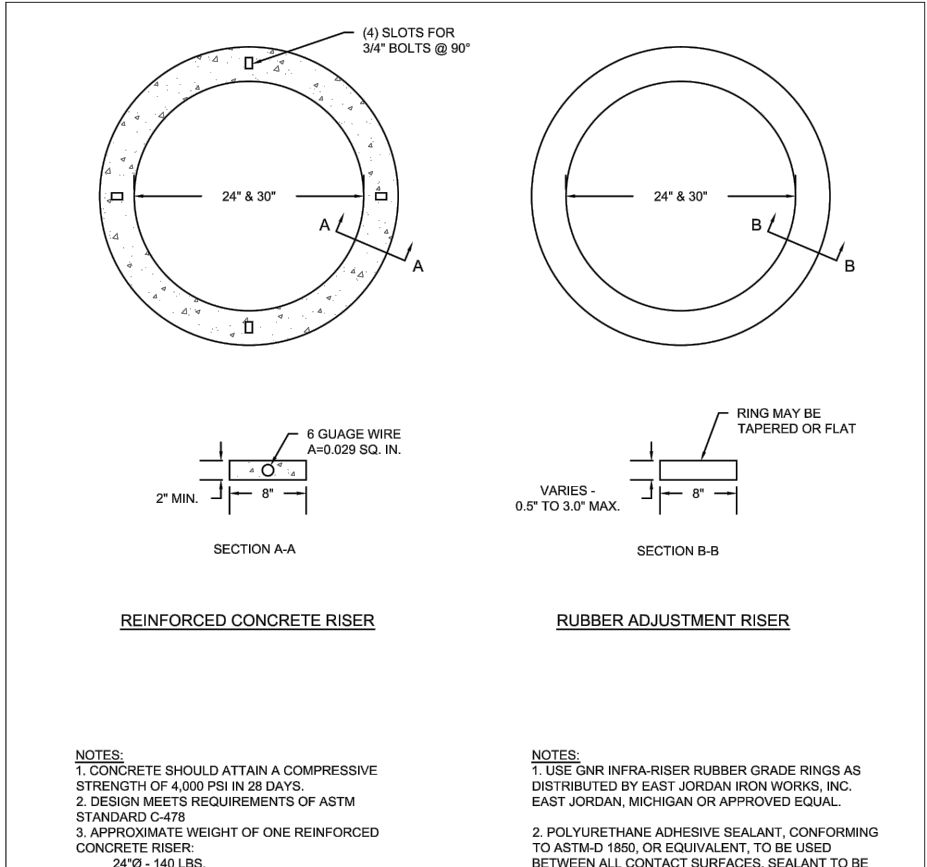
STANDARD DETAILS STANDARD LATERAL CLEANOUT

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: JUNE 20, 2016 PLATE: CO-05



