### SITE DATA TABLE:

235-25.00-39.00

SPRING GARDEN, LLC.

MILTON, DE 19968

AGRICULTURAL

15,630' S.F.

7,500' S.F. 8,501.04' S.F.

168.9 AC.

2.96 AC.

50 MPH

LEVEL 4 AND 3

LOW DENSITY

GROSS ACREAGE:

DELDOT R.O.W. DEDICATION

DELDOT PERMANENT EASEMENT:

PRIVATE SUBDIVISION STREETS ROW

PASSIVE & ACTIVE RECREATION SPACE:

STORMWATER MANAGEMENT AREA

30% OF REQUIRED OPEN SPACE:

(SHINGLE POINT ROAD):

**IMPERVIOUS - SIDEWALK** 

IMPERVIOUS - ROAD:

LOT AREA

OPEN SPACE TOTAL:

TOTAL AREA:

FORESTED AREA:

SITE BENCHMARK BENCHMARK #1

LATITUDE: 38.745°

WETLAND AREA: TOTAL OPEN SPACE AREA:

REQUIRED OPEN SPACE:

IMPACTED: REMAINING

[PROPOSED 336 LOTS]

16793 ISLAND FARM LANE

MILLERSVILLE, MD 21108

RIBERA DEVELOPMENT, LLC.

8684 VETERAN'S HIGHWAY, SUITE 203

BROADKILL HUNDRED / SUSSEX COUNTY

AR-1 (AGRICULTURAL RESIDENTIAL DISTRICT)

AR-1 CLUSTER DEVELOPMENT (115-25 B-2)

AR-1 CLUSTER DEVELOPMENT (115-25 B-2)

AR-1 ZONING MINIMUM AREA: 7,500 S.F.

PUBLIC - ARTESIAN WATER COMPANY INC.

WATER RECHARGE

PROTECTION AREA

PRIVATE (99-18 D & E.)

DETACHED SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS

AR-1 ZONING MAXIMUM DENSITY: 2 UNITS / ACRE (336 UNITS)

SUBJECT PROPERTY IS WITHIN A POOR AREA OF GROUND

168.90 ± AC

65.58 ± AC

0.38 ± AC

0.73 ± AC

9.99 ± AC

1.88 ± AC

31.13 ± AC

48.27 ± AC

26.88 ± AC 8.44 ± AC

2.97 ± AC 86.56 ± AC (51.2%)

50.67 ± AC (30.0%)

30%(50.67 AC.) = 15.20 AC.

4.25 ± AC 26.88 ± AC (86.34%)

15.65 ± AC

86.56 ± AC 168.90 ± AC

336 SINGLE FAMILY DETACHED UNITS: 1.99± UNITS / ACRE

B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD

PUBLIC - ARTESIAN WASTEWATER MANAGEMENT INC

- TAX MAP NUMBER:
- OWNERS:
- DEVELOPER:
- HUNDRED/ COUNTY
- CURRENT ZONING:
- PRESENT USE:
- PROPOSED USE (115-20)
- REQUIRED SETBACKS (B.R.L.): DEPTH OF FRONT YARD (FEET) DEPTH OF CORNER SIDE YARD WIDTH OF SIDE YARD (FEET) DEPTH OF REAR YARD (FEET)
- REQUIRED LOT AREAS: MINIMUM LOT WIDTH MAXIMUM LOT AREA MINIMUM LOT AREA AVERAGE LOT AREA
- DWELLING UNIT CALCULATIONS: GROSS AREA: NON-TIDAL WETLAND AREA: MIN. LOT AREA/UNIT: PERMITTED DENSITY (115-25 B3): PROPOSED DENSITY:
- WATER SUPPLIER: SECTION 89: SOURCE WATER PROTECTION
- 2. SANITARY SEWER PROVIDER: 3. STREETS:
- . POSTED SPEED LIMIT (SHINGLE POINT ROAD):
- STATE INVESTMENT AREA (2020):
- 6. FUTURE LAND USE MAP (2019):
- MAXIMUM BUILDING HEIGHT (115-25 D.): 42 FEET 8. SITE AREA AND ACREAGE:

- 19. FORESTED AREA
- 20. OPEN SPACE AREA BREAKDOWN:
- TOTAL REQUIRED ADJACENT OPEN SPACE TO EXISTING
- WETLANDS (115-25, F-3-A-3-ii):

21. LONGITUDE AND LATITUDE

- 22. PROPOSED DISCHARGE LOCATION:
- 23. WATERSHED: 24. FLOOD ZONE:
- 25. FEDERALLY REGULATED
- NONTIDAL WETLAND AREA: FEDERALLY REGULATED NONTIDAL WETLAND AREA IMPACTED:
- 26. DATUM:
- 27. HENLOPEN TID
- 28. STATE TAX DITCH AREAS AND RIGHT OF WAY LIMITS:
- 9. LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL:
- LONGITUDE: 75.321 BENCHMARK #2 LATITUDE: 38.750° LONGITUDE: 75.319 ON SITE DISCHARGE TO NORTHEAST CORNER VIA UN-NAMED DITCH TO TAX MAP 235-25.00-38.00. TOTAL 136.13 AC.± **BROADKILL RIVER** THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0325L, AND 10005C0310L, MAP REVISED JUNE 20, 2018. AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED) . THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0164J, MAP REVISED JANUARY 6, 2005. AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED) 2.96 ± AC. 0.00 ± AC. HORIZONTAL: NAD83 VERTICAL: NAVD88 STATE PLANE. NOT INCLUDED

PROPOSED OPEN SPACE (OPEN SPACE A): 44.14 AC. (REFER TO OPEN SPACE AREA BREAKDOWN ON SHEET PP1001)

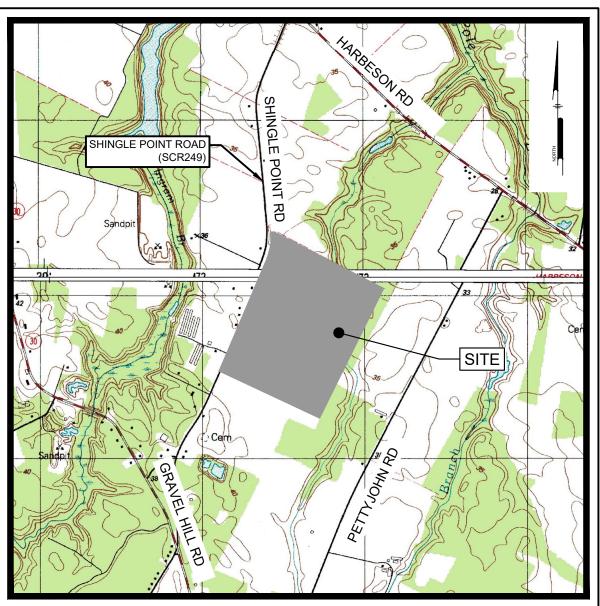
- NOT INCLUDED
- SUSSEX COUNTY

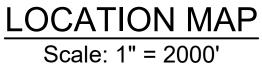
	SOILS								
TYPE	DESCRIPTION	HYDROLOGIC SOIL							
FmA	FORT MOTT LOAMY SAND, 0 TO 2 PERCENT SLOPES	А							
EvB	EVESBORO LOAMY SAND, 0 TO 5 PERCENT SLOPES	А							
FhA	FhA FORT MOTT-HENLOPEN COMPLEX, 2 TO 5 PERCENT SLOPES								
PsA	PsA PEPPERBOX-ROSEDALE COMPLEX, 0 TO 2 PERCENT SLOPES								
РрВ	PEPPERBOX LOAMY SAND, 2 TO 5 PERCENT SLOPES	A							
HnA	HAMMONTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	В							
Za	ZEKIA SANDY LOAM, FREQUENTLY FLOODED	B/D							
leA	INGLESIDE LOAMY SAND, 0 TO 2 PERCENT SLOPES	A							
НрВ	HENLOPEN LOAMY SAND, 2 TO 5 PERCENT SLOPES	А							
DoA	DOWNER SANDY LOAM, 0 TO 2 PERCENT SLOPES, NORTHERN TIDEWATER AREA	А							
INSURANCE DATE JUN 2005, ARE DE	BASED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP FIRM 10005C0325L, AND 10005C0310L EFFECTIVE DATE JUNE 20, 2018, AND 10005C0164J EFFECTIVE DATE JANUARY 6, 2005, ARE DESIGNATED PARTLY AS FLOOD ZONE 'X', (UNSHADED), WHICH IS AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.								

## FOUR WINDS FARM SUBDIVISION **CONSTRUCTION PLAN SET**

# SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

**PREPARED FOR: DEVELOPER RIBERA DEVELOPMENT, LLC** 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108





OWNERS
SPRING GARDEN LLC
16793 ISLAND FARM LANE
MILTON. DE 19968

DEVELOPER/EQUITABLE OWNER RIBERA DEVELOPMENT, LLC. 8684 VETERAN'S HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108

ENGINEER/ PLANNER PENNONI ASSOCIATES INC. 18072 DAVIDSON DRIVE MILTON, DE 19968 (302) 684-8030

SURVEYOR PENNONI ASSOCIATES, INC.

ENVIRONMENTAL CONSULTANT MICHAEL A. MARRA, PWS NO. 3557

18072 DAVIDSON DRIVE MILTON, DE 19968 (302) 684-8030

SCHOOL DISTRIC

FIRE DISTRICT MILTON STATION (85)

POSTAL DISTRIC MILTON (19968)

WATER UTILITY ARTESIAN WATER COMPANY INC.

SEWER UTILITY ARTESIAN WASTEWATER MANAGEMENT INC.

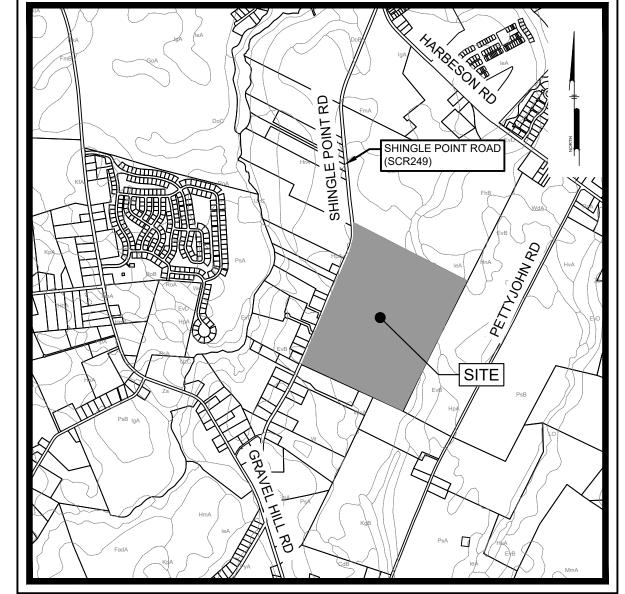
(2020-13) TAX ID 235-25.00-39.00 **BROADKILL HUNDRED** 

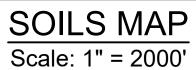
(443) 871-0486

### **CONDITIONS C**

PRELIMINARY APPROVAL WAS GRANTED SUBJECT TO THE FOLLOWING CONDITIO THERE SHALL BE NO MORE THAN 33

- . THE DEVELOPER SHALL ESTABLISH ROADS, BUFFERS STORMWATER M C. THE STORMWATER MANAGEMENT THE FINAL SITE PLAN SHALL CONT
- MAINTAINED AND OPERATED USING D. THERE SHALL BE A VEGETATED O SUBDIVISION ADJACENT LAND O ORDINANCE. THIS BUFFER SHALL B BUFFER SHALL UTILIZE EXISTING
- CURRENTLY EXIST IN THE BUFFEF GRADE OF THE AREA WITHIN THE A LIMIT OF THE BUFFER AREA (THE E SHALL IDENTIFY THE "LIMIT OF DIST
- THE DEVELOPMENT SHALL COMPL STREET DESIGN SHALL MEET OR EX G. ROAD NAMING AND ADDRESSING S
- AND ADDRESSING DEPARTMENT H. THE SUBDIVISION SHALL BE SERVE THE SUBDIVISION SHALL BE SERVI
- AND FIRE PROTECTION. SIDEWALK SHALL BE INSTALLED DOWNWARD-SCREENED STREETLIC
- . CONSTRUCTION, SITE WORK, AND THROUGH 6:00 P.M., MONDAY THRO PERMITTED. A 24-INCH BY 36-INC
- PROMINENTLY DISPLAYED AT THE S L. THE APPLICANT SHALL COORDINAT STOP WITHIN THE SUBDIVISION. IF SHOWN ON THE FINAL SITE PLAN.
- M. THERE SHALL BE ONSITE RECREA AND A STORAGE BUILDING, A TOT AND DECK SHALL BE INCLUDED ON TO THE ISSUANCE OF THE 140TH RE
- N AS PROFFERED BY THE APPLICA FEDERALLY REGULATED NON-TIDA AND OTHER VEGETATION WITHIN T BUFFER AREAS (USING THE EDGE CONSTRUCTION ACTIVITIES WITHIN
- BE INDICATED ON THE FINAL SITE F O. THERE SHALL BE A 50 FOOT SETBA THE FINAL SITE PLAN AND RECOR NOTICE AND A SIMILAR NOTICE ADV
- Q THE FINAL SITE PLAN SHALL IN PRESERVATION OF ALL BUFFER A SHALL ALSO IDENTIFY ALL "LIMITS (
- R. THE FINAL SITE PLAN SHALL INCL INDIVIDUAL LOTS UNTIL AN INDIVIDU CERTIFICATE OF OCCUPANCY SHA DEPARTMENT DEMONSTRATING GE S. A REVISED PRELIMINARY SITE PLAN
- OF PLANNING AND ZONING. T. THE FINAL SITE PLAN SHALL BE SUB





	Sheet List Table
Drawing #	Sheet Title
RP0001	RECORD PLAN COVER SHEET
RP1000	RECORD PLAN NOTES AND DETAILS
RP1001	RECORD PLAN KEY SHEET
RP1002	RECORD PLAN
RP1003	RECORD PLAN
RP1004	RECORD PLAN
RP1005	RECORD PLAN
RP1006	RECORD PLAN
RP1007	RECORD PLAN
RP1008	RECORD PLAN
RP1009	RECORD PLAN
RP1010	RECORD PLAN
RP1011	RECORD PLAN PARCEL CURVE DATA
	Drawing # RP0001 RP1000 RP1002 RP1003 RP1004 RP1005 RP1006 RP1007 RP1008 RP1009 RP1010

14 RP1012 RECORD PLAN R.O.W. CURVE DATA



**F** 302.684.8054

Sheet List Table

1 CS0507A OFFSITE FORCE MAIN PLAN AND PROFILE

2 CS0507B OFFSITE FORCE MAIN PLAN AND PROFILE

3 CS0507C OFFSITE FORCE MAIN PLAN AND PROFILE

Sheet List Table

4 CS4606 OFFSITE WATER MAIN PLAN AND PROFILE 5 CS4607 OFFSITE WATER MAIN PLAN AND PROFILE 6 CS4608 OFFSITE WATER MAIN PLAN AND PROFILE

7 CS4609 OFFSITE WATER MAIN PLAN AND PROFILE

Sheet Title

Sheet Title

CALL BEFORE YOU DIG Call Miss Utility of Delmarva 800-282-8555 Ticket Number(s):

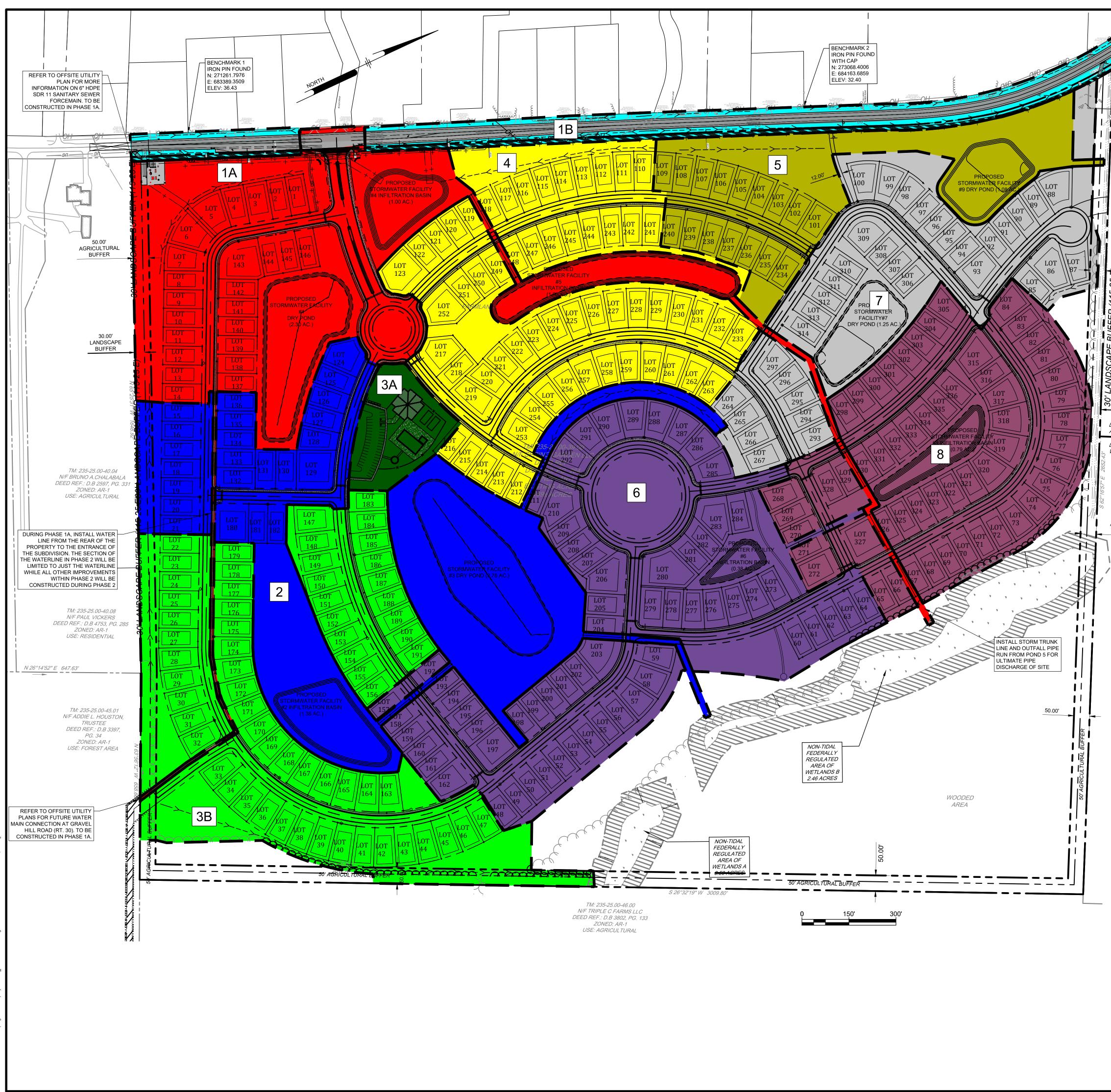
Sheet # Drawing #

Sheet # Drawing #

COUNTY ENGINEER DATE

		ROVAL:			Sheet List Table				• 1	
		TY PLANNING COMMISSION AT THEIR MEETING ON JANUARY 12, 2023	Sheet # 1	Drawing # CS0001	Sheet Title COVER SHEET		$\geq$		INC.	8054
TIONS: I 336 LOTS V	WITHIN THE	SUBDIVISION.	2 3	CS0201 CS0901	EXISTING CONDITIONS PLAN PHASING PLAN		Ē\		S E L	4
MANAGEM	IENT FACILI	ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS, TIES, AND OTHER COMMON AREAS. T OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY AND	4 5	CS1500 CS1501	DETAILED GRADING AND PLAN KEY SHEET DETAILED GRADING AND DRAINAGE PLAN NOTES AND DETAILS		0	ł	CIAT	2 Davidson Drive 0n, DE 19968 030
NG BEST MA	ANAGEMEN	OF THE SUSSEX CONSERVATION DISTRICT. THE SYSTEM SHALL BE T PRACTICES.	6 7	CS1502 CS1503	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN				SOC	vidso DE 1 <b>F</b>
OF OTHER	R OWNERS	R THAT IS AT LEAST 30 FEET WIDE ALONG THE PERIMETER OF THE HIP IN ACCORDANCE WITH SECTION 99-5 OF THE SUBDIVISION ER 50- FOOT BUFFER ALONG THE PERIMETER OF THE PROJECT. THIS	8	CS1504	DETAILED GRADING AND DRAINAGE PLAN				ASS	072 Day Milton, I 4 8030
G FOREST	OR SIMILA	R VEGETATION IF IT EXISTS IN THE BUFFER AREA. WHERE TREES IOVAL OF CONSTRUCTION ACTIVITIES THAT DISTURB THE EXISTING	9 10	CS1505 CS1506	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN	$   \setminus$				18072 Da Milton, 684,8030
EEDGE OF	THE BUFFE	HIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR R NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN	11 12	CS1507 CS1508	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN			/	PENNON	1 302.6
PLY WITH DE	ELDOT ENTR	ENT DISTURBANCE OF THE BUFFER AREA. RANCE ROADWAY IMPROVEMENT REQUIREMENTS. NTY STANDARDS.	13 14	CS1509 CS1510	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN		$\sim$		РП	с Н
		TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING	15	CS1700	UTILITY PLAN KEY SHEET					
		REGULATED CENTRAL SEWER SYSTEMS. REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER	16 17	CS1701 CS1702	UTILITY PLAN NOTES AND DETAILS UTILITY PLAN	TOR				
		DE OF ALL INTERNAL STREETS. A SYSTEM OF FULLY SHIELDED AND BE PROVIDED.	18 19	CS1703 CS1704	UTILITY PLAN UTILITY PLAN	AC AC				
ND DELIVEI ROUGH FRI	RIES SHAL DAY, AND 8	L ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 7:00 A.M. :00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. NO SUNDAY HOURS ARE	20 21	CS1705 CS1706	UTILITY PLAN UTILITY PLAN	SONTR PEANY WITH				
E SITE ENTF	RANCE DUR	CONFIRMING THESE HOURS IN ENGLISH AND SPANISH SHALL BE	22	CS1707	UTILITY PLAN					
		L SCHOOL DISTRICT REGARDING THE LOCATION OF A SCHOOL BUS SCHOOL DISTRICT, THE LOCATION OF THE BUS STOP AREA SHALL BE	23 24	CS1708 CS1709	UTILITY PLAN UTILITY PLAN					
		ICLUDING A CLUBHOUSE, OUTDOOR POOL AND DECK, A BATHHOUSE ILL COURTS. THE SIZE AND DIMENSIONS OF THE CLUBHOUSE, POOL,	25 26	CS1710 CS2001	UTILITY PLAN OVERALL LANDSCAPE PLAN	VERIFIED BY BE NOTIFIED PROCEEDING				
RESIDENTI	AL BUILDIN		27 28	CS2002 CS2003	BUFFER LANDSCAPE PLAN LANDSCAPE PLAN NOTES & DETAILS					
	NDS AND A	BE A BUFFER OF AT LEAST 50 FEET BETWEEN THE EDGE OF AN NY LOT LINES. THERE SHALL BE A MINIMUM DISTURBANCE OF TREES AS. REQUIRED SILT FENCING SHALL BE INSTALLED UPLAND OF THESE	29	CS3501	ROAD PLAN AND KEY SHEET	8 MUST BE ER MUST S BEFORE				
GE OF THE	E BUFFER	NEAREST THE INTERIOR DEVELOPMENT) TO AVOID DISTURBANCE. SHALL BE MINIMUM. ANY DISTURBANCE IN THE BUFFER AREA SHALL	30 31	CS3502 CS3503	ROAD PROFILES - WESTERIA BLVD ROAD PROFILES - HONEYSUCKLE DRIVE	NS M VNEF IES E				
BACK FROM	I ALL LANDS	S OF DISTURBANCE" SHALL BE INDICATED ON THE FINAL SITE PLAN. USED FOR AGRICULTURAL PURPOSES.	32 33	CS3504 CS3505	ROAD PROFILES - HONEYSUCKLE DRIVE ROAD PROFILES - HONEYSUCKLE DRIVE	ANC ANC				
DVISING TH	IAT LANDS I	COVENANTS SHALL INCLUDE THE AGRICULTURAL USE PROTECTION NEARBY ARE ACTIVELY USED FOR HUNTING. APE PLAN DEPICTING ALL LANDSCAPING TO BE PROVIDED THE	34 35	CS3506 CS3507	ROAD PROFILES - HONEYSUCKLE DRIVE ROAD PROFILES - HONEYSUCKLE DRIVE	L DIMENSIONS I AND OWNE				
AREAS AN S OF DISTUR	ND THE FO RBANCE" W	RESTED AREAS THAT WILL BE PRESERVED. THE LANDSCAPE PLAN ITHIN THE SITE	36	CS3508	ROAD PROFILES - MAYAPPLE DRIVE	ALL D				
ICLUDE A	grading f Grading Pi	PLAN FOR THE SITE. NO BUILDING PERMIT SHALL BE ISSUED FOR LAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. NO	37 38	CS3509 CS3510	ROAD PROFILES - MAYAPPLE DRIVE ROAD PROFILES - TEABERRY LANE	<				
GENERAL C	ONFORMIT	IL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE Y WITH THE INDIVIDUAL SITE GRADING PLAN. OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE	39 40	CS3511 CS3512	ROAD PROFILES - MAYAPPLE DRIVE ROAD PROFILES - WISTERIA BLVD					
		OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE	41	CS3513	ROAD PROFILES - WISTERIA BLVD					
			42 43	CS3514 CS3515	ROAD PROFILES - LIGHTHOUSE CIRCLE ROAD PROFILES - HONEYSUCKLE DRIVE					
			44 45	CS3516 CS3517	ROAD PROFILES - HONEYSUCKLE DRIVE ROAD PROFILES -TRILLIUM LANE					
			46 47	CS3518 CS3519	ROAD PROFILES - TRILLIUM LANE ROAD PROFILES - TRILLIUM LANE	SION				
			48	CS3520	ROAD PROFILES - AZALEA DRIVE	Si (	DE			
			49 50	CS3521 CS3522	ROAD PROFILES - AZALEA DRIVE ROAD PROFILES - AZALEA DRIVE	$   \geq$	COUNTY		(	<b>、</b>
		Sheet List Table	51 52	CS3523 CS3524	ROAD PROFILES - LAUREL DRIVE ROAD PROFILES - LAUREL DRIVE			_		20 L
Sheet # 1	Drawing # CS8000	Sheet Title SEDIMENT AND STORMWATER COVER SHEET	53	CS3525	ROAD PROFILES - LAUREL DRIVE	UBDI	9.00 SUSSEX	Ш	ENT	SUITE
2	CS0901	PHASING PLAN	54 55	CS3526 CS3527	ROAD PROFILES - TRILLIUM LANE ROAD PROFILES - TRILLIUM LANE	S S S S S S	(0 (5)			МГI АҮ, S 2211
3	CS0902 CS8001	PHASING PLAN NOTES AND DETAILS PRE-CONSTRUCTION MANAGEMENT KEY SHEET	56 57	CS3528 CS3529	ROAD PROFILES - MAYAPPLE DRIVE ROAD PROFILES - MAYAPPLE DRIVE	ARM	.25.00- ? 249),	SH		
5 6	CS8002 CS8003	PRE CONSTRUCTION MANAGEMENT NOTES AND DETAILS PRE CONSTRUCTION MANAGEMENT	58	CS3530	ROAD PROFILES - CIRCLE ON WISTERIA BLVD	AF	) 235-2 (SCR	Ř		
7	CS8004	PRE CONSTRUCTION MANAGEMENT	59 60	CS3531 CS3532	ROAD PROFILES - LIGHTHOUSE CIRCLE ROAD PROFILES - JEREMY DRIVE		AD (S)	Ш >	Ú Ú	ETERANS MILLERSV
8 9	CS8005 CS8006	PRE CONSTRUCTION MANAGEMENT PRE CONSTRUCTION MANAGEMENT	61 62	CS3533 CS3534	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS		TAX ID F ROAD (	Ó	2 V C	ETERANS HIGH
10 11	CS8007 CS8008	PRE CONSTRUCTION MANAGEMENT PRE CONSTRUCTION MANAGEMENT	63 64	CS3535 CS3536	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	MIND	POINT	0	Ц	1 4 2 >
12 13	CS8009 CS8010	PRE CONSTRUCTION MANAGEMENT PRE CONSTRUCTION MANAGEMENT	65	CS3537	ROAD PLAN - INTERSECTION DETAILS		Ш		מומ	86
14	CS8011	PRE CONSTRUCTION MANAGEMENT	66 67	CS3538 CS3539	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	L L L L L	SHINGL			
15 16	CS8012 CS8013		68 69	CS3540 CS3541	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	FOUI	ល			
17 18	CS8014 CS8014	POST CONSTRUCTION MANAGEMENT POST CONSTRUCTION MANAGEMENT	70	CS3542	ROAD PLAN - INTERSECTION DETAILS	L.				
19	CS8016		71 72	CS4001 CS4002	STORMDRAIN PROFILES STORMDRAIN PROFILES					
20 21	CS8017 CS8018	POST CONSTRUCTION MANAGEMENT POST CONSTRUCTION MANAGEMENT	73 74	CS4003 CS4004	STORMDRAIN PROFILES STORMDRAIN PROFILES					
22 23	CS8019 CS8020	POST CONSTRUCTION MANAGEMENT POST CONSTRUCTION MANAGEMENT	75 76	CS4005 CS4006	STORMDRAIN PROFILES STORMDRAIN PROFILES					
24 25	CS8021 CS8022	POST CONSTRUCTION MANAGEMENT POST CONSTRUCTION MANAGEMENT	77	CS4501	SANITARY SEWER PROFILES					
26	CS8023	STORM FACILITY 1, DRY POND	78 79	CS4502 CS4503	SANITARY SEWER PROFILES SANITARY SEWER PROFILES			LFS	LFS	VPL BV
27 28	CS8024 CS8025	STORM FACILITY 1, DRY POND PROFILE STORM FACILITY 2, INFILTRATION BASIN	80 81	CS4504 CS4505	SANITARY SEWER PROFILES SANITARY SEWER PROFILES					
29 30	CS8026 CS8027	STORM FACILITY 2, INFILTRATION BASIN PROFILE STORM FACILITY 3, DRY POND	82 83	CS4506 CS4507	SANITARY SEWER PROFILES SANITARY SEWER PROFILES					
31 32	CS8028 CS8029	STORM FACILITY 3, DRY POND PROFILE STORM FACILITY 4, INFILTRATION BASIN	84	CS4601	WATER PROFILES				TS	
33	CS8030	STORM FACILITY 4, INFILTRATION BASIN PROFILE	85 86	CS4602 CS4603	WATER PROFILES WATER PROFILES				MMENTS	ENTS
34 35	CS8031 CS8032	STORM FACILITY 5, INFILTRATION BASIN STORM FACILITY 5, INFILTRATION BASIN PROFILE	87 88	CS4604 CS4605	WATER PROFILES WATER PROFILES			4TS	AI COMME	COMMENTS
36 37	CS8033 CS8034	STORM FACILITY 6, INFILTRATION BASIN STORM FACILITY 7, DRY POND	89	CS4606 CS6001	WATER PROFILES			COMMENTS	D AWMI	
38	CS8035 CS8036	STORM FACILITY 8, INFILTRATION BASIN STORM FACILITY 9, DRY POND	90 91	CS6002	SITE DETAILS SANITARY SEWER DETAILS			SCED CO	/C AND	~ Z
40	CS8501	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS	92 93	CS6003 CS6004	WATER DETAILS DRAINAGE DETAILS			PER SCI	PER AWC	PER AWC
41	CS8502	CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS	94	CS6005	DRAINAGE DETAILS 2					
								REVISED	REVISE	REVISED
			-					3	5	- C
			ſ		CERTIFICATION: CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED					
		EVELOPER CERTIFICATION:		AS SHOW THAT I AC	/N ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, CKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN			<u>4-02-5</u>	24-01-29	23-12-18 ПАТЕ
	I H DE	EREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY SCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY			CORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE D REGULATIONS.	ALLDOG				
	TH	RECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE IE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL VELICABLE LAWS AND REGULATIONS				ARE IN PROJEC	STRUMENTS PREI STRUMENTS C I. THEY ARE N JITABLE FOR R	F SERVICE	IN RESPE	CT OF THE
	AP	PLICABLE LAWS AND REGULATIONS.		0000011		THE EXT PROJECT	TABLE FOR F ENSIONS OF T ANY REUSE	THE PROJEC	CT OR ON VRITTEN V	ANY OTHER
		BERA DEVELOPMENT, LLC DATE	-		GARDEN LLC DATE AND FARM LANE DE 19968	SPECI SOI	FIC PURPOSE I LE RISK AND W	NTENDED V	WILL BE AT BILITY OR	T OWNERS R LEGAL
	MI	84 VETERANS HIGHWAY, SUITE 203 LLERSVILLE, MD 21108 I3) 871-0486	ŀ	- ,	S CERTIFICATION:	SHALI ASSOCIA	SURE TO PENN LINDEMNIFY A TES FROM ALL	ND HOLD H CLAIMS, D	ARMLESS AMAGES,	PENNONI LOSSES ANI
		3) 871-0486		I, MICHAE	L A. MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY DGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN		S ARISING OU			
	ITI	IGINEER CERTIFICATION: S HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STAT	E	THE PLAN	S SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN NOCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND	PROJECT		RIE		21001
	PR	DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN EPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE MPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND		THE UNIT	, AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF ED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF RS REGULATORY PROGRAM.	DATE				23-06-21
	OR	MPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND DINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES QUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.	S AS			DRAWING				HOWN
									l	LM/EW
		GNATURE DATE		SIGNATU	RE DATE A. MARRA, PWS NO. 3557	APPROVE				AMD
	AL	GNATURE DATE AN DECKTOR, PE (DE PE#17771) NNONI ASSOCIATES, INC		PENNONI 18072 DAV	ASSOCIATES, INC /IDSON DRIVE		<b>;s</b> (	Dſ	)(	1
	180 MIL	)72 DAVIDSON DRIVE TON, DE 19968		MILTON, D OFFICE (3	DE 19968 02) 684-8030 - FAX (302) 684-8054					
DATE		FICE (302) 684-8030 - FAX (302) 684-8054		(717) 620-	5991 / EMAIL:MMARRA@PENNONI.COM	SH	EET	1	OF	94

PROVAL:	Sheet #	Drawing #	Sheet List Table Sheet Title				<u>.</u>		RUEA
OUNTY PLANNING COMMISSION AT THEIR MEETING ON JANUARY 12, 2023	1 2	CS0001 CS0201	COVER SHEET EXISTING CONDITIONS PLAN				NS		
THE SUBDIVISION. ER'S ASSOCIATION RESPONSIBLE FOR THE MAINTENANCE OF STREETS,	3 4	CS0901 CS1500	PHASING PLAN DETAILED GRADING AND PLAN KEY SHEET		$\leq$		μ	Drive 368	00 10 681
ACILITIES, AND OTHER COMMON AREAS. MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY AND OVAL OF THE SUSSEX CONSERVATION DISTRICT. THE SYSTEM SHALL BE	5	CS1501	DETAILED GRADING AND DRAINAGE PLAN NOTES AND DETAILS		2 \		CIA	son [ 1996	
MENT PRACTICES. UFFER THAT IS AT LEAST 30 FEET WIDE ALONG THE PERIMETER OF THE	6 7	CS1502 CS1503	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN				0SS	Nid Sid	י כ ר ר
RERSHIP IN ACCORDANCE WITH SECTION 99-5 OF THE SUBDIVISION ARGER 50- FOOT BUFFER ALONG THE PERIMETER OF THE PROJECT. THIS	8 9	CS1504 CS1505	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN					€ N	Ξα
MILAR VEGETATION IF IT EXISTS IN THE BUFFER AREA. WHERE TREES REMOVAL OF CONSTRUCTION ACTIVITIES THAT DISTURB THE EXISTING PROHIBITED. ALL SILT FENCING SHALL BE LOCATED ALONG THE INTERIOR	10 11	CS1506 CS1507	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN				PENNONI	1807 Mi	
JFFER NEAREST THE INTERIOR DEVELOPMENT) AND THE FINAL SITE PLAN PREVENT DISTURBANCE OF THE BUFFER AREA.	12	CS1508	DETAILED GRADING AND DRAINAGE PLAN		<b>↓</b> /		NN		202
ENTRANCE ROADWAY IMPROVEMENT REQUIREMENTS. COUNTY STANDARDS.	13 14	CS1509 CS1510	DETAILED GRADING AND DRAINAGE PLAN DETAILED GRADING AND DRAINAGE PLAN		$\sim$		Ы		F
ECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING	15	CS1700	UTILITY PLAN KEY SHEET						
CLY REGULATED CENTRAL SEWER SYSTEMS. CLY REGULATED CENTRAL WATER SYSTEM PROVIDING DRINKING WATER	16 17	CS1701 CS1702	UTILITY PLAN NOTES AND DETAILS UTILITY PLAN	AK TOR					
IE SIDE OF ALL INTERNAL STREETS. A SYSTEM OF FULLY SHIELDED AND	18 19	CS1703 CS1704	UTILITY PLAN UTILITY PLAN	CONTRACTOR F ANY WITH WORK					
LSO BE PROVIDED. SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 7:00 A.M. ND 8:00 A.M. THROUGH 2:00 P.M. ON SATURDAYS. NO SUNDAY HOURS ARE	20	CS1705	UTILITY PLAN	ONTF F ANY WITH					
GN CONFIRMING THESE HOURS IN ENGLISH AND SPANISH SHALL BE DURING CONSTRUCTION	21 22	CS1706 CS1707	UTILITY PLAN UTILITY PLAN	000					
OCAL SCHOOL DISTRICT REGARDING THE LOCATION OF A SCHOOL BUS THE SCHOOL DISTRICT, THE LOCATION OF THE BUS STOP AREA SHALL BE	23 24	CS1708 CS1709	UTILITY PLAN UTILITY PLAN	IED BY TIFIED EEDIN					
ES INCLUDING A CLUBHOUSE, OUTDOOR POOL AND DECK, A BATHHOUSE	24 25	CS1710	UTILITY PLAN	H N N N					
LEBALL COURTS. THE SIZE AND DIMENSIONS OF THE CLUBHOUSE, POOL, PLAN. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE PRIOR	26 27	CS2001 CS2002	OVERALL LANDSCAPE PLAN BUFFER LANDSCAPE PLAN	РК К					
LDING. ALL BE A BUFFER OF AT LEAST 50 FEET BETWEEN THE EDGE OF AN	28	CS2003	LANDSCAPE PLAN NOTES & DETAILS	T BE UST ORE					
ND ANY LOT LINES. THERE SHALL BE A MINIMUM DISTURBANCE OF TREES AREAS. REQUIRED SILT FENCING SHALL BE INSTALLED UPLAND OF THESE	29 30	CS3501 CS3502	ROAD PLAN AND KEY SHEET ROAD PROFILES - WESTERIA BLVD	MUST BE IER MUST E S BEFORE					
FER NEAREST THE INTERIOR DEVELOPMENT) TO AVOID DISTURBANCE. REA SHALL BE MINIMUM. ANY DISTURBANCE IN THE BUFFER AREA SHALL IMITS OF DISTURBANCE" SHALL BE INDICATED ON THE FINAL SITE PLAN.	31 32	CS3503 CS3504	ROAD PROFILES - HONEYSUCKLE DRIVE ROAD PROFILES - HONEYSUCKLE DRIVE	ONS WNE CIES					
IMITS OF DISTURBANCE" SHALL BE INDICATED ON THE FINAL SITE PLAN. ANDS USED FOR AGRICULTURAL PURPOSES. IVE COVENANTS SHALL INCLUDE THE AGRICULTURAL USE PROTECTION	33	CS3505	ROAD PROFILES - HONEYSUCKLE DRIVE	ALL DIMENSIONS I AND OWNE DISCREPANCIES					
NDS NEARBY ARE ACTIVELY USED FOR HUNTING. DSCAPE PLAN DEPICTING ALL LANDSCAPING TO BE PROVIDED THE	34 35	CS3506 CS3507	ROAD PROFILES - HONEYSUCKLE DRIVE ROAD PROFILES - HONEYSUCKLE DRIVE	JIME Ar CREF					
FORESTED AREAS THAT WILL BE PRESERVED. THE LANDSCAPE PLAN E" WITHIN THE SITE	36	CS3508	ROAD PROFILES - MAYAPPLE DRIVE	ALL D DISC					
NG PLAN FOR THE SITE. NO BUILDING PERMIT SHALL BE ISSUED FOR NG PLAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. NO	37 38	CS3509 CS3510	ROAD PROFILES - MAYAPPLE DRIVE ROAD PROFILES - TEABERRY LANE	4					
UNTIL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE MITY WITH THE INDIVIDUAL SITE GRADING PLAN.	39	CS3511	ROAD PROFILES - MAYAPPLE DRIVE						
TING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE OFFICE	40 41	CS3512 CS3513	ROAD PROFILES - WISTERIA BLVD ROAD PROFILES - WISTERIA BLVD						
EVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.	42 43	CS3514 CS3515	ROAD PROFILES - LIGHTHOUSE CIRCLE ROAD PROFILES - HONEYSUCKLE DRIVE						
	44	CS3516	ROAD PROFILES - HONEYSUCKLE DRIVE						
	45 46	CS3517 CS3518	ROAD PROFILES -TRILLIUM LANE ROAD PROFILES - TRILLIUM LANE	NO					
	47	CS3519	ROAD PROFILES - TRILLIUM LANE		DE				
	48 49	CS3520 CS3521	ROAD PROFILES - AZALEA DRIVE ROAD PROFILES - AZALEA DRIVE	SI S					
	50	CS3522			COUNTY		C	، ر	ი
Sheet List Table	51 52	CS3523 CS3524	ROAD PROFILES - LAUREL DRIVE ROAD PROFILES - LAUREL DRIVE	D	-		=		с Ч Ц
ng # Sheet Title 000 SEDIMENT AND STORMWATER COVER SHEET	53 54	CS3525 CS3526	ROAD PROFILES - LAUREL DRIVE ROAD PROFILES - TRILLIUM LANE	UB	0 SSEX	Ш	H		
901 PHASING PLAN	54 55	CS3520 CS3527	ROAD PROFILES - TRILLIUM LANE	S	-39.00 SUSSI	出	Ĺ		
902         PHASING PLAN NOTES AND DETAILS           001         PRE-CONSTRUCTION MANAGEMENT KEY SHEET	56 57	CS3528 CS3529	ROAD PROFILES - MAYAPPLE DRIVE ROAD PROFILES - MAYAPPLE DRIVE	ARM	25.00- 249),	Ч Т			
D02         PRE CONSTRUCTION MANAGEMENT NOTES AND DETAILS           D03         PRE CONSTRUCTION MANAGEMENT	58	CS3530	ROAD PROFILES - CIRCLE ON WISTERIA BLVD	АР	235-25. (SCR 24	Ľ			) Ē
004 PRE CONSTRUCTION MANAGEMENT	59 60	CS3531 CS3532	ROAD PROFILES - LIGHTHOUSE CIRCLE ROAD PROFILES - JEREMY DRIVE		≙ŏ	Щ	Ĺ	LUEVEL RANS HIG	
005         PRE CONSTRUCTION MANAGEMENT           006         PRE CONSTRUCTION MANAGEMENT	61 62	CS3533	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	SC	TAX ROA	б			
007 PRE CONSTRUCTION MANAGEMENT	63	CS3534 CS3535	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	MIND	POINT	Õ			>
D08         PRE CONSTRUCTION MANAGEMENT           D09         PRE CONSTRUCTION MANAGEMENT	64 65	CS3536 CS3537	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS	$  \geq$	ЕРС				000
010         PRE CONSTRUCTION MANAGEMENT           011         PRE CONSTRUCTION MANAGEMENT	66	CS3538	ROAD PLAN - INTERSECTION DETAILS	Ŕ	SHINGL				
012 POST CONSTRUCTION MANAGEMENT KEY SHEET	67 68	CS3539 CS3540	ROAD PLAN - INTERSECTION DETAILS ROAD PLAN - INTERSECTION DETAILS		SHI				
D13         POST CONSTRUCTION MANAGEMENT NOTES AND DETAILS           D14         POST CONSTRUCTION MANAGEMENT	69 70	CS3541	ROAD PLAN - INTERSECTION DETAILS	l O L					
POST CONSTRUCTION MANAGEMENT	70	CS3542 CS4001	ROAD PLAN - INTERSECTION DETAILS STORMDRAIN PROFILES						
POST CONSTRUCTION MANAGEMENT           017         POST CONSTRUCTION MANAGEMENT	72 73	CS4002 CS4003	STORMDRAIN PROFILES STORMDRAIN PROFILES						
D18         POST CONSTRUCTION MANAGEMENT           D19         POST CONSTRUCTION MANAGEMENT	74	CS4004	STORMDRAIN PROFILES						
20   POST CONSTRUCTION MANAGEMENT	75 76	CS4005 CS4006	STORMDRAIN PROFILES STORMDRAIN PROFILES						
D21         POST CONSTRUCTION MANAGEMENT           D22         POST CONSTRUCTION MANAGEMENT	77 78	CS4501 CS4502	SANITARY SEWER PROFILES						Т
STORM FACILITY 1, DRY POND	78	CS4502 CS4503	SANITARY SEWER PROFILES SANITARY SEWER PROFILES			LFS	LFS	VPL	
D24         STORM FACILITY 1, DRY POND PROFILE           D25         STORM FACILITY 2, INFILTRATION BASIN	80 81	CS4504 CS4505	SANITARY SEWER PROFILES SANITARY SEWER PROFILES			_			╞
STORM FACILITY 2, INFILTRATION BASIN PROFILE       27     STORM FACILITY 3, DRY POND	82	CS4506	SANITARY SEWER PROFILES						
STORM FACILITY 3, DRY POND PROFILE	83 84	CS4507 CS4601	SANITARY SEWER PROFILES WATER PROFILES				ي ب		
D29STORM FACILITY 4, INFILTRATION BASIND30STORM FACILITY 4, INFILTRATION BASIN PROFILE	85	CS4602	WATER PROFILES					١TS	
31 STORM FACILITY 5, INFILTRATION BASIN	86 87	CS4603 CS4604	WATER PROFILES WATER PROFILES			ω	COMMENT	COMMENTS	
332         STORM FACILITY 5, INFILTRATION BASIN PROFILE           333         STORM FACILITY 6, INFILTRATION BASIN	88 89	CS4605 CS4606	WATER PROFILES WATER PROFILES			MENT	AWMI C		
34     STORM FACILITY 7, DRY POND       35     STORM FACILITY 8, INFILTRATION BASIN	90	CS6001	SITE DETAILS			COMN	AND A	& AWMI	
036 STORM FACILITY 9, INFILTRATION BASIN STORM FACILITY 9, DRY POND	91 92	CS6002 CS6003	SANITARY SEWER DETAILS WATER DETAILS			CED	AWC A	AWC &	
501CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS502CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS	93	CS6004	DRAINAGE DETAILS			PERS	PER A	PERA	
	94	CS6005	DRAINAGE DETAILS 2			SEDF	SED F	SEDF	
						REVI	REVISE	REVISI	
	-					с	~	-	ſ
			CERTIFICATION: CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED		$\left  \right $	<u><u></u></u>	6	8	╀
DEVELOPER CERTIFICATION:		AS SHOW THAT I AC	N ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, KNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN			4-02-2	24-01-29	3-12-18	
I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY			CORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE D REGULATIONS.			202	202	2023-	
DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL				ARE INST PROJECT.	IENTS PREPAI RUMENTS OF S THEY ARE NOT	SERVICE I	n respe D or re	ECT OF	TH ENT
APPLICABLE LAWS AND REGULATIONS.				TO BE SUIT THE EXTEN	ABLE FOR REL ISIONS OF THE	JSE BY OV E PROJEC	VNER OF T OR ON	R OTHER ANY O	RS TH
	_		ARDEN LLC DATE	OR ADAP SPECIFIC	TATION BY PEI PURPOSE INT	NNONI ASS ENDED W	SOCIATE 'ILL BE A	S FOR T OWNE	TH ER
RIBERA DEVELOPMENT, LLC DATE 8684 VETERANS HIGHWAY, SUITE 203	L	MILTON, D		EXPOSU	RISK AND WITH RE TO PENNON IDEMNIFY AND	I ASSOCI	ATES; AN	ND OWN	١E
MILLERSVILLE, MD 21108 (443) 871-0486	ſ		S CERTIFICATION: . A. MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY	ASSOCIATE	S FROM ALL C ARISING OUT C	LAIMS, DA	MAGES,	LOSSE	S /
ENGINEER CERTIFICATION:		KNOWLED	GE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN S SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN	PROJECT		RIR	ER2	2100	– ر
ENGINEER CERTIFICATION: IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STAT OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN	E	ACCORDA	NCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND , AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF						_
PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND		THE UNITE	ED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF IS REGULATORY PROGRAM.					23-06-	
ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.	SAS			DRAWING S	JALE		AS S		
		<u></u>		DRAWN BY				LM/E	
		SIGNATUR		APPROVED	BY			AN	1D
SIGNATURE DATE			A. MARRA, PWS NO. 3557 ASSOCIATES, INC		<b>S</b> (				
ALAN DECKTOR, PE (DE PE#17771)		10070 -							•
ALAN DECKTOR, PE (DE PE#17771) PENNONI ASSOCIATES, INC 18072 DAVIDSON DRIVE MILTON, DE 19968		MILTON, D	IDSON DRIVE E 19968 02) 684-8030 - FAX (302) 684-8054						