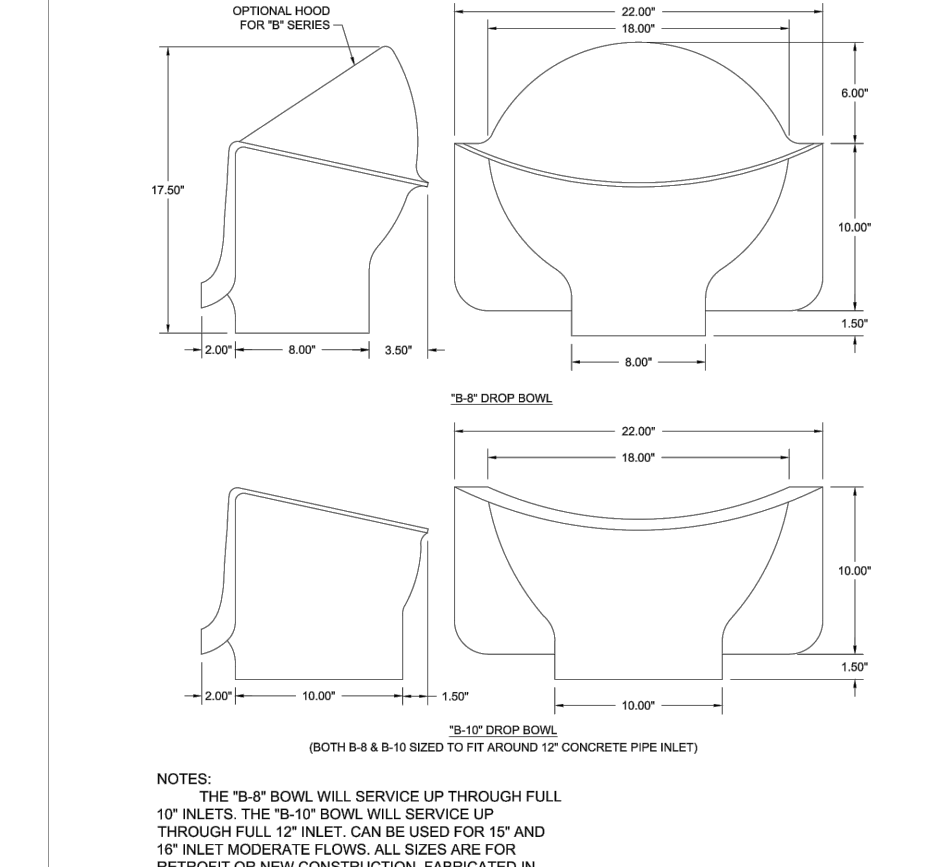
STANDARD DETAILS TERMINAL CLEANOUT

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: LR-01



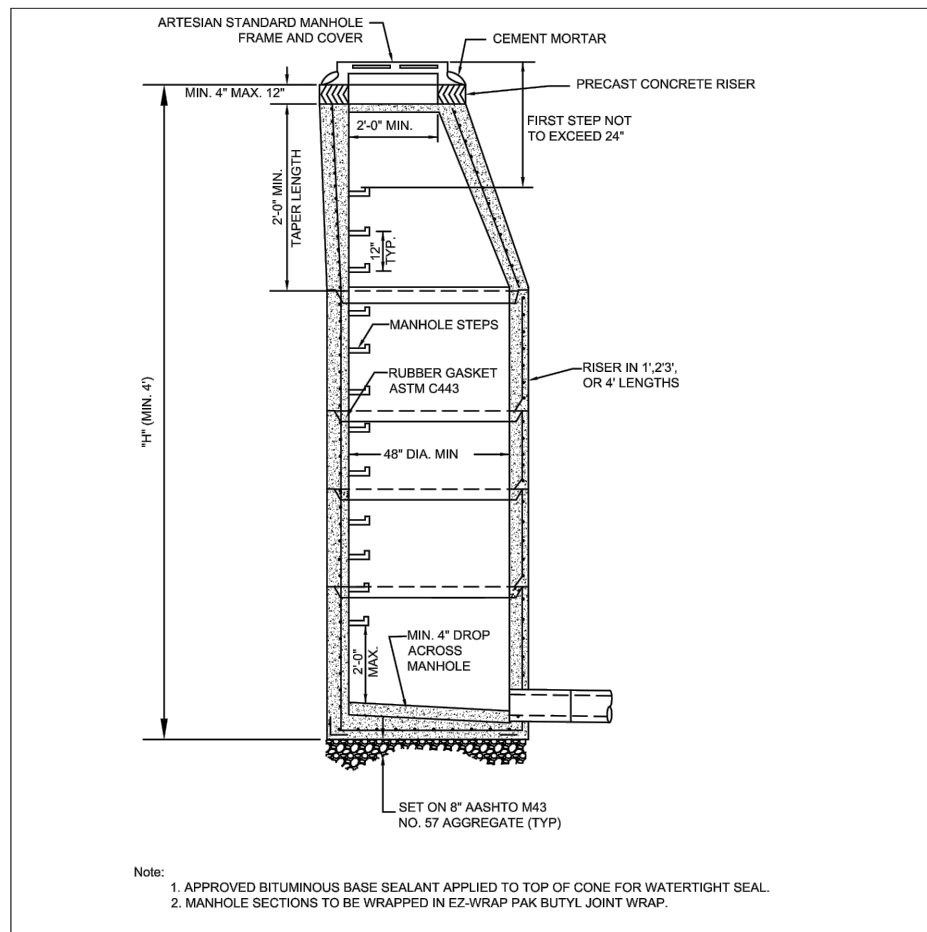
STANDARD DETAILS GRADE RING

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-11



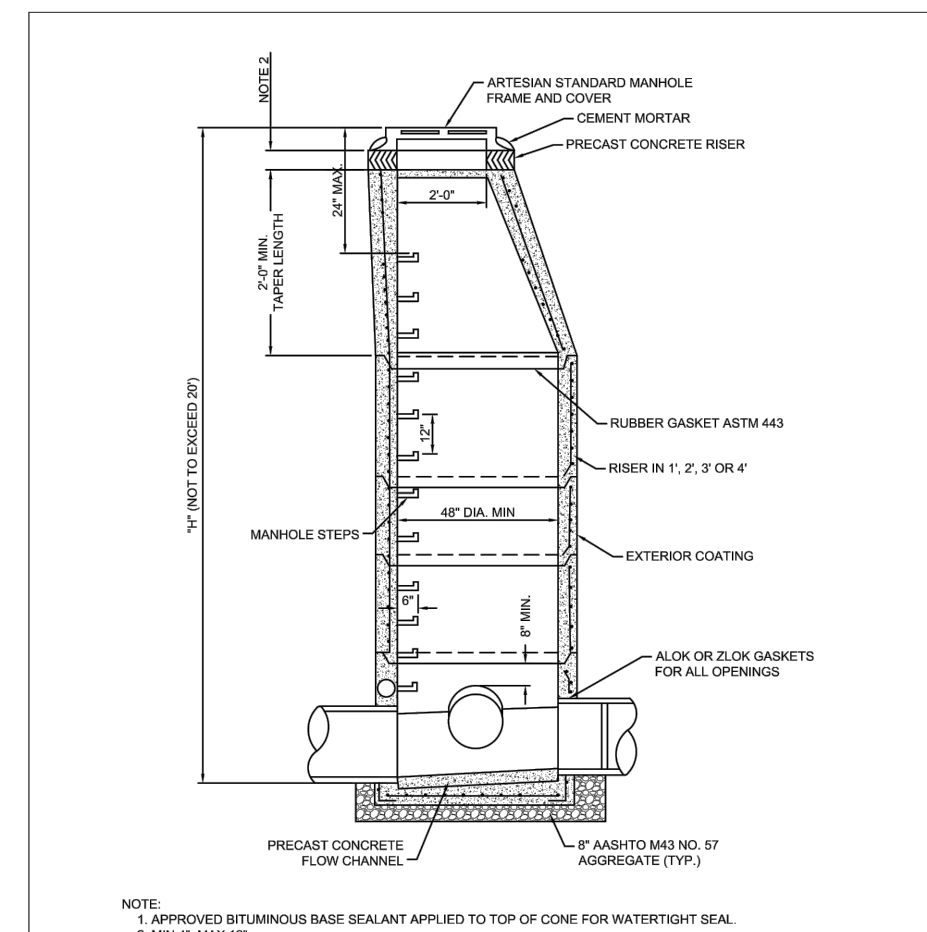
STANDARD DETAILS B-8 & B-10 DROP BOWLS 2 OF 2