urts\RIBER\RIBER\RIBER21001 - Spring Garden Property\DESIGNL\_SHEETS\CS0901.dwg PLOTTED: 3/27/2024 3:36 PM, BY: Logan Strickland PLOTSTYLE: Pennoni NCS.stb PROJECT ST

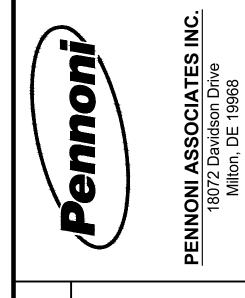
30' LANDSCAPE BUFFER (113-26 BUFFER (113-26))))))))
--

	CON	STRUCTION PHASIN	G DATA	
PHASE	# OF LOTS	LOT #	ACRES	ROADWAY FOOTA
1A	24	LOT 1-14, 137-144	19.14	2,184
1B	0	DELDOT ROAD IMPROVEMENT	6.03	3,102
				1,407
3A	AMENITY AREA	POOL AND CLUBHOUSE	2.09	0
3B	81	LOT 22-48, 147-156, 163-179, 183-191	19.05	2,442
4	50	LOT 110-123, 212-233, 241-263	16.64	2,360
5	24	LOT 101-109, 234-240	8.71	501
6	56	LOT 48-64, 157-162, 192-211, 273-292	20.56	2,751
7	38	LOT 85-100, 264-267, 293-297, 306-314	12.95	2,011
8	46	LOT 65-84, 268-272, 298-305, 315-336	15.55	2,247
TOTAL	336		139.89	19005

### **NOTES:**

1. THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE RELEASE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED. THE CONSTRUCTION OF THE FULL MOVEMENT HAMMERHEAD SITE ENTRANCE SHALL BEGIN AND SHALL BE SUBSTANTIALLY COMPLETE, AS DEFINED PER THE DEPARTMENT'S STANDARD SPECIFICATIONS, PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT AND SHALL BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 5TH BUILDING PERMIT. THE REMAINING CONSTRUCTION OF THE FULL MOVEMENT SITE ENTRANCE AND ALL ASSOCIATED ROADWAY AND PEDESTRIAN IMPROVEMENTS, AS DEPICTED IN THE DELDOT-APPROVED PLANS, SHALL BEGIN PRIOR TO THE ISSUANCE OF THE 6TH BUILDING PERMIT AND BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 24TH BUILDING PERMIT.

PER CONDITION M, THERE SHALL BE ON SITE RECREATIONAL AMENITIES INCLUDING A CLUBHOUSE, OUTDOOR POOL AND DECK, A BATHHOUSE AND STORAGE BUILDING, A TOT LOT, AND PICKLEBALL COURTS. THE SIZE AND DIMENSIONS OF THE CLUBHOUSE, POOL, AND DECK SHALL BE INCLUDED ON THE FINAL SITE PLAN. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE PRIOR TO THE ISSUANCE OF THE 140TH RESIDENTIAL BUILDING PERMIT.
2. UTILITY LATERALS FOR THE CLUBHOUSE WILL BE INSTALLED IN PHASE 1A BUT THE CLUBHOUSE ITSELF WONT BE CONSTRUCTED UNTIL PHASE 3A.



## ; || | SUBDIVISION C Z ٦ ARM Ċ SING Ш VINDS A H Δ OUR ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL

EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM. PROJECT RIBER21001

DATE2023-06-8DRAWING SCALEAS SHOWNDRAWN BYLM/EWAPPROVED BYAMD

OF 94

**CS0901** 

SHEET 3

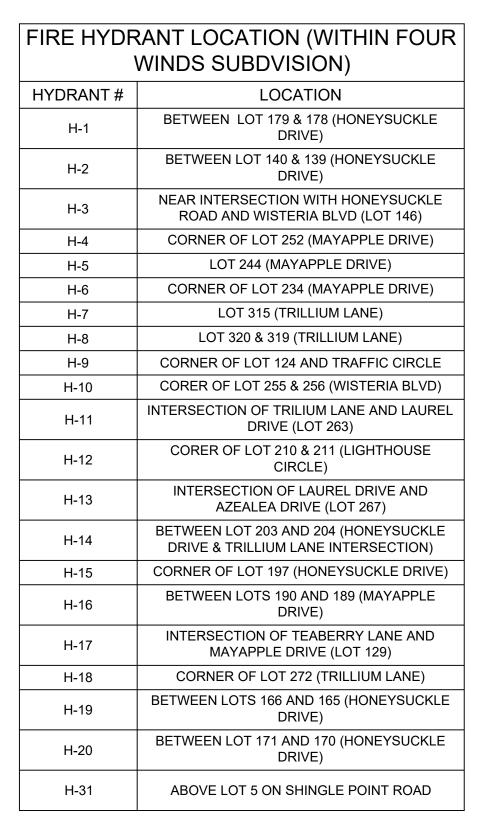


LIMIT OF AGRICULTURAL USE LIMIT OF EX. WOODS

> TM: 235-25.00-38.00 N/F CD CAREY FARMS LLC DEED REF.: D.B 2785, PG. 103 ZONED: AR-1 USE: AGRICULTURAL

50.00' AGRICULTURAL BUFFER





#### OFFSITE FIRE HYDRANT LOCATION (ALONG PETTYJOHN ROAD SEE SHEETS CS4606 TO CS4609)

	,
HYDRANT #	LOCATION
H-21	RIGHT CORNER OF PARCEL 54.04
H-22	CORNER OF PARCEL 145.00 & 146.00
H-23	CORNER OF PARCEL 12.04 & 12.05
H-24	CORNER OF PARCEL 15.00 & 16.00
H-25A	CORNER OF PARCEL 19.00 & 44.00
H-25	IN FRONT OF PARCEL 44.00
H-26	IN FRONT OF PARCEL 44.00
H-27	CORNER OF PARCEL 44.00 & 44.01
H-28	IN FRONT OF PARCEL 45.01
H-29	IN UTILITY EASEMENT ON HUSTON PROPERTY PARCEL 45.01, BEFORE DITCH CROSSING
H-30	IN UTILITY EASEMENT ON HUSTON PROPERTY PARCEL 45.01, BEFORE SITE CONNECTION
	•



PPROVED BY

**CS1700** 

SHEET 15 OF 94

AMD

	SANITARY S		CTURE TABLI	=
ID		INV IN (FROM)	INV OUT (TO)	TYPE
MH-1	ELEVATION 35.49	14.47'	14.37'	60" MH
MH-2	34.46	14.93'	14.83'	60" MH
MH-3	34.90	15.47' 15.47'	15.37'	60" MH
MH-4	33.93	15.99'	15.89'	48" MH
MH-5	36.26	16.76'	16.66'	60" MH
MH-6	36.36	17.65' 17.65'	17.55'	60" MH
MH-7	35.61	18.11'	18.01'	48" MH
MH-8	32.61	19.03'	18.93'	48" MH
MH-9	33.70	19.85'	19.75'	48" MH
MH-10 MH-11	33.24 32.49	20.79' 21.67'	20.69' 21.57'	48" MH 48" MH
MH-12	34.27	22.60'	22.50'	48" MH
MH-12	33.84	22.60' 23.19'	23.09'	48" MH
MH-14	33.50	23.61'	23.51'	48" MH
MH-15	32.86	24.45'	24.35'	48" MH
MH-16	35.19	24.99' 24.99'	24.89'	48" MH
MH-17	35.03	25.61'	25.51'	48" MH
MH-18	35.29		26.45'	48" MH
MH-19	32.24	05.001	23.42'	48" MH
MH-20 MH-21	33.87 33.11	25.92' 26.52'	25.82' 26.42'	48" MH 48" MH
MH-22	32.41	27.06'	26.96'	48" MH
MH-23	33.11	27.84'	27.74'	48" MH
MH-24	34.62	40.07	28.52'	48" MH
MH-25 MH-26	35.98 36.40	18.05' 18.39'	17.95' 18.29'	48" MH 48" MH
MH-27	37.84	18.73'	18.63'	40 MH
MH-28	37.48	19.60'	19.50'	60" MH
MH-29	37.71	19.93' 19.93'	19.83'	48" MH
MH-30	37.71	20.54'	20.44'	48" MH
MH-31	38.09	21.15' 21.15'	21.05'	48" MH
MH-32	37.33	21.64'	21.54'	48" MH
MH-33	36.17	22.13'	22.03'	48" MH
MH-34	35.14	22.60'	22.50'	48" MH
MH-35	34.55	22.90' 22.90'	22.80'	48" MH
MH-36	34.03	23.59'	23.49'	48" MH
MH-37	34.88	24.12' 24.12'	24.02'	48" MH
MH-38	35.09		24.75'	48" MH
MH-39 MH-40	34.29 36.26	23.26'	23.40' 23.16'	48" MH 48" MH
MH-41	34.93	25.48'	25.38'	48" MH
MH-42	33.85	25.91'	25.81'	48" MH
MH-43	32.76	26.35'	26.25'	48" MH
MH-44	32.56	26.79'	26.69'	48" MH
MH-45 MH-46	32.93 33.26	27.23' 27.63'	27.13' 27.53'	48" MH 48" MH
MH-47	33.66	28.08'	27.98'	48" MH
MH-48	34.01	28.53'	28.43'	48" MH
MH-49	34.33	24 70'	28.96' 24.60'	48" MH
MH-50 MH-51	34.05 33.09	24.70' 25.30'	24.60' 25.20'	48" MH 48" MH
MH-52	33.81	25.92'	25.82'	48" MH
MH-53	34.45		26.25'	48" MH
MH-54	36.43	23.71'	23.61'	48" MH
MH-55 MH-56	36.44 36.45	25.14' 25.46'	25.04' 25.36'	48" MH 48" MH
MH-57	37.95	26.33'	26.23'	48" MH
MH-57 MH-58	37.95	26.33' 26.70'	26.60'	40 MH
MH-58	37.61	27.05'	26.95'	48" MH
MH-60	37.69	27.93'	27.83'	48" MH
MH-61	38.11	28.60'	28.50'	48" MH
MH-62 MH-63	37.22 37.37	29.09'	28.99' 30.27'	48" MH 48" MH
MH-63 MH-64	37.37 34.60	27.23'	27.13'	48" MH 48" MH
MH-65	33.69	28.15'	28.05'	48" MH
MH-66	35.95	28.73' 28.73'	28.63'	48" MH
MH-67	35.28	-	29.18'	48" MH
MH-68	35.37		29.28'	48" MH
MH-69	35.34	15.75'	15.65'	60" MH
MH-70	35.09	16.67'	16.57'	60" MH

	SANITARY	SEWER STRU	JCTURE TAB	LE
ID	RIM ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE
MH-71	35.50	17.57'	17.47'	48" MH
MH-72	36.07	18.18' 18.18'	18.08'	48" MH
MH-73	37.68	19.09'	18.99'	60" MH
MH-74	38.56	19.95'	19.85'	60" MH
MH-75	38.04	20.47'	20.37'	48" MH
MH-75 B	37.66	29.50' 20.78'	20.68'	60" DROP MH
MH-75 C	37.18	20.78'	21.62'	48" MH
MH-76	37.08	29.88'	29.78'	48" MH
MH-77	36.08	30.54'	30.44'	48" MH
MH-78	36.58	31.12'	31.02'	48" MH
MH-79	37.16	31.68'	31.58'	48" MH
MH-80	38.00		32.60'	48" MH
MH-81	34.87	26.18'	26.08'	48" MH
MH-82	35.58	26.65' 26.65'	26.55'	48" MH
MH-83	36.52	27.28'	27.18'	48" MH
MH-84	37.10	27.86'	27.76'	48" MH
MH-85	37.40		28.68'	48" MH
MH-86	34.40	27.22'	27.12'	48" MH
MH-87	33.30		27.91'	48" MH
PS-1	36.60	14.30'		72" WW

	SANITARY SEWER PIPE TABLE										
ID	FROM STRUCTURE	INV IN	TO STRUCTURE	INV OUT	DIAMETER (in)	MATERIAL	LENGTH (ft)	SLOPE			
SS-1A	MH-1	14.30	PS-1	14.37	10"	10" DIP CL 52	28.52'	0.22%			
SS-1B SS-2	MH-2 MH-3	14.47 14.93	MH-1 MH-2	14.83 15.37	8" 8"	8" DIP CL 52 8" DIP CL 52	128.42' 160.10'	0.28% 0.28%			
SS-3	MH-4	15.47	MH-3	15.89	8"	8" DIP CL 52	149.28'	0.28%			
SS-4	MH-5	15.99	MH-4	16.66	8"	8" DIP CL 52	240.49'	0.28%			
SS-5	MH-6	16.76	MH-5	17.55	8"	8" DIP CL 52	284.28'	0.28%			
SS-6 SS-7	MH-7 MH-8	17.65 18.11	MH-6 MH-7	18.01 18.93	8" 8"	8" DIP CL 52 8" SDR-26 PVC	129.53' 295.32'	0.28% 0.28%			
SS-8	MH-9	19.03	MH-8	19.75	8"	8" SDR-26 PVC	293.32	0.28%			
SS-9	MH-10	19.85	MH-9	20.69	8"	8" SDR-26 PVC	295.38'	0.28%			
SS-10	MH-11	20.79	MH-10	21.57	8"	8" SDR-26 PVC	281.44'	0.28%			
SS-11 SS-12	MH-12 MH-13	21.67 22.60	MH-11 MH-12	22.50 23.09	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	305.45' 172.62'	0.27% 0.28%			
SS-12	MH-13 MH-14	22.00	MH-12 MH-13	23.09	8"	8" SDR-26 PVC	113.41'	0.28%			
SS-14	MH-15	23.61	MH-14	24.35	8"	8" SDR-26 PVC	263.36'	0.28%			
SS-15	MH-16	24.45	MH-15	24.89	8"	8" SDR-26 PVC	154.88'	0.28%			
SS-16 SS-17	MH-17 MH-18	24.99 25.61	MH-16 MH-17	25.51 26.45	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	186.02' 209.40'	0.28% 0.40%			
SS-17 SS-18	MH-18 MH-12	23.42	MH-17 MH-19	26.45	8"	8 SDR-26 PVC 8" SDR-26 PVC	209.40	0.40%			
SS-19	MH-20	24.99	MH-16	25.82	8"	8" SDR-26 PVC	299.64'	0.28%			
SS-20	MH-21	25.92	MH-20	26.42	8"	8" SDR-26 PVC	178.83'	0.28%			
SS-21	MH-22	26.52	MH-21	26.96	8"	8" SDR-26 PVC	156.89'	0.28%			
SS-22 SS-23	MH-23 MH-24	27.06 27.84	MH-22 MH-23	27.74 28.52	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	242.01' 170.24'	0.28% 0.40%			
SS-23	MH-24 MH-25	17.65	MH-6	17.95	8"	8" DIP CL 52	108.67'	0.40 %			
SS-25	MH-26	18.05	MH-25	18.29	8"	8" DIP CL 52	85.11'	0.28%			
SS-26	MH-27	18.39	MH-26	18.63	8"	8" DIP CL 52	86.61'	0.28%			
SS-27	MH-28	18.73	MH-27	19.50	8"	8" DIP CL 52	272.98'	0.28%			
SS-28 SS-29	MH-29 MH-30	19.60 19.93	MH-28 MH-29	19.83 20.44	8" 8"	8" DIP CL 52 8" DIP CL 52	82.04' 182.15'	0.28% 0.28%			
SS-30	MH-31	20.54	MH-30	21.05	8"	8" DIP CL 52	181.60'	0.28%			
SS-31	MH-32	21.15	MH-31	21.54	8"	8" SDR-26 PVC	140.13'	0.28%			
SS-32	MH-33	21.64	MH-32	22.03	8"	8" SDR-26 PVC	140.92'	0.28%			
SS-33 SS-34	MH-34 MH-35	22.13 22.60	MH-33 MH-34	22.50 22.80	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	131.41' 71.18'	0.28% 0.28%			
SS-35	MH-36	22.00	MH-35	23.49	8"	8" SDR-26 PVC	212.05'	0.28%			
SS-36	MH-37	23.59	MH-36	24.02	8"	8" SDR-26 PVC	154.13'	0.28%			
SS-37	MH-38	24.12	MH-37	24.75	8"	8" SDR-26 PVC	158.86'	0.40%			
SS-38	MH-39	22.90	MH-35	23.40	8"	8" SDR-26 PVC	126.31'	0.40%			
SS-39 SS-40	MH-40 MH-41	19.93 23.26	MH-29 MH-40	23.16 25.38	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	107.75' 147.92'	3.00% 1.43%			
SS-41	MH-42	25.48	MH-41	25.81	8"	8" SDR-26 PVC	120.31'	0.28%			
SS-42	MH-43	25.91	MH-42	26.25	8"	8" SDR-26 PVC	122.02'	0.28%			
SS-43	MH-44	26.35	MH-43	26.69	8"	8" DIP CL 52	121.12'	0.28%			
SS-44 SS-45	MH-45 MH-46	26.79 27.23	MH-44 MH-45	27.13 27.53	8" 8"	8" SDR-26 PVC 8" DIP CL 52	118.72' 107.13'	0.28% 0.28%			
SS-46	MH-47	27.63	MH-46	27.98	8"	8" SDR-26 PVC	123.80'	0.28%			
SS-47	MH-48	28.08	MH-47	28.43	8"	8" DIP CL 52	125.28'	0.28%			
SS-48	MH-49	28.53	MH-48	28.96	8"	8" SDR-26 PVC	106.69'	0.40%			
SS-49 SS-50	MH-50 MH-51	24.12 24.70	MH-37 MH-50	24.60 25.20	8" 8"	8" DIP CL 52 8" SDR-26 PVC	169.96' 175.98'	0.28% 0.28%			
SS-50	MH-51 MH-52	24.70	MH-50 MH-51	25.82	8"	8" SDR-26 PVC	184.47'	0.28%			
SS-52	MH-53	25.92	MH-52	26.25	8"	8" SDR-26 PVC	82.17'	0.40%			
SS-53	MH-54	21.15	MH-31	23.61	8"	8" SDR-26 PVC	82.14'	3.00%			
SS-54	MH-55	23.71	MH-54	25.04	8"	8" SDR-26 PVC	110.78'	1.20%			
SS-55 SS-56	MH-56 MH-57	25.14 25.46	MH-55 MH-56	25.36 26.23	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	79.37' 279.35'	0.28% 0.28%			
SS-57	MH-58	26.33	MH-57	26.60	8"	8" DIP CL 52	94.62'	0.28%			
SS-58	MH-59	26.70	MH-58	26.95	8"	8" SDR-26 PVC	92.55'	0.28%			
SS-59	MH-60	27.05	MH-59	27.83	8"	8" SDR-26 PVC	275.01'	0.28%			
SS-60 SS-61	MH-61 MH-62	27.93 28.60	MH-60 MH-61	28.50 28.99	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	214.06' 139.09'	0.26% 0.28%			
SS-61 SS-62	MH-62 MH-63	28.60	MH-61 MH-62	30.27	8"	8" DIP CL 52	295.29'	0.28%			
SS-63	MH-64	26.33	MH-57	27.13	8"	8" SDR-26 PVC	284.04'	0.28%			
SS-64	MH-65	27.23	MH-64	28.05	8"	8" DIP CL 52	290.15'	0.28%			
SS-65	MH-66	28.15	MH-65	28.63	8"	8" SDR-26 PVC	171.06'	0.28%			
SS-66 SS-67	MH-67 MH-68	28.73 28.73	MH-66 MH-66	29.18 29.28	8" 8"	8" SDR-26 PVC 8" SDR-26 PVC	111.73' 136.86'	0.40% 0.40%			
SS-68	MH-69	15.47	MH-3	15.65	8"	8" DIP CL 52	65.70'	0.28%			
SS-69	MH-70	15.75	MH-69	16.57	8"	8" DIP CL 52	291.68'	0.28%			
SS-70	MH-71	16.67	MH-70	17.47	8"	8" DIP CL 52	286.76'	0.28%			
SS-71	MH-72	17.57 18.18	MH-71	18.08 18.99	8" 8"	8" DIP CL 52 8" DIP CL 52	180.32' 288.31'	0.28%			
SS-72 SS-73	MH-73 MH-74	18.18 19.09	MH-72 MH-73	18.99 19.85	8" 8"	8" DIP CL 52 8" DIP CL 52	288.31' 270.07'	0.28% 0.28%			
SS-74	MH-74	19.95	MH-74	20.37	8"	8" DIP CL 52	151.59'	0.28%			
SS-75	MH-75 B	20.47	MH-75	20.68	8"	8" DIP CL 52	75.67'	0.28%			
SS-75 B	MH-76	29.50	MH-75 B	29.78	8"	8" SDR-26 PVC	100.06'	0.28%			
SS-75 C SS-76	MH-75 C MH-77	20.78 29.88	MH-75 B MH-76	21.62 30.44	8" 8"	8" DIP CL 52 8" SDR-26 PVC	298.02' 200.03'	0.28% 0.28%			
SS-76 SS-77	MH-77 MH-78	29.88 30.54	MH-76 MH-77	30.44	8"	8" SDR-26 PVC 8" DIP CL 52	172.21	0.28%			
	I				-	L					

	SANITARY SEWER PIPE TABLE											
ID	FROM STRUCTURE	INV IN	TO STRUCTURE	INV OUT	DIAMETER (in)	MATERIAL	LENGTH (ft)	SLOPE				
SS-78	MH-79	31.12	MH-78	31.58	8"	8" SDR-26 PVC	161.21'	0.28%				
SS-79	MH-80	31.68	MH-79	32.60	8"	8" SDR-26 PVC	229.84'	0.40%				
SS-80	MH-81	18.18	MH-72	26.08	8"	8" SDR-26 PVC	290.24'	2.72%				
SS-81	MH-82	26.18	MH-81	26.55	8"	8" SDR-26 PVC	132.76'	0.28%				
SS-82	MH-83	26.65	MH-82	27.18	8"	8" SDR-26 PVC	186.39'	0.28%				
SS-83	MH-84	27.28	MH-83	27.76	8"	8" SDR-26 PVC	170.55'	0.28%				
SS-84	MH-85	27.86	MH-84	28.68	8"	8" SDR-26 PVC	216.43'	0.38%				
SS-85	MH-86	26.65	MH-82	27.12	8"	8" SDR-26 PVC	168.38'	0.28%				
SS-86	MH-87	27.22	MH-86	27.91	8"	8" DIP CL 52	174.21'	0.40%				
SS-111	MH-75 C	20.82		20.78	8"	8" DIP	14.58'	0.28%				

### SITE INFORMATION:

SITE ADDRESS:

SPRING GARDEN, LLC. TAX MAP: 235-25.00-39.00 16793 ISLAND FARM LANE MILTON, DE 19968

DEVELOPER: RIBERA DEVELOPMENT, LLC.

> 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108 (443) 871-0486

ENGINEER, PLANNER & SURVEY CONSULTANTS: PENNONI ASSOCIATES INC. 18072 DAVIDSON DRIVE MILTON, DELAWARE 19968 (302) 684-8030

### **UTILITY NOTES:**

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- 2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHTS OF WAY.
   PROPOSED UTILITY SERVICE AND CONNECTIONS (SANITARY SEWERS) SUBJECT TO FINAL DESIGN AND
- APPROVAL.
  5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10 HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
   ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- PROVIDE A FLOW TEST ON NEW HYDRANT TO FIRE MARSHALL ONCE IT HAS BEEN INSTALLED AND PRIOR TO OPERATIONS.
   THE DISTANCE BETWEEN THE FIRE HYDRANT AND THE FIRE LANE SHALL NOT BE GREATER THAN SEVEN FEET.
- 8.1. THE STEAMER CONNECTION OF ALL FIRE HYDRANTS SHALL BE SO POSITIONED SO AS TO BE FACING THE STREET OR FIRE LANE.
- 8.2. THE CENTER OF ALL HOSE OUTLETS ON FIRE HYDRANTS SHALL NOT BE LESS THAN 18" ABOVE FINAL GRADE.
  8.3. FIRE HYDRANTS SHALL BE COLOR CODED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS, AND A MINIMUM 12" VERTICAL SEPARATION BETWEEN STORM AND SEWER MAINS.
   WATER AND SEWER SERVICE WILL BE INSTALLED IN PHASES, REFER TO PHASING CONSTRUCTION PLAN
- ALL FACILITIES TO MEET ARTESIAN WATER COMPANY AND ARTESIAN WASTEWATER COMPANY STANDARDS AND SPECIFICATIONS.
   THE PROPOSED FORCE MAIN SHALL BE INSTALLED BY VARIOUS METHODS INCLUDING OPEN CUT, JACK AND BORE, AND DIRECTIONAL DRILLING ALONG SHINGLE POINT ROAD. THIS WILL BE COORDINATED WITH ARTESIAN
- WASTEWATER COMPANY AND CONTRACTOR/DEVELOPER. REFER TO OFFSITE SEWER UTILITY PLANS.
  13. ALL SEWER SERVICE LATERALS SHALL BE 6".
  14. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1" LATERAL AND METER FOR DOMESTIC AND FIRE SPRINKLER SERVICES AND A 2" LATERAL AND METER FOR THE
- PUMP STATION AND A 4" LATERAL AND METER FOR COMBINED DOMESTIC AND FIRE SERVICES FOR THE CLUBHOUSE.
  15. WATER SERVICES CANNOT BE TAPPED AT SAME LOCATION ON THE WATER MAIN. MAINTAIN 18" HORIZONTAL SEPARATION FOR SERVICES OF LOTS ON OPPOSITE SIDES OF THE ROAD AND ALL PIPE JOINTS.
- ALL SERVICES SHALL BE LOCATED 5' MINIMUM FROM LOT CORNER.
   MAINTAIN A MINIMUM OF 5' SEPARATION BETWEEN THE WATER AND SEWER SERVICE LATERALS.
   NO OBJECTS, STANDS, DISPLAYS, OR OTHER IMPEDIMENTS SHALL BE LOCATED WITHIN THE DEMARCATION
- AREA. 19. PROPOSED ELECTRIC AND TELECOMMUNICATION CONNECTIONS TO BE DETERMINED WITH COORDINATION
- FROM UTILITY PROVIDERS.20. PROPOSED ONSITE FIRE HYDRANT LOCATIONS AND FIRE WATER SUPPLY LINE LOCATIONS TO BE COORDINATED IN THE FIELD WITH THE STATE FIRE MARSHALL.
- THE FIELD WITH THE STATE FIRE MARCHAEL.
   THE PROPOSED RESIDENTIAL DWELLINGS AND CLUBHOUSE SHALL BE PROTECTED WITH AUTOMATIC SPRINKLERS IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 13. ALL DWELLINGS AND CLUBHOUSE WILL REQUIRE A COMBINED METER VALVE FOR FIRE AND DOMESTIC SERVICES.

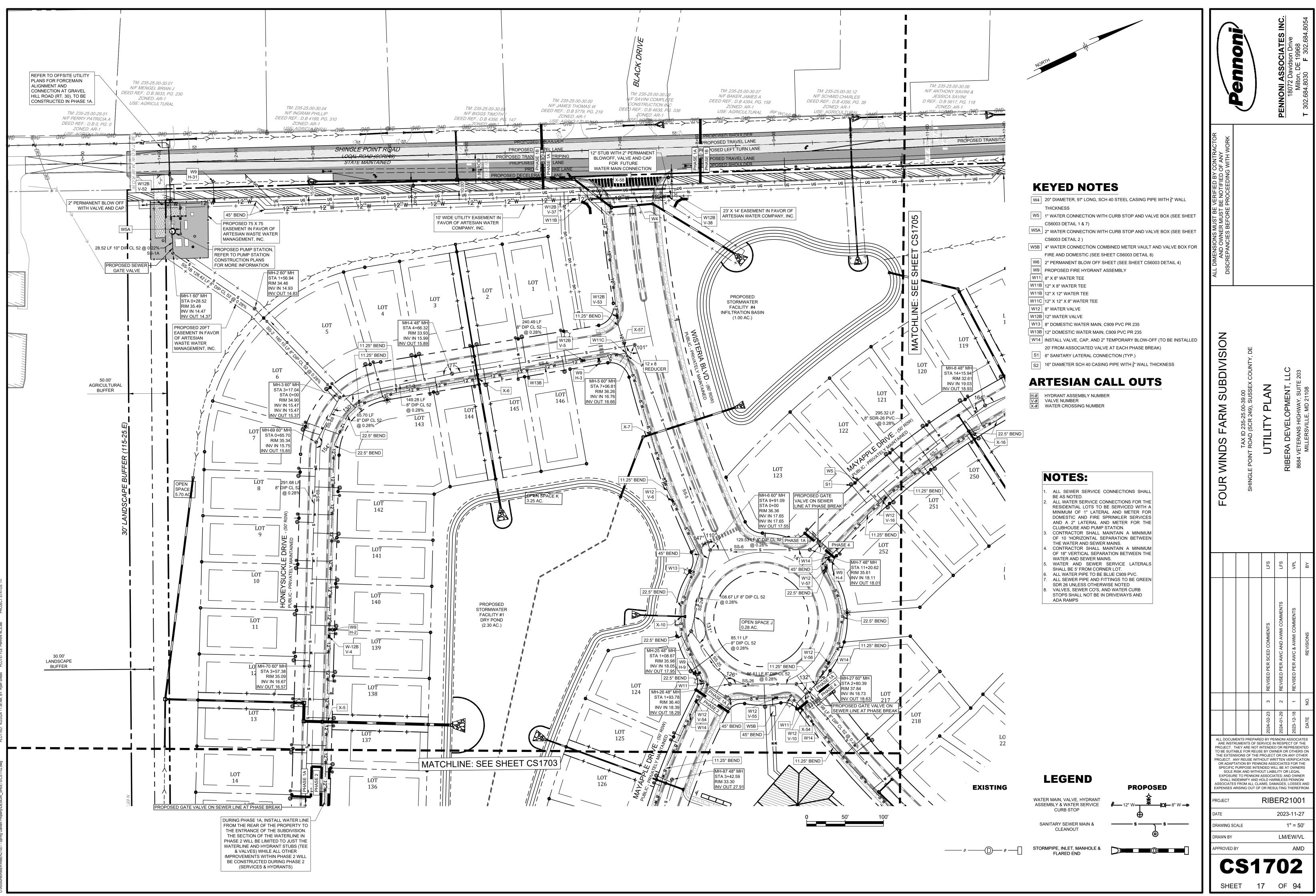
### **ARTESIAN GENERAL NOTES:**

- 1. WATER SUPPLY BY ARTESIAN WATER COMPANY. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ARTESIAN WATER COMPANY STANDARDS AND SPECIFICATIONS.
- ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
   THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND
- SPECIFICATIONS OF THE DELAWARE STATE DIVISION OF PUBLIC HEALTH. 4. FIXTURE LOCATIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF ARTESIAN
- WATER COMPANY. 5. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE
- CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR UTILITY LOCATION.
  THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN LININTERPRINTED SERVICE. ANY DAMAGE POLY TO EVIDENCE UTILITIES OF TO EVIDENCE.
- MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY REPAIRED AT HIS/HER EXPENSE.
  7. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH
- OTHER UTILITIES. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPE. 9. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PREFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF
- 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
  10. DISINFECTION REQUIREMENTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARD C60-08.
- ALL WATER PIPES SHALL HAVE A MINIMUM COVER OF 3.5 FEET.
   THE CONTRACTOR SHALL PROVIDE PRESSURE REDUCING VALVES IN UNITS, IF NECESSARY.
   THE CONTRACTOR SHALL PROVIDE DISTRIBUTED FOR SUCH AND ADDRESS AND ADDRESS
- THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF THE ARTESIAN WATER COMPANY.
   EROSION CONTROL FOR WORK RELATED TO THE INSTALLATION OF WATERLINE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PREFORMED IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK OF JULY 2023 OR LATEST ISSUE.
- THE CONTRACTOR SHALL INSTALL AIR RELEASE VALVES AS SPECIFIED IN FIELD.
   ALL CUL-DE-SACS TO HAVE MINIMUM 38 FOOT CLEAR PAVED RADIUS.
   ALL DWELLINGS ARE REQUIRED TO HAVE METER PITS WHICH ARE TO BE PURCHASED FROM ARTESIAN WATER

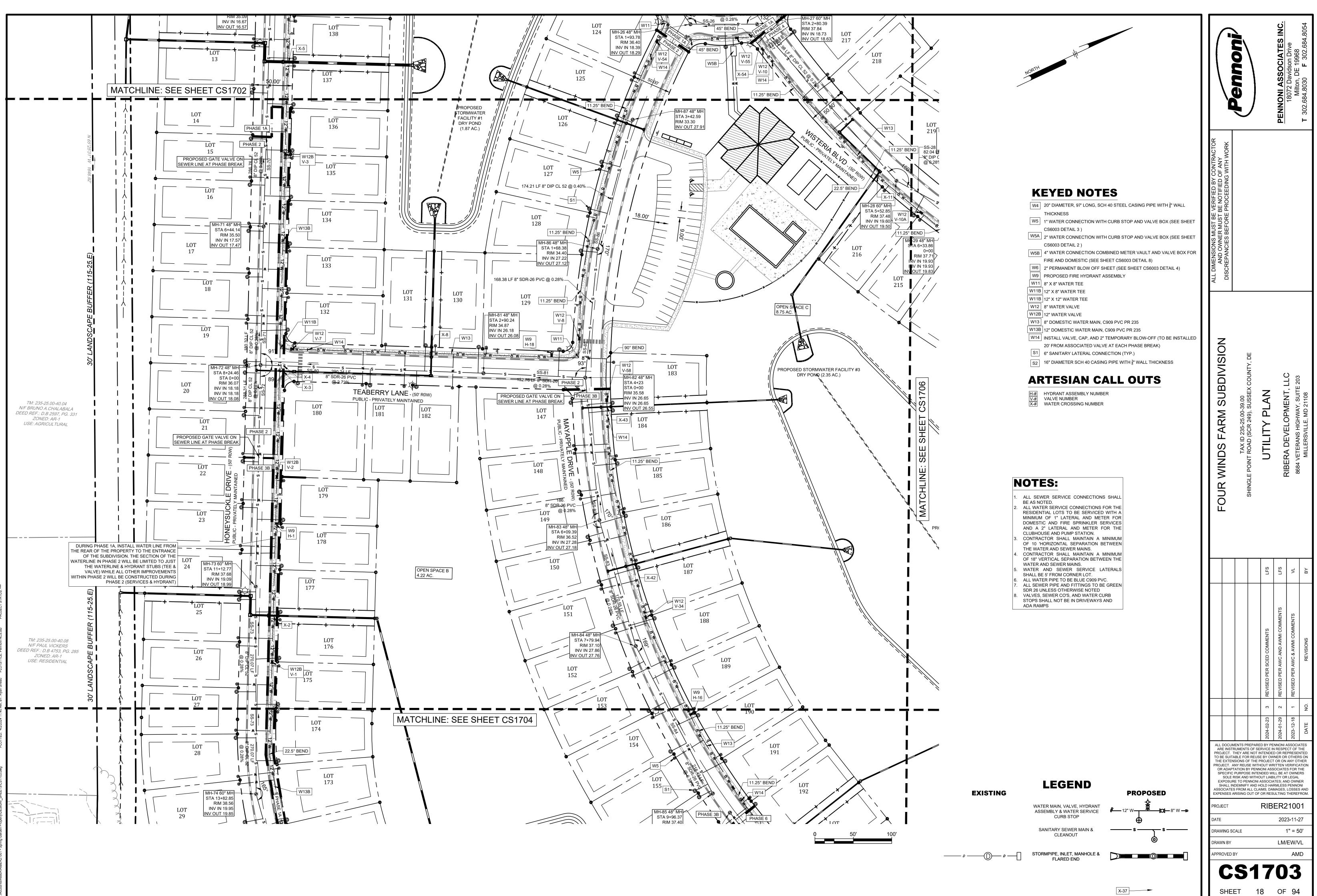
CO. AND INSTALLED BY THE DEVELOPER AT HIS COST.