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-06



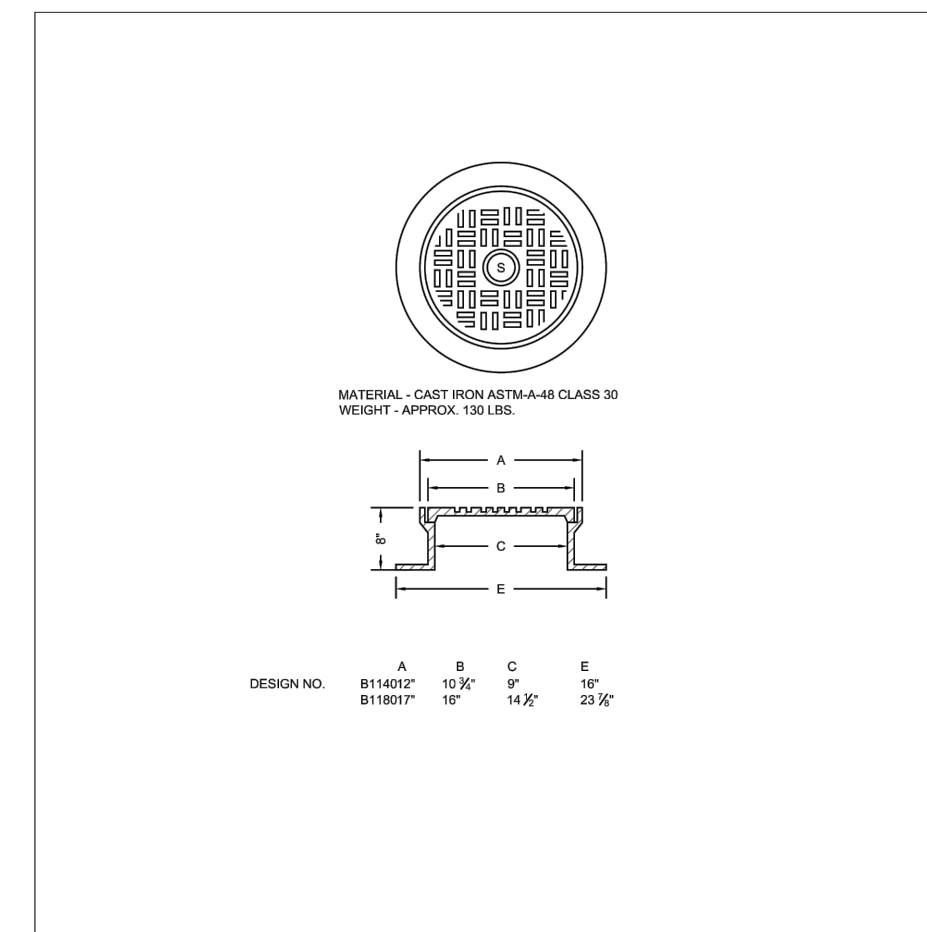
STANDARD DETAILS TERMINAL MANHOLE

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-02



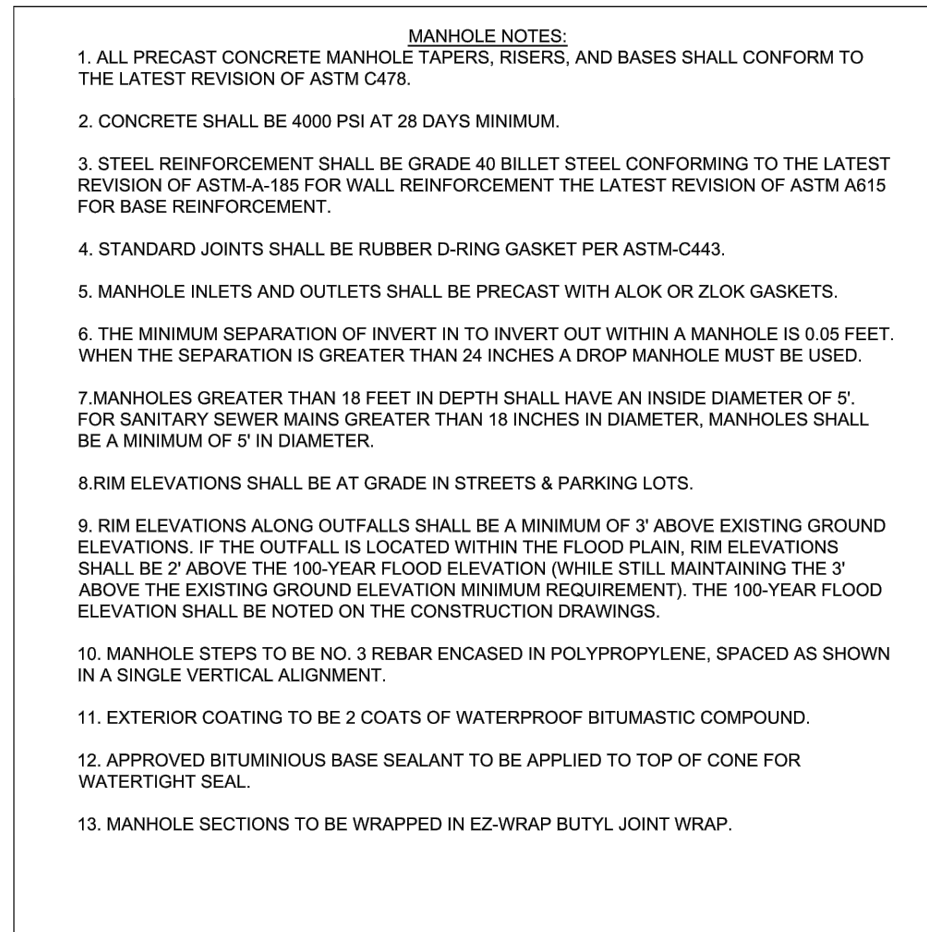
STANDARD DETAILS PRECAST MANHOLE

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-01



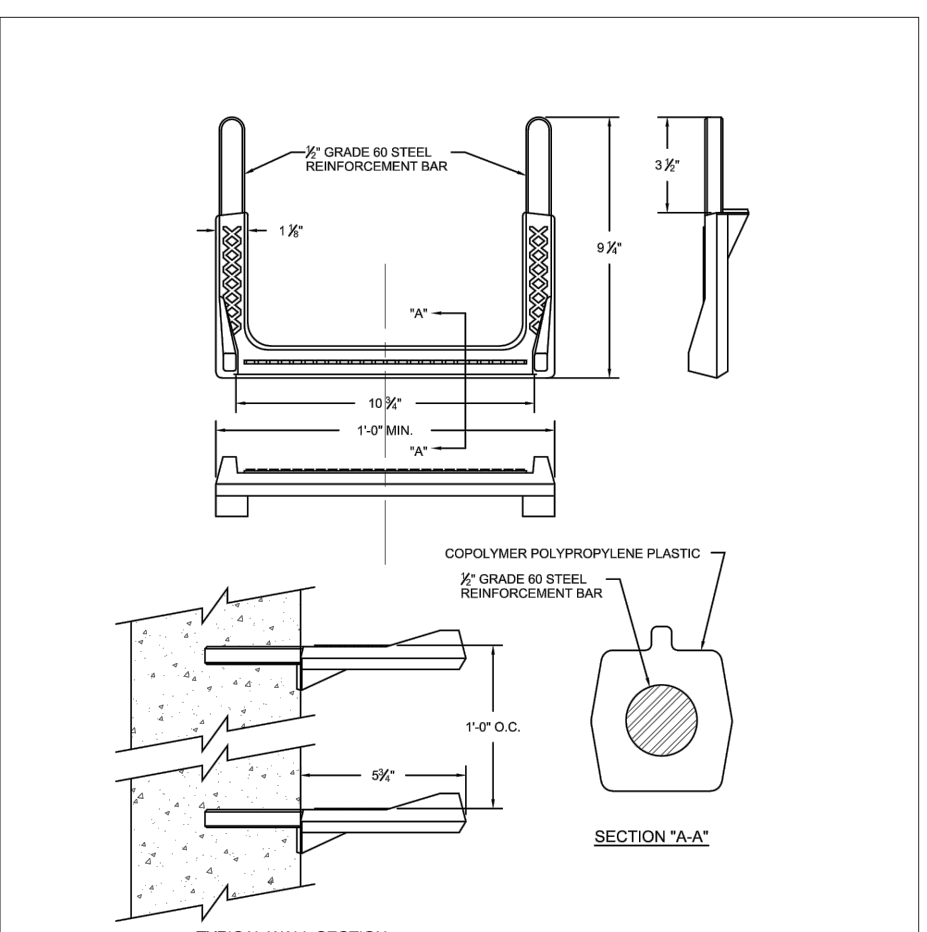