EXISTING	LEGEND	PROPOSED
	WATER MAIN, VALVE, HYDRANT & METER PIT	₽12" W ■ 8" W →
	SANITARY SEWER MAIN & CLEANOUT	s s
p p	STORMPIPE, INLET, MANHOLE & FLARED END	

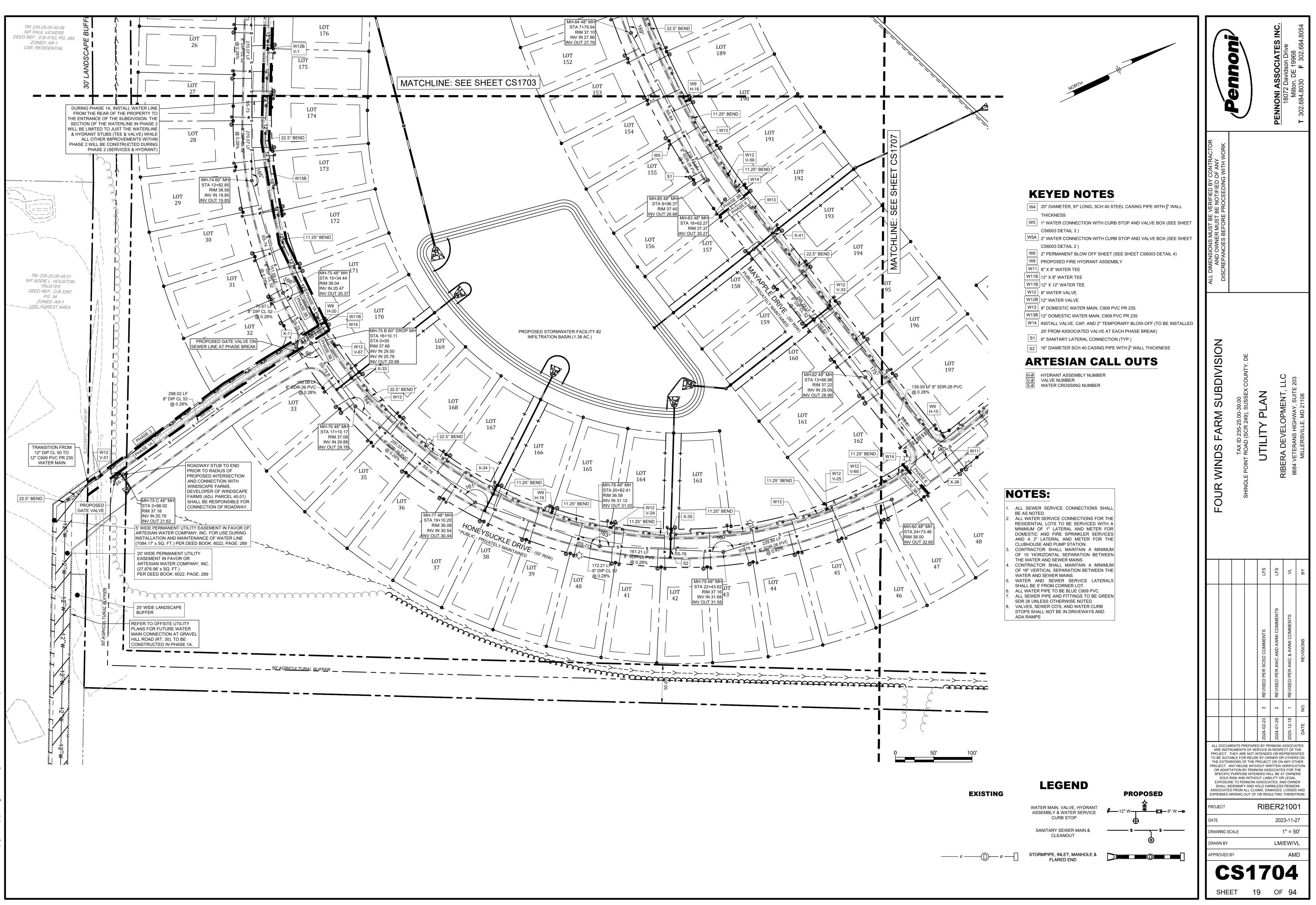
	Lennon		<b>PENNONI ASSOCIATES INC.</b>	18072 Davidson Drive Milton. DE 19968	T 302.684.8030 F 302.684.8054
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK					
FOUR WINDS FARM SUBDIVISION	TAX ID 235-25.00-39.00 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE	UTILITY PLAN NOTES AND DETAILS		RIDERA DEVELOFMENT, LLO 8684 VETERANS HIGHWAY SLITE 203	MILLERSVILLE, MD 21108
		LFS	LFS		BΥ
		REVISED PER SCED COMMENTS	REVISED PER AWC AND AWMI COMMENTS		REVISIONS
		ъ	2		NO.
		2024-02-23	2024-01-29		DATE
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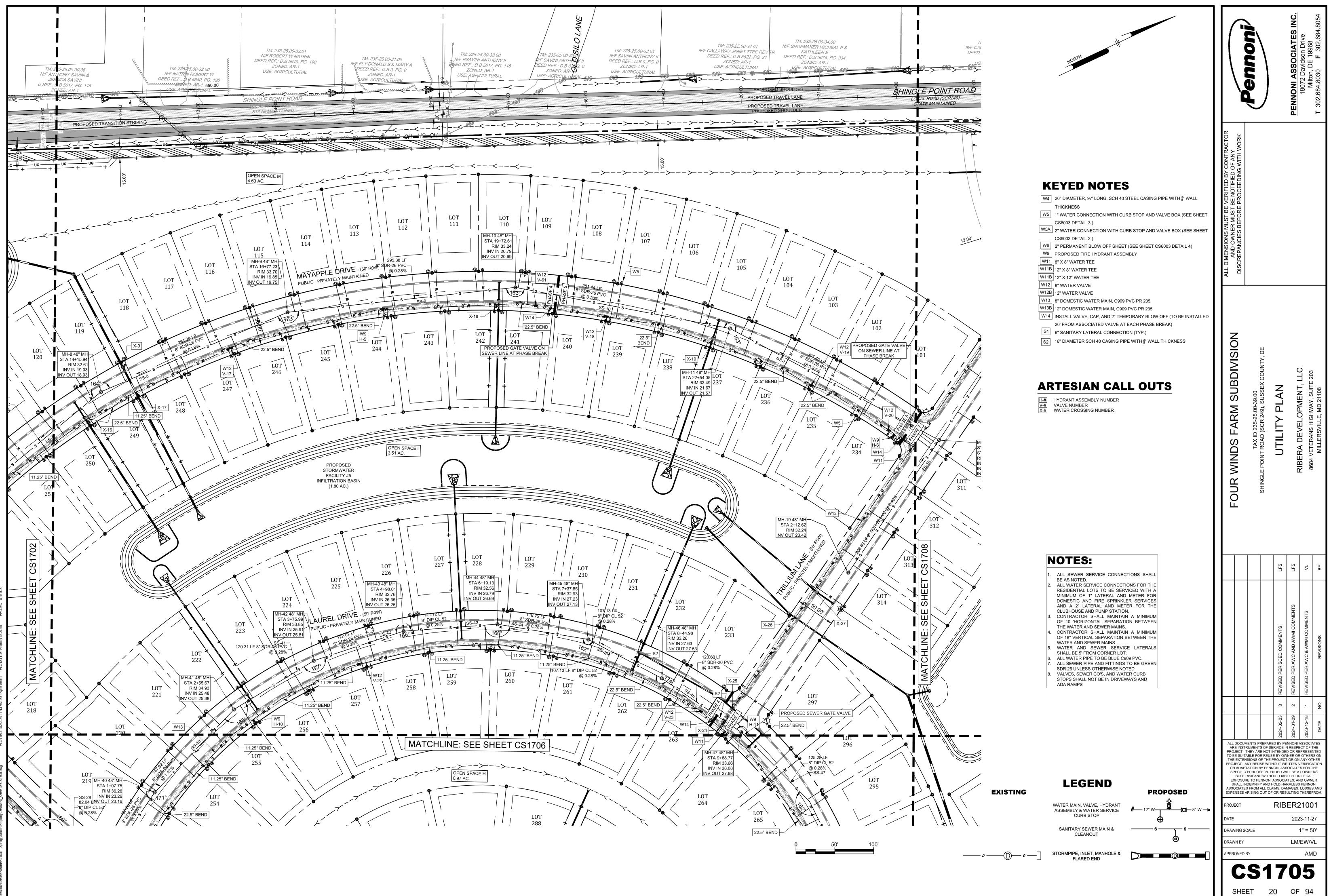
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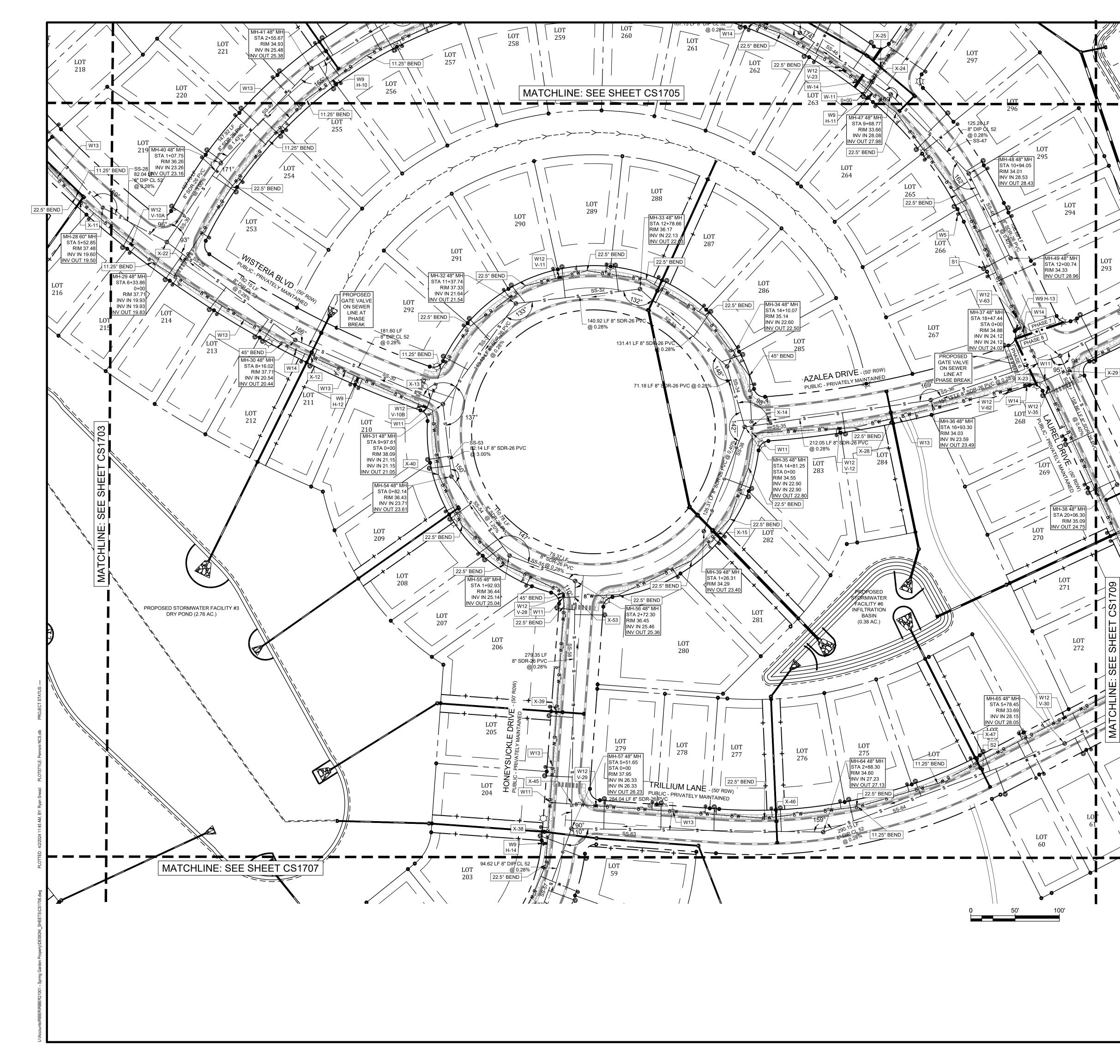


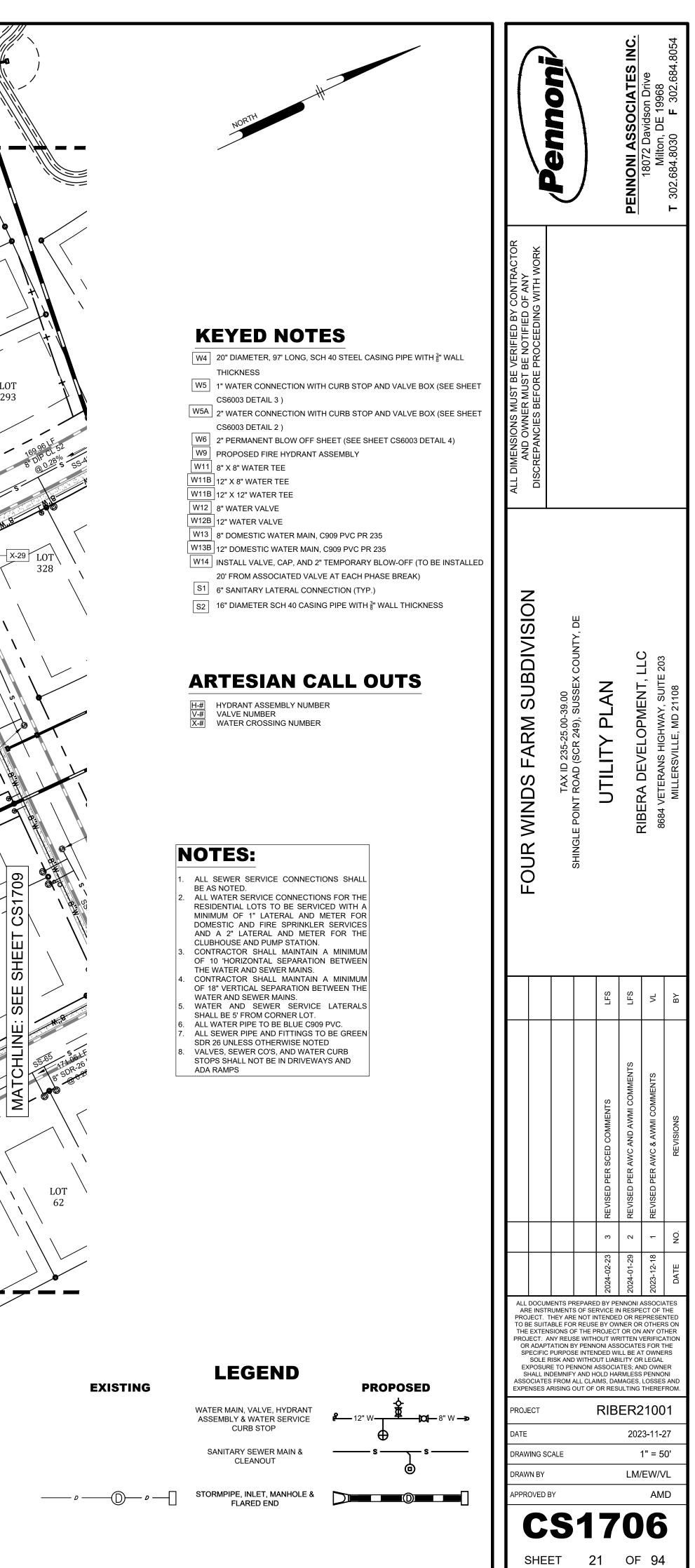
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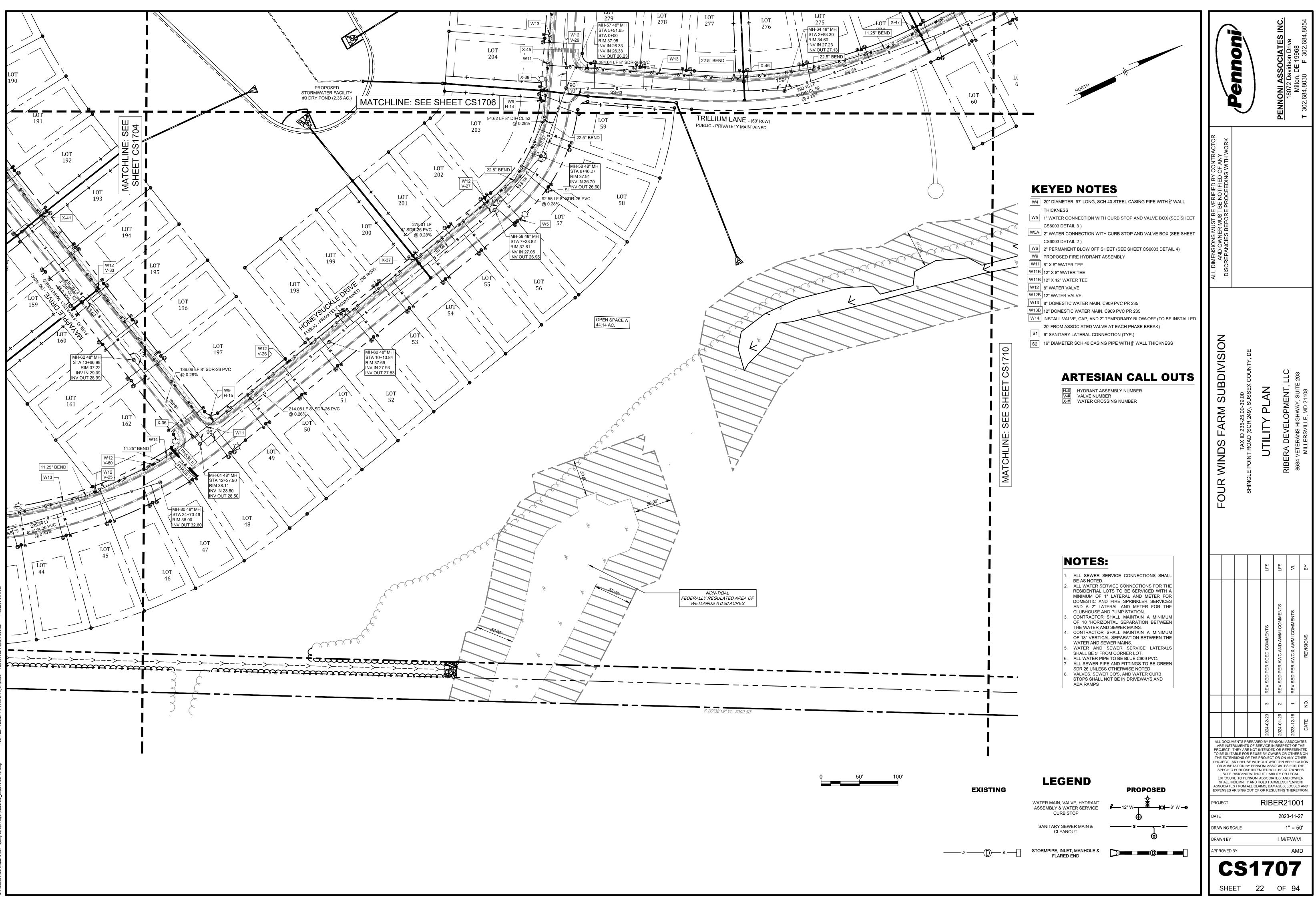


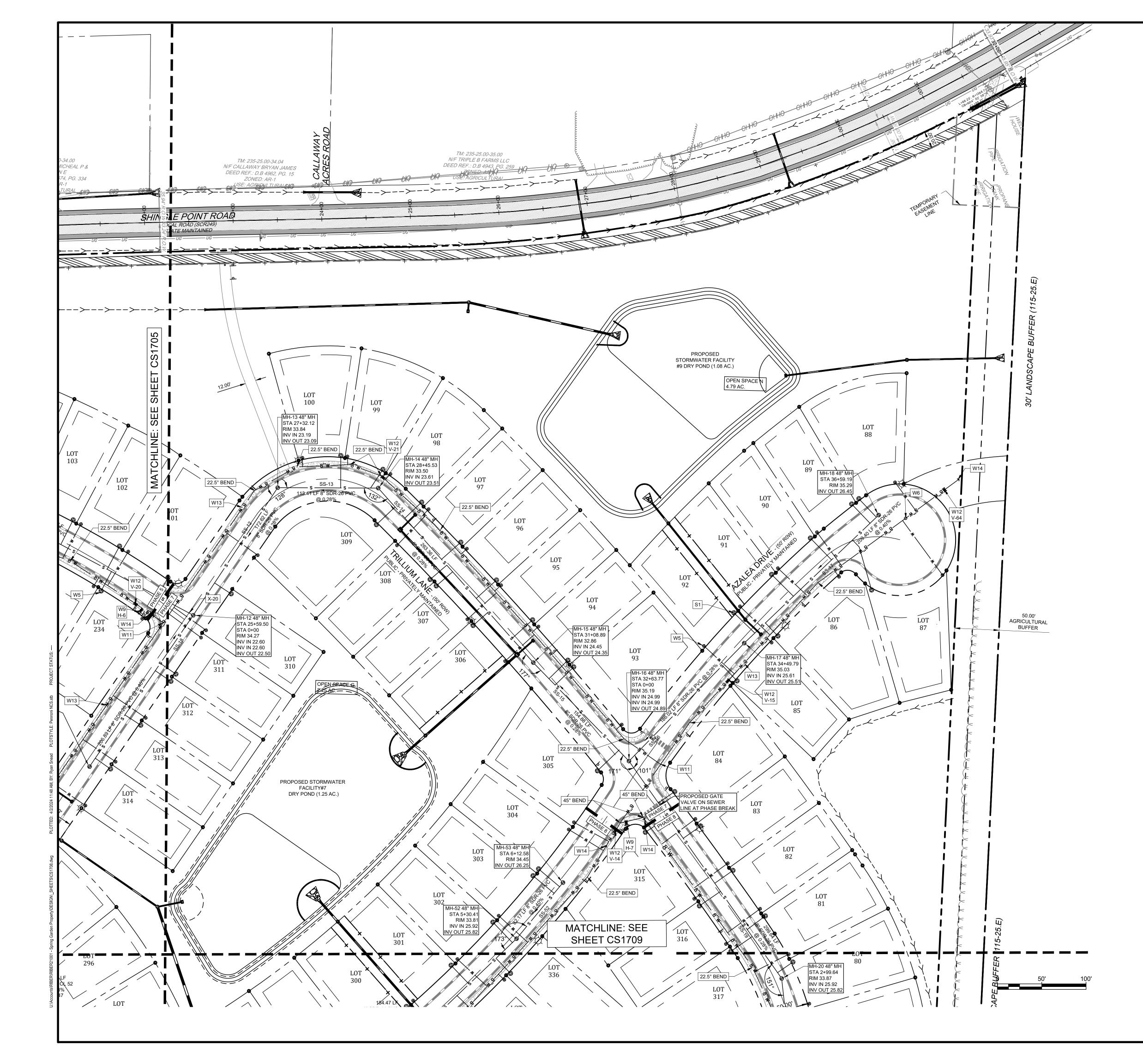
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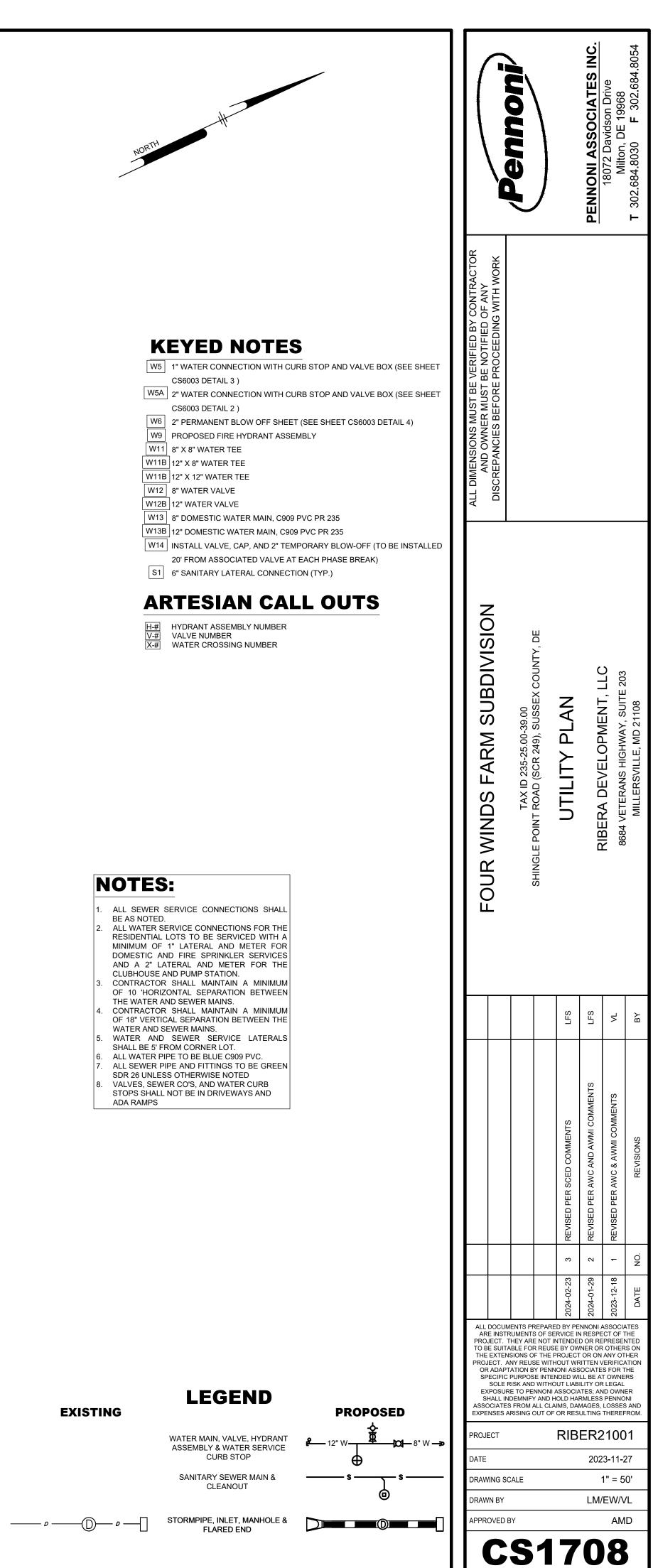