STANDARD DETAILS RICHARD FOUNDRY CORP. CLEANOUT FRAME AND COVER B-1140 & B-1180

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: CO-06



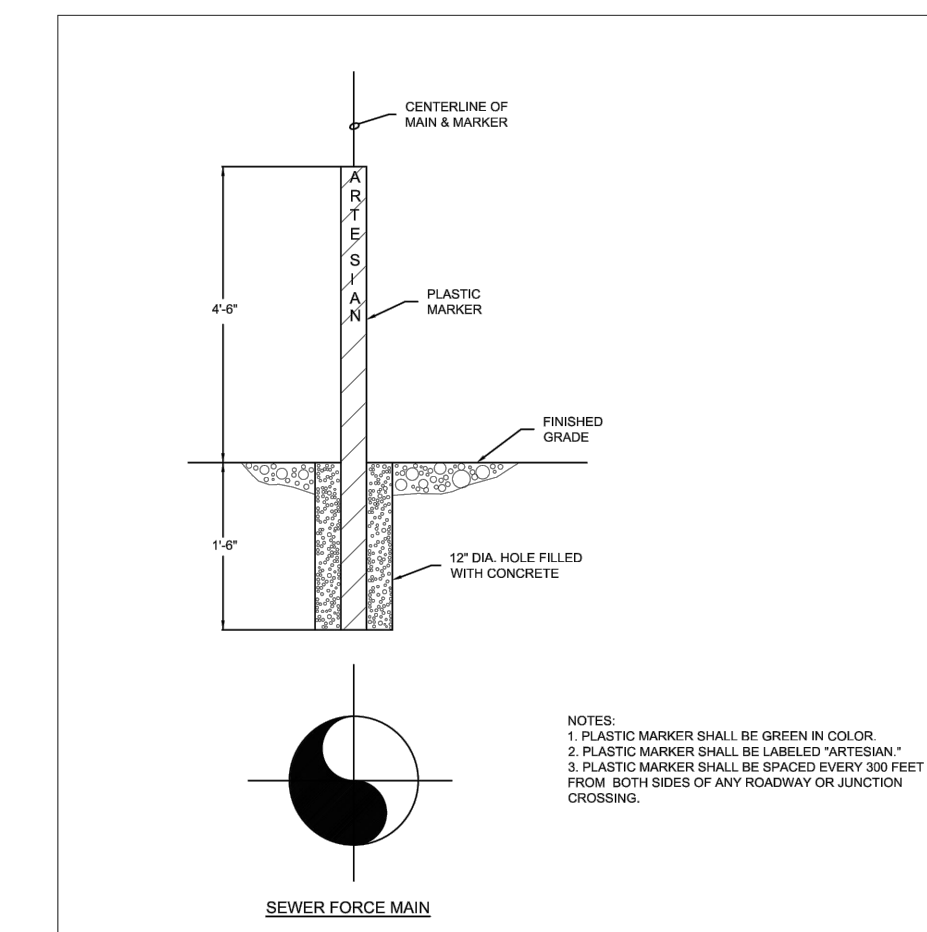
STANDARD DETAILS MANHOLE NOTES

ISSUED: JUNE 15, 2012 REVISED: AUGUST 31, 2013
REVISED: FEBRUARY 20, 2014 SCALE: NOT TO SCALE
REVISION: AUGUST 7, 2015 PLATE: MH-NOTES



STANDARD DETAILS SANITARY SEWER MANHOLE STEP

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: MH-12



STANDARD DETAILS STANDARD MARKER FOR SEWER FORCE MAINS IN EASEMENTS

ISSUED: JUNE 15, 2012 SCALE: NOT TO SCALE
REVISED: FEBRUARY 20, 2014
REVISION: PLATE: BO-03



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Milton, DE 19968
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

FOUR WINDS FARM SUBDIVISION
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE
SANITARY SEWER DETAILS

Table with columns for LFS, VFL, and BY, containing revision information.

PROJECT: RIBER21001
DATE: 2023-11-27
DRAWING SCALE: AS SHOWN
DRAWN BY: VLL/MEW
APPROVED BY: AMD
CS6002
SHEET 91 OF 94