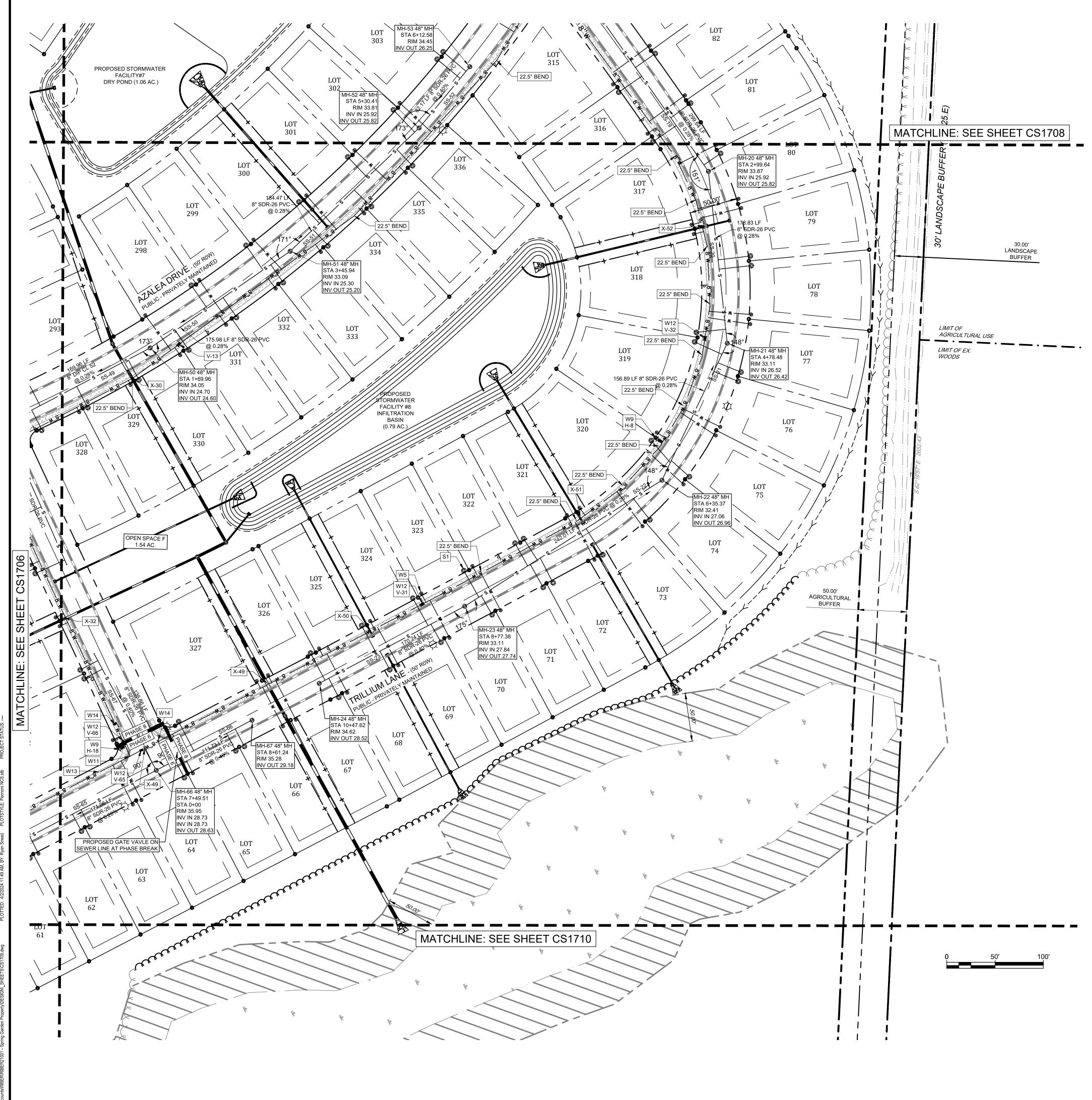


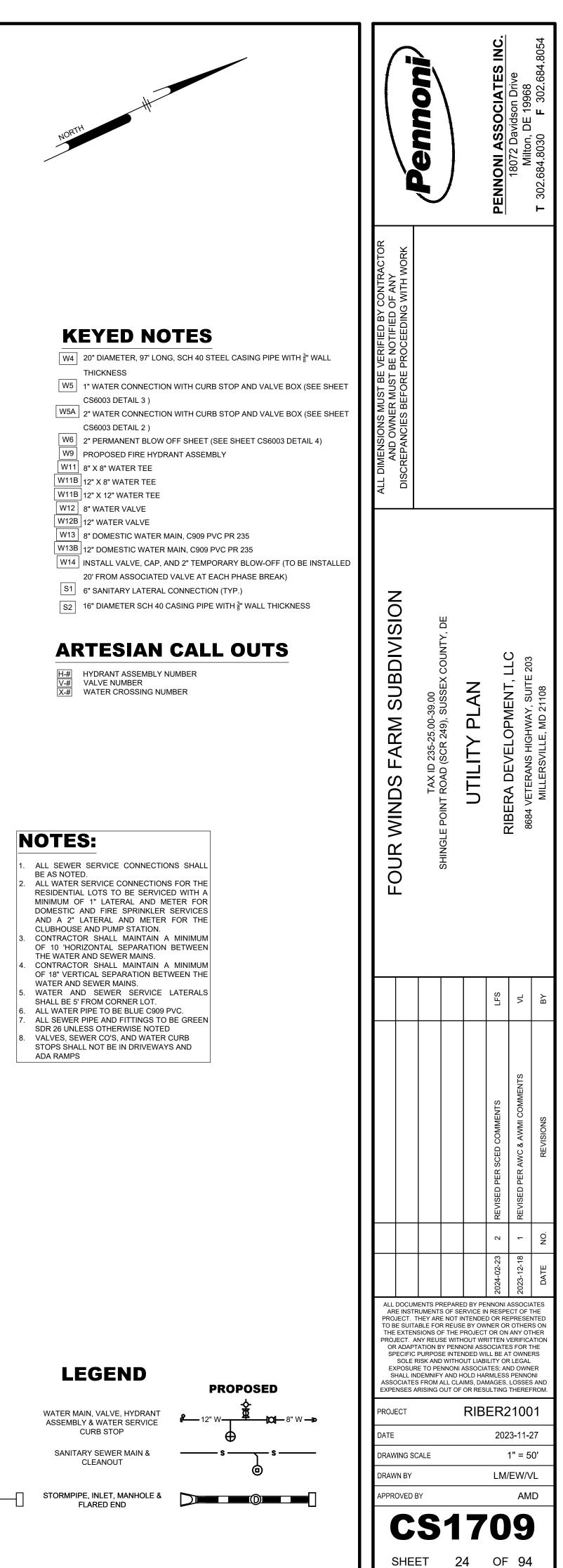






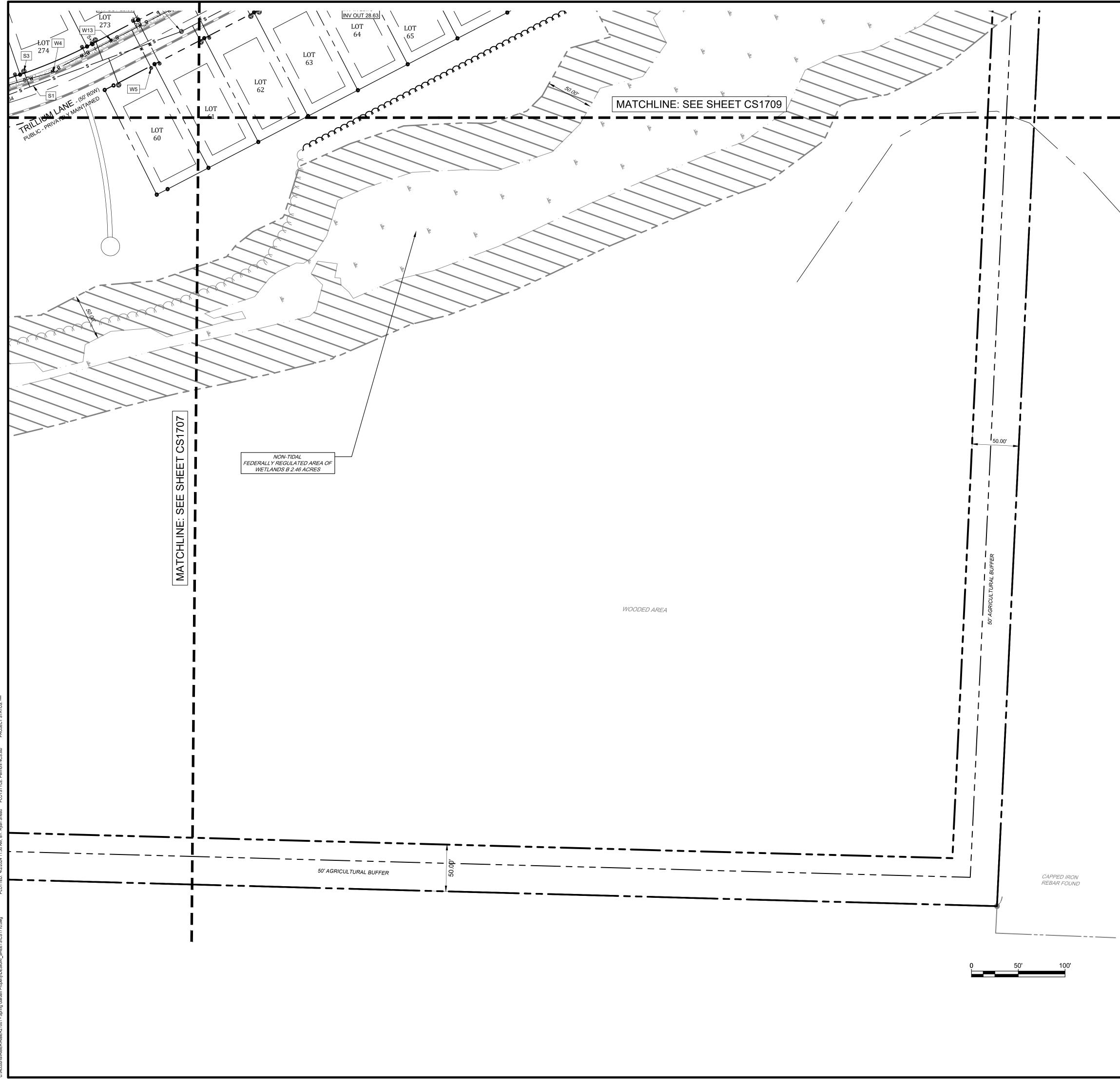
SHEET 23 OF 94



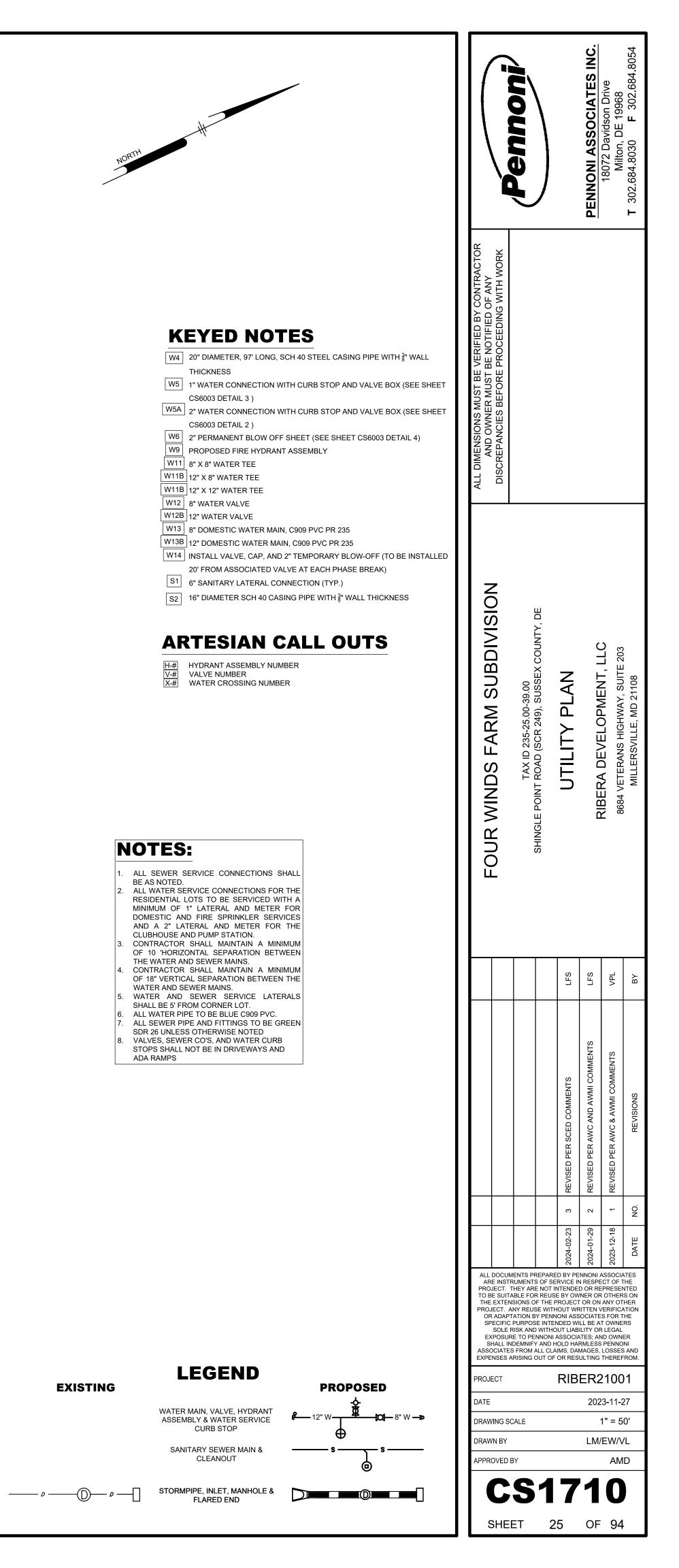


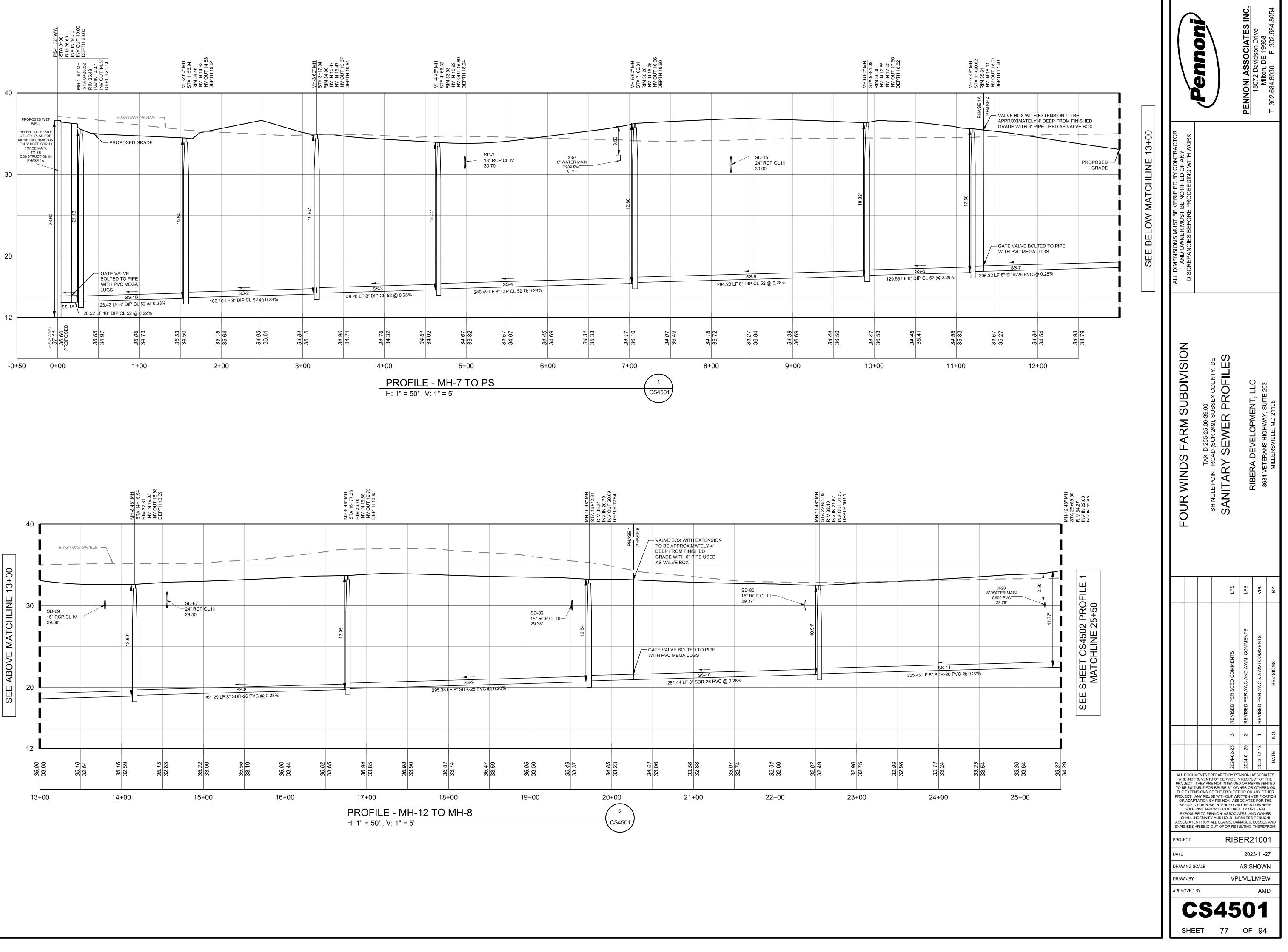


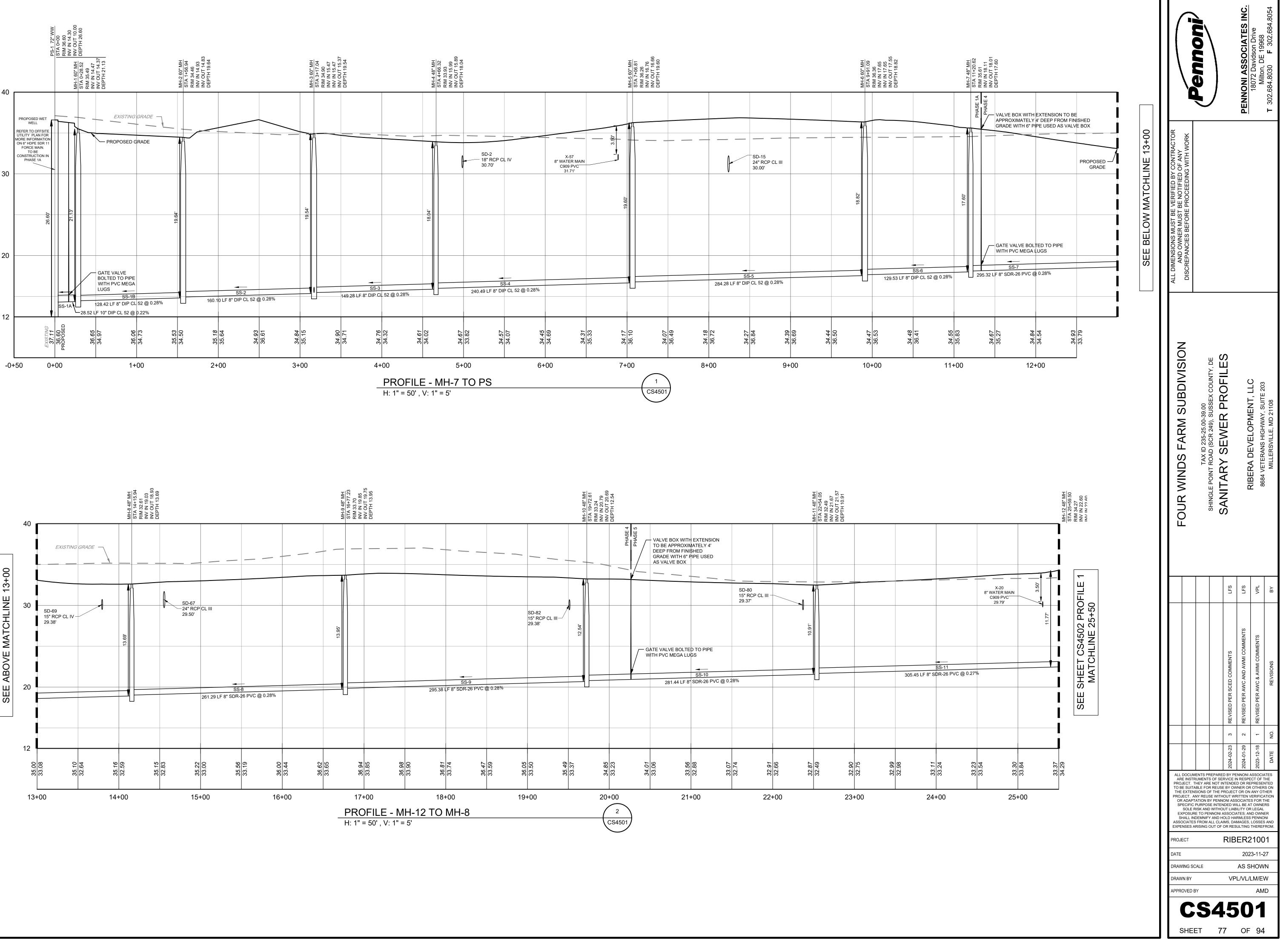
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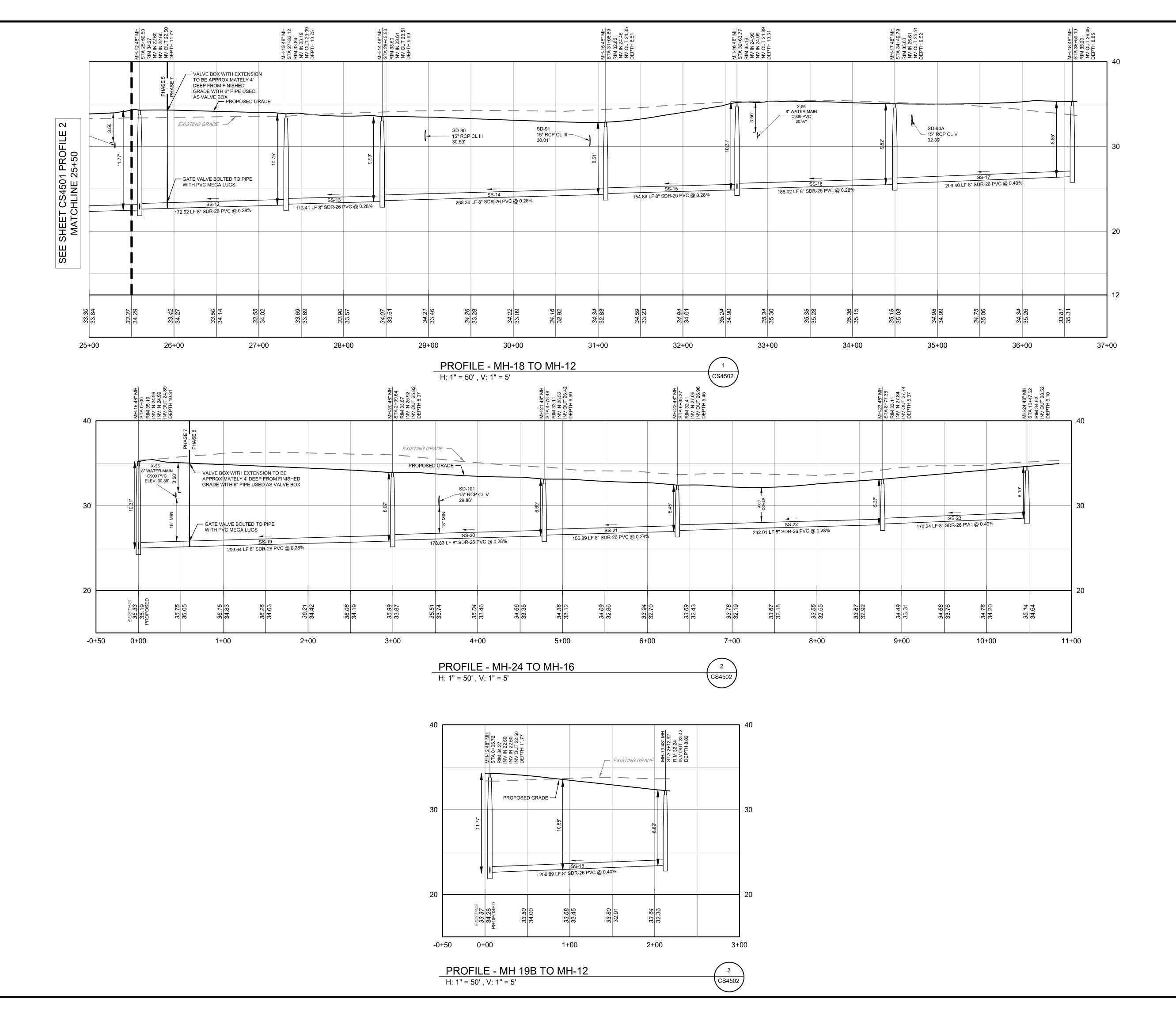


XIBER/RIBER21001 - Spring Garden Property/DESIGN\_SHEETS/CS1710.dwg PLOTTED: 4/2/2024 11:50 AM, BY: Ryan Snead PLOTSTYLE: Pennoni NCS.stb PROJECT ST/



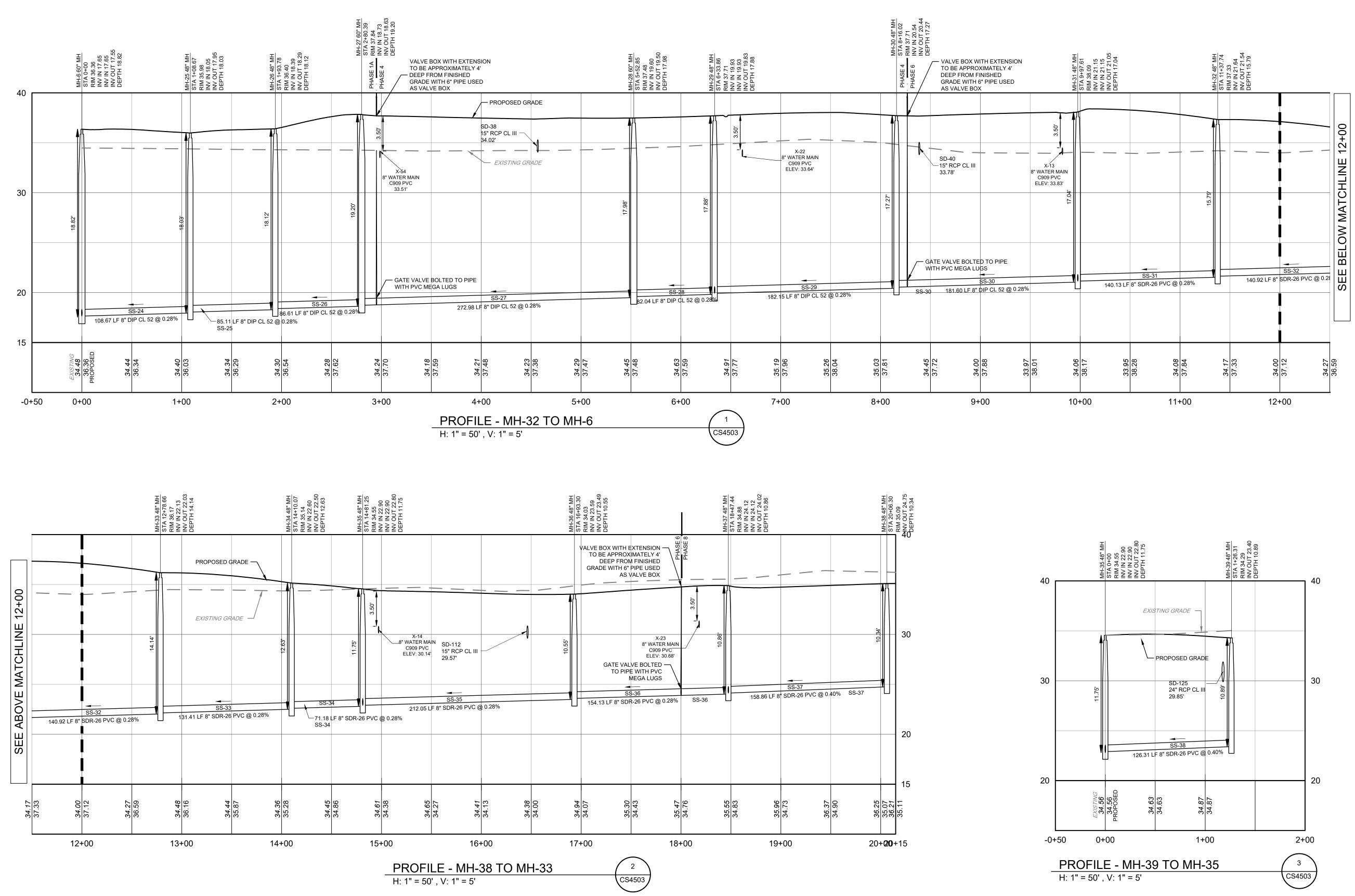




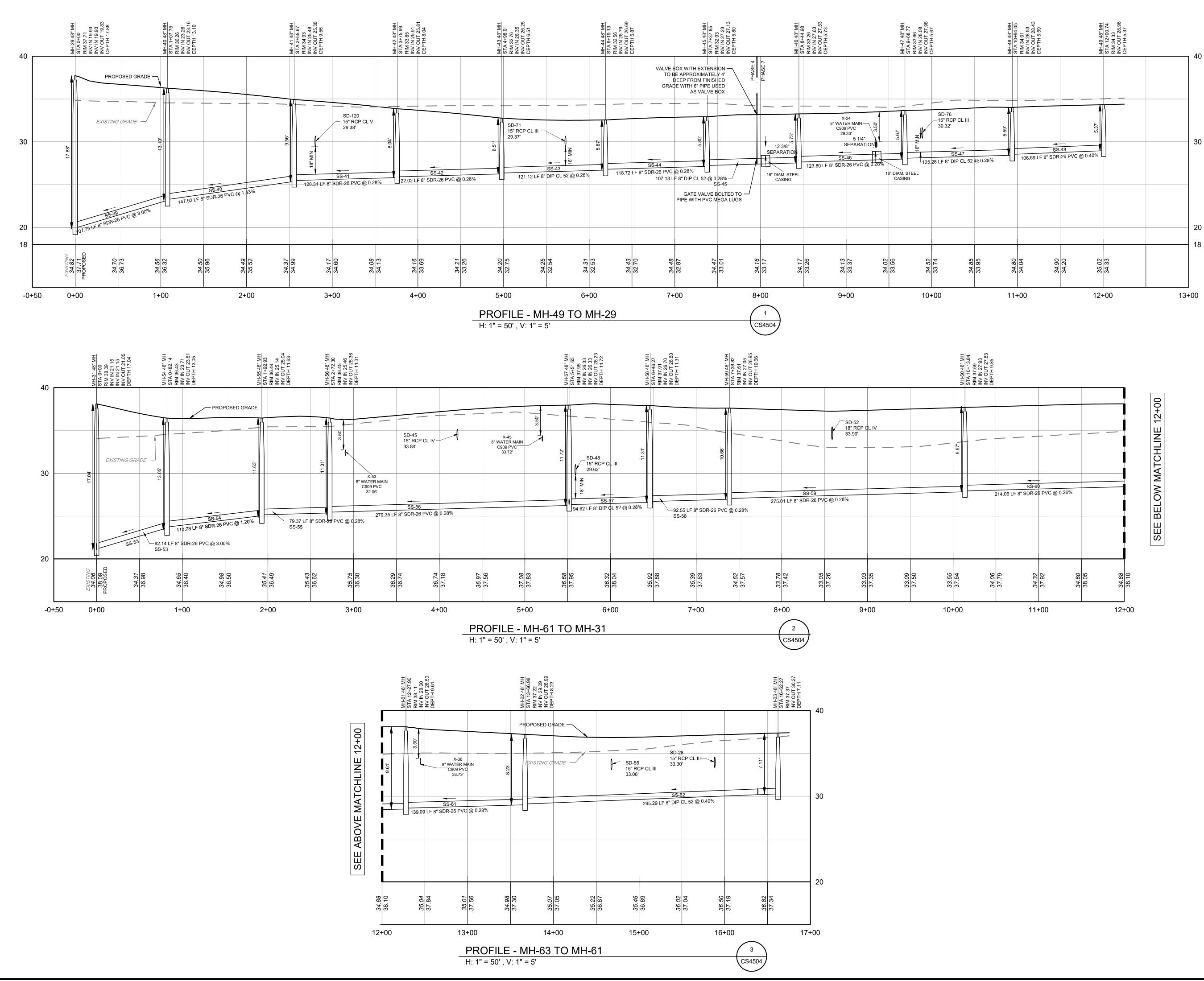


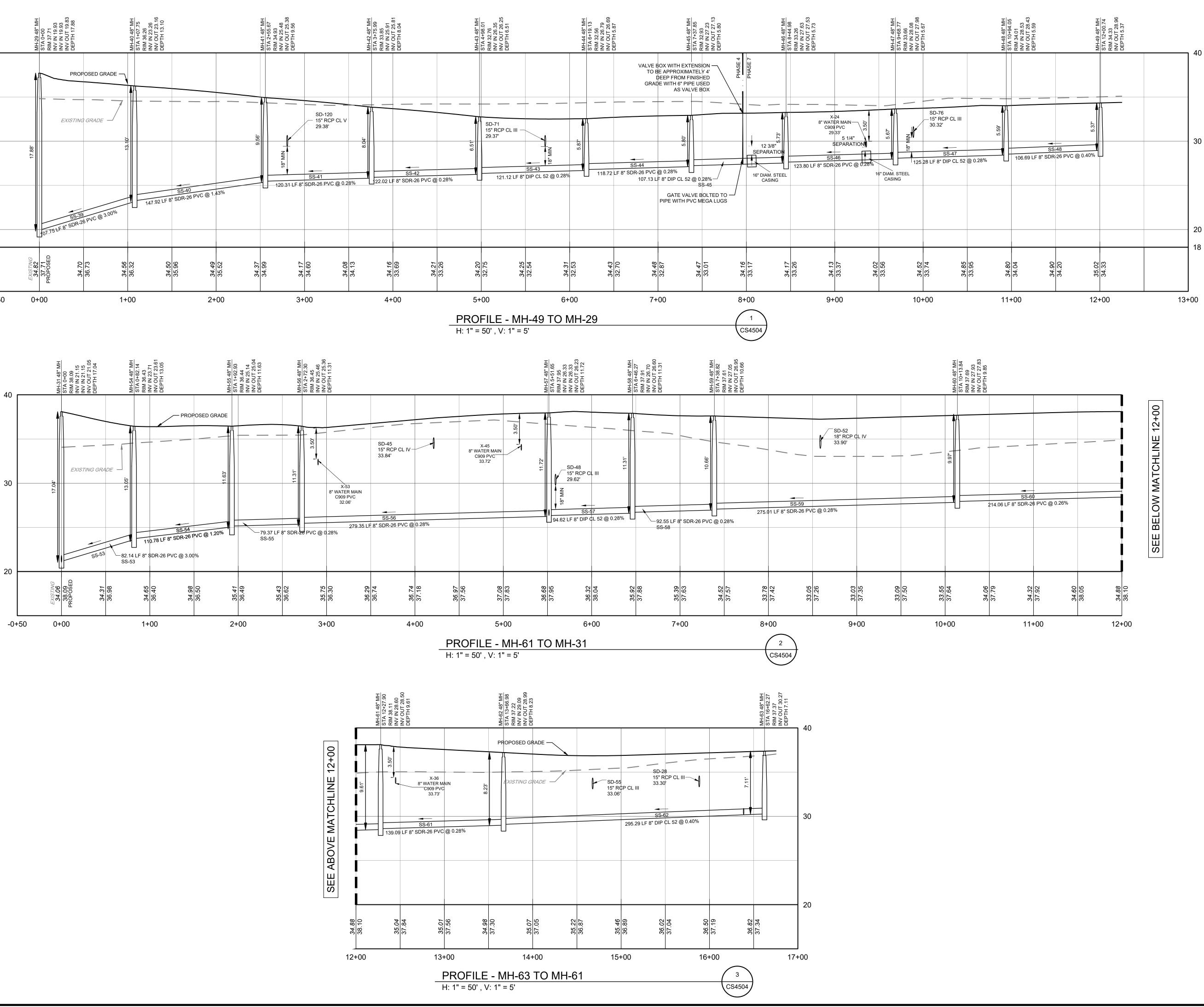


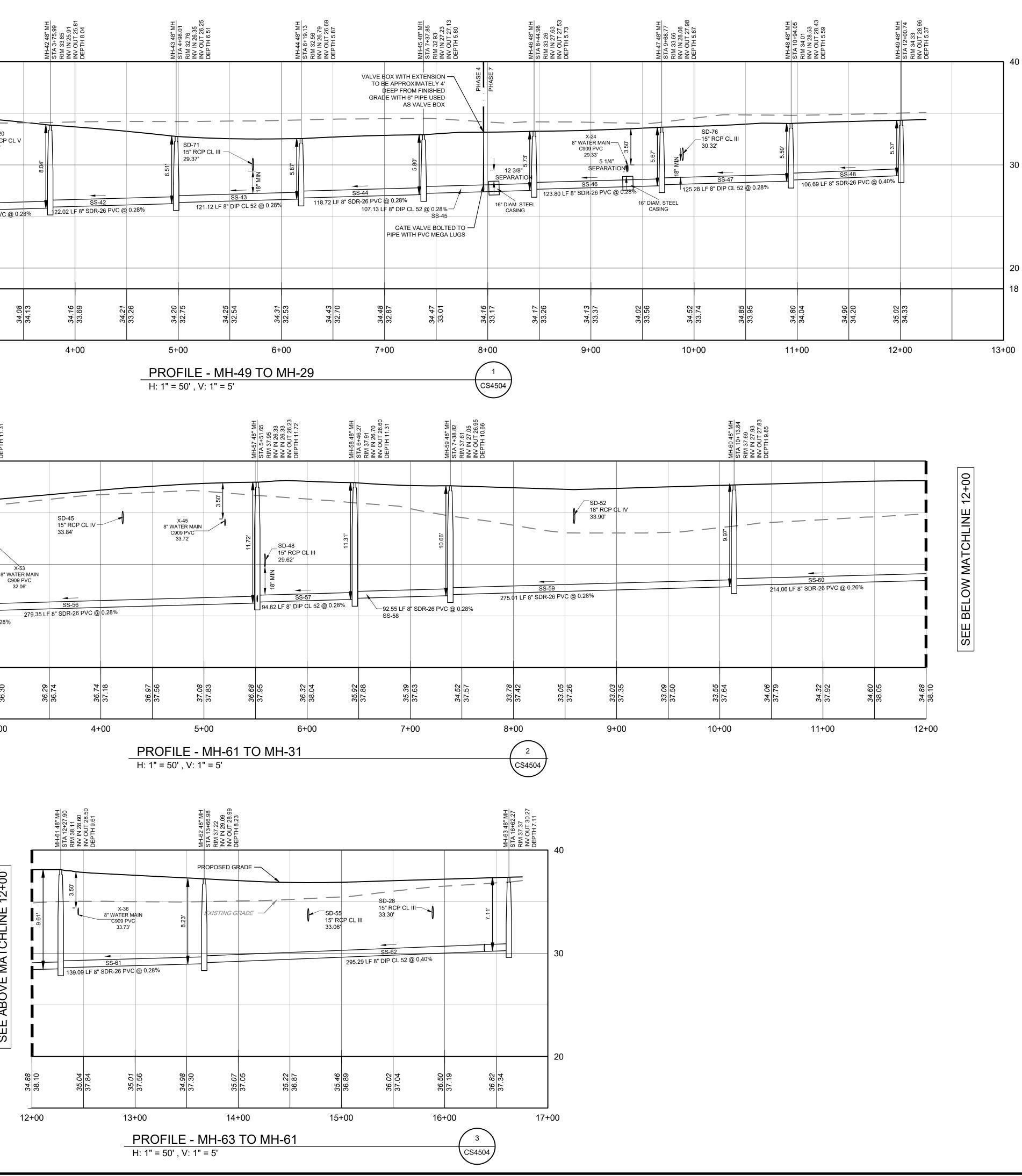
		Lenony			PENNONI ASSOCIATES INC.	18072 Davidson Drive Milton. DE 19968	T 302.684.8030 F 302.684.8054
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY	DISCREPANCIES BEFORE PROCEEDING WITH WORK						
		TAX ID 235-25.00-39.00	CANITADV CCK 249), SUSSEX COUNIY, DE			8684 VETERANS HIGHWAY, SUITE 203	MILLERSVILLE, MD 21108
				LFS	LFS	VPL	ВΥ
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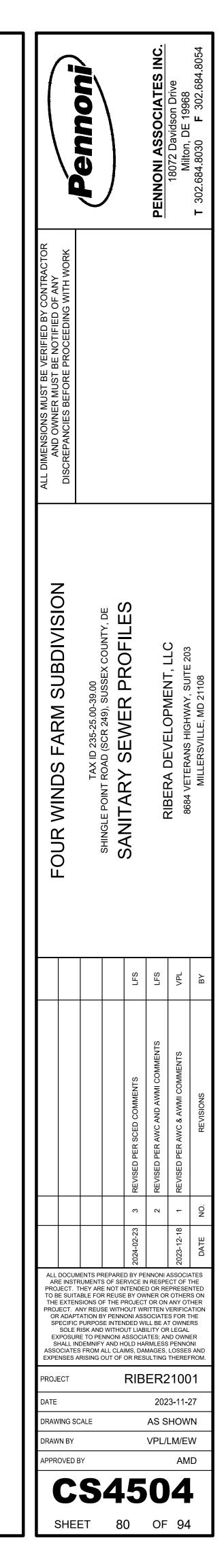


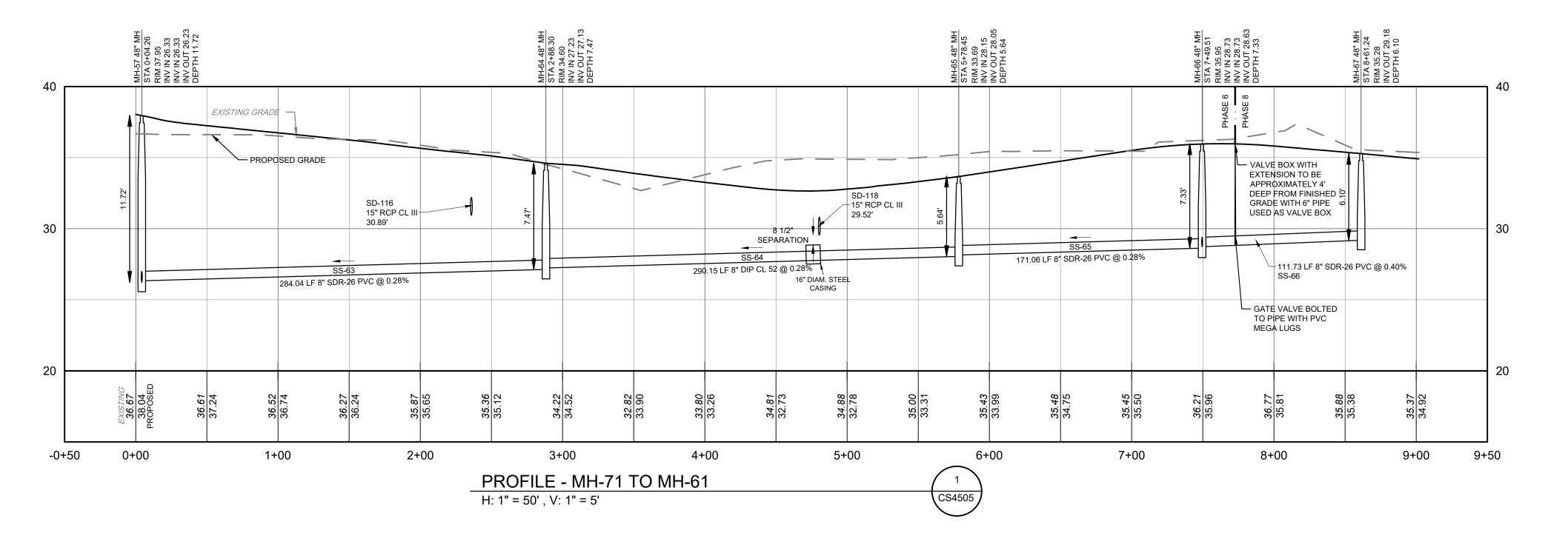


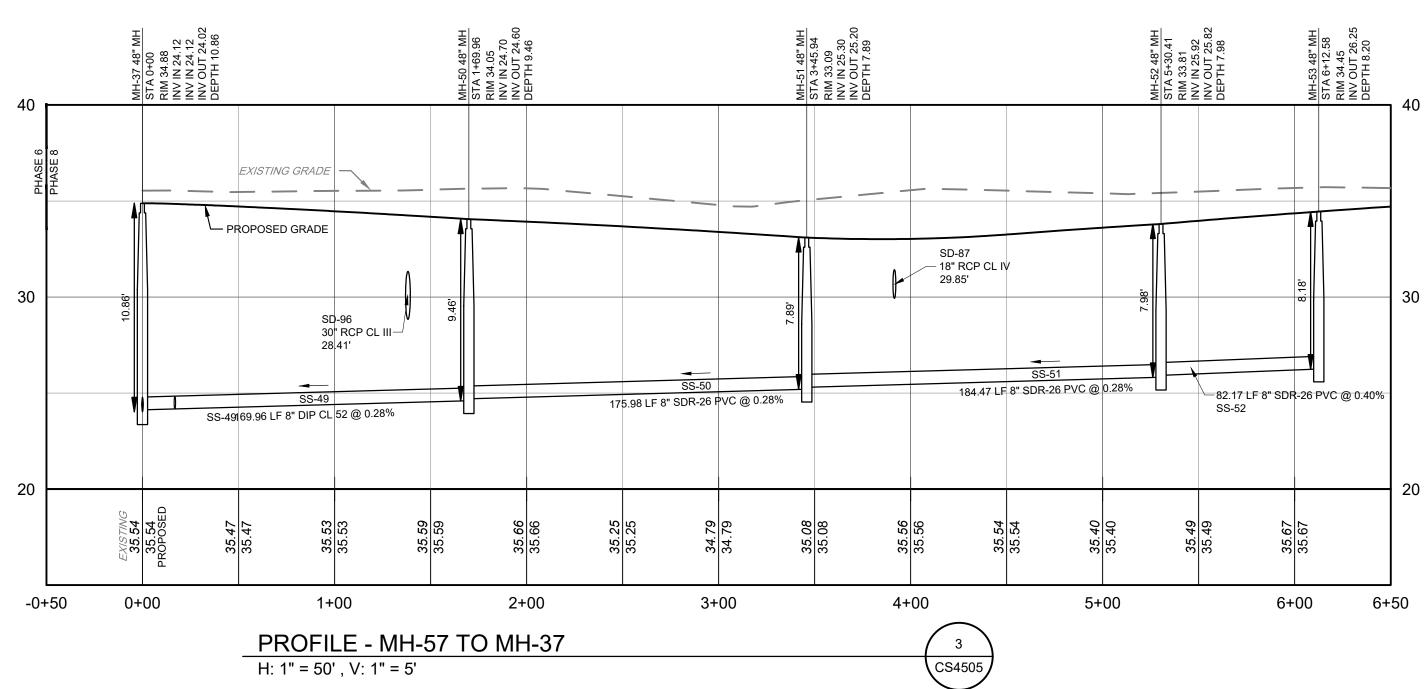


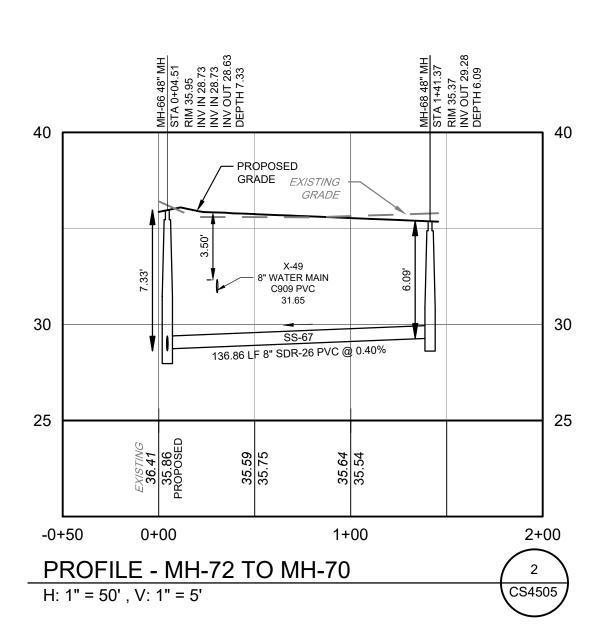




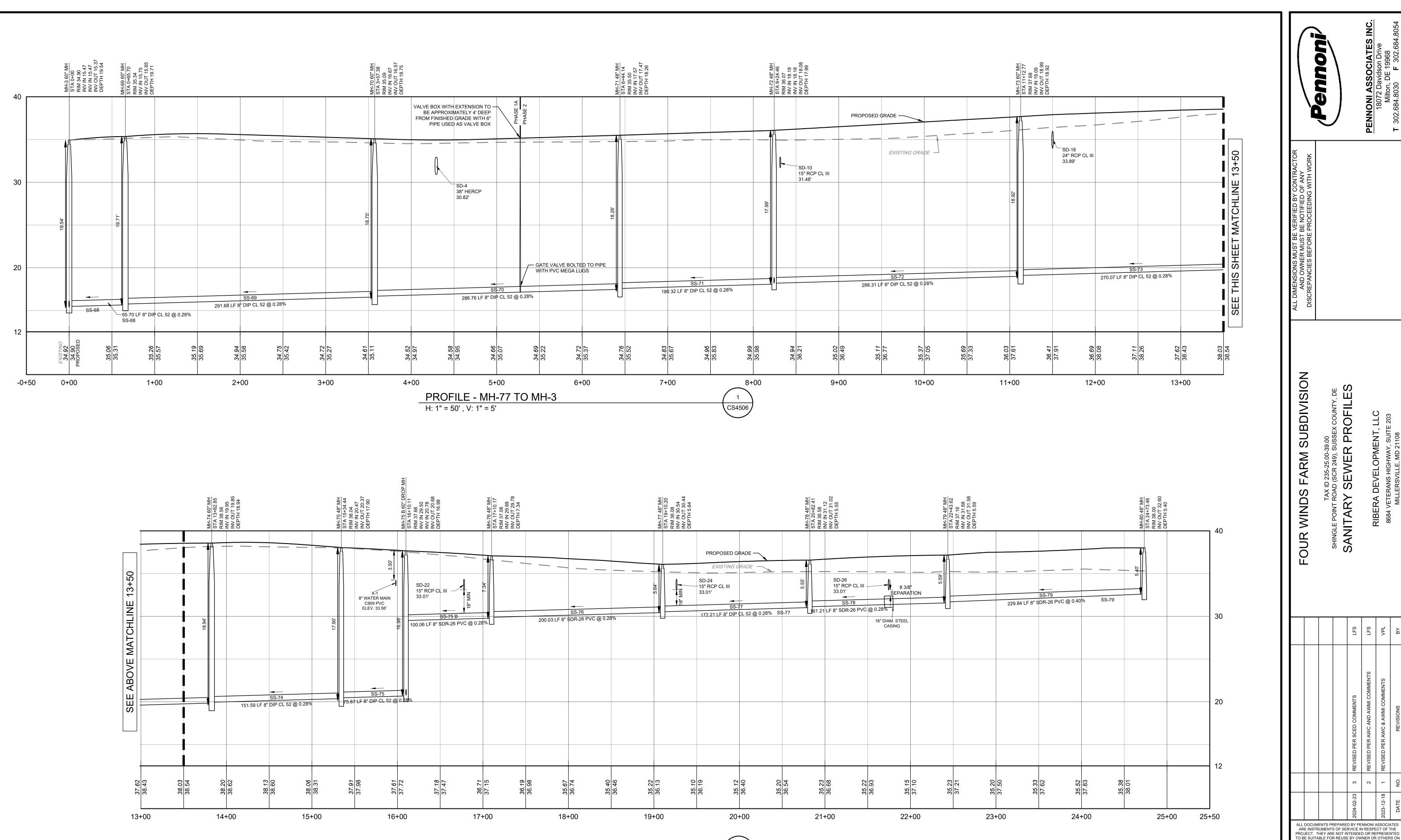


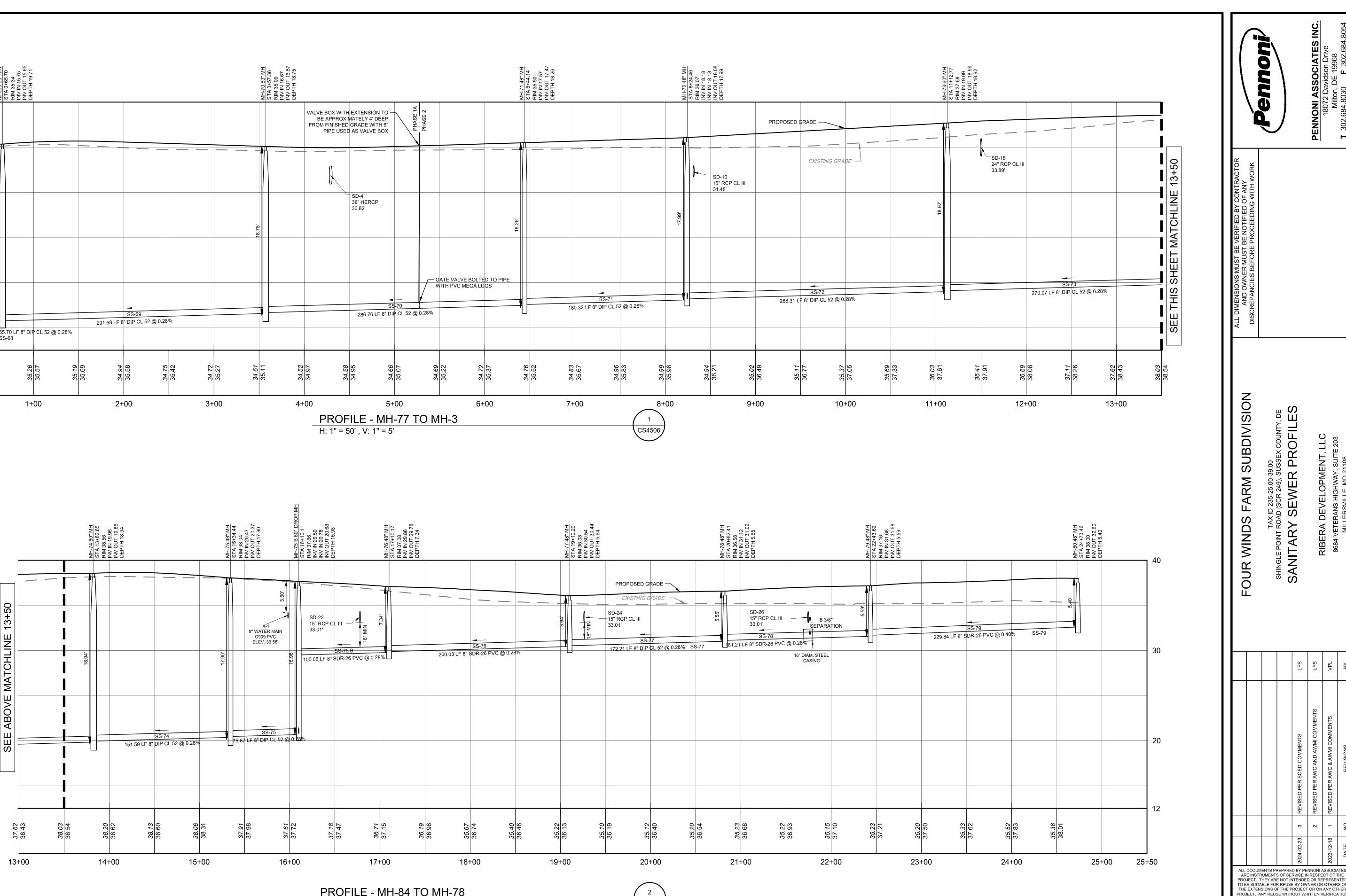






	rennon			<b>PENNONI ASSOCIATES INC.</b>	18072 Davidson Drive Milton. DE 19968	T 302.684.8030 F 302.684.8054
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK						
FOUR WINDS FARM SUBDIVISION	TAX ID 235-25.00-39.00 SHINGLE POINT ROAD (SCR 249) SLISSEX COLINTY DE				8684 VETERANS HIGHWAY SLITE 203	MILLERSVILLE, MD 21108
			LFS	LFS	VPL	ВҮ
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EXPENSES PROJECT DATE DRAWING S	CALE			AS S		
EXPENSES PROJECT DATE DRAWING S DRAWN BY APPROVED				VPL/I	LM/E AM	W





CS4506

PROFILE - MH-84 TO MH-78 H: 1" = 50' , V: 1" = 5'

PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM

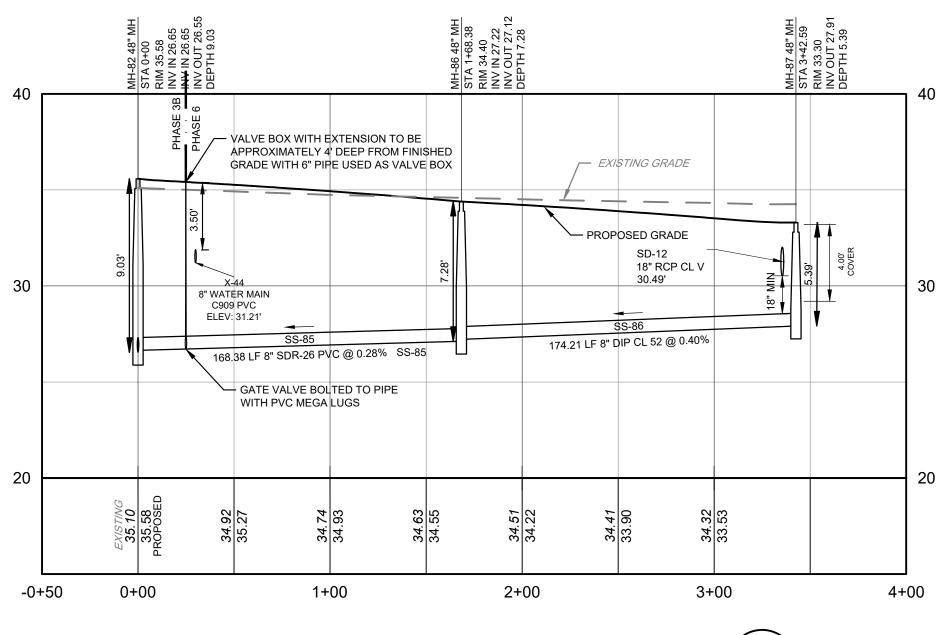
RIBER21001 PROJECT DATE 2023-11-27 DRAWING SCALE AS SHOWN DRAWN BY VPL/LM/EW APPROVED BY AMD **CS4506** 

SHEET 82 OF 94

- PROPOSED GRADE SD-8 18" RCP CL III -30.74' X-4 12" WATER MAIN C909 PVC 31.35' 30 SS-80 290.24 LF 8" SDR-26 PVC @ 2.72% 20 15 *EXISTING* 34.94 36.07 ROPOSEI <u>34.65</u> 35.31 <u>34.67</u> 34.98 <u>34.70</u> 35.64 0+00 -0+50 1+00

MH-72 48" MH STA 0+00 RIM 36.07 INV IN 18.18 INV IN 18.18 INV OUT 18.08 DEPTH 17.99

40



EXISTING GRADE

<u>34.70</u> 34.75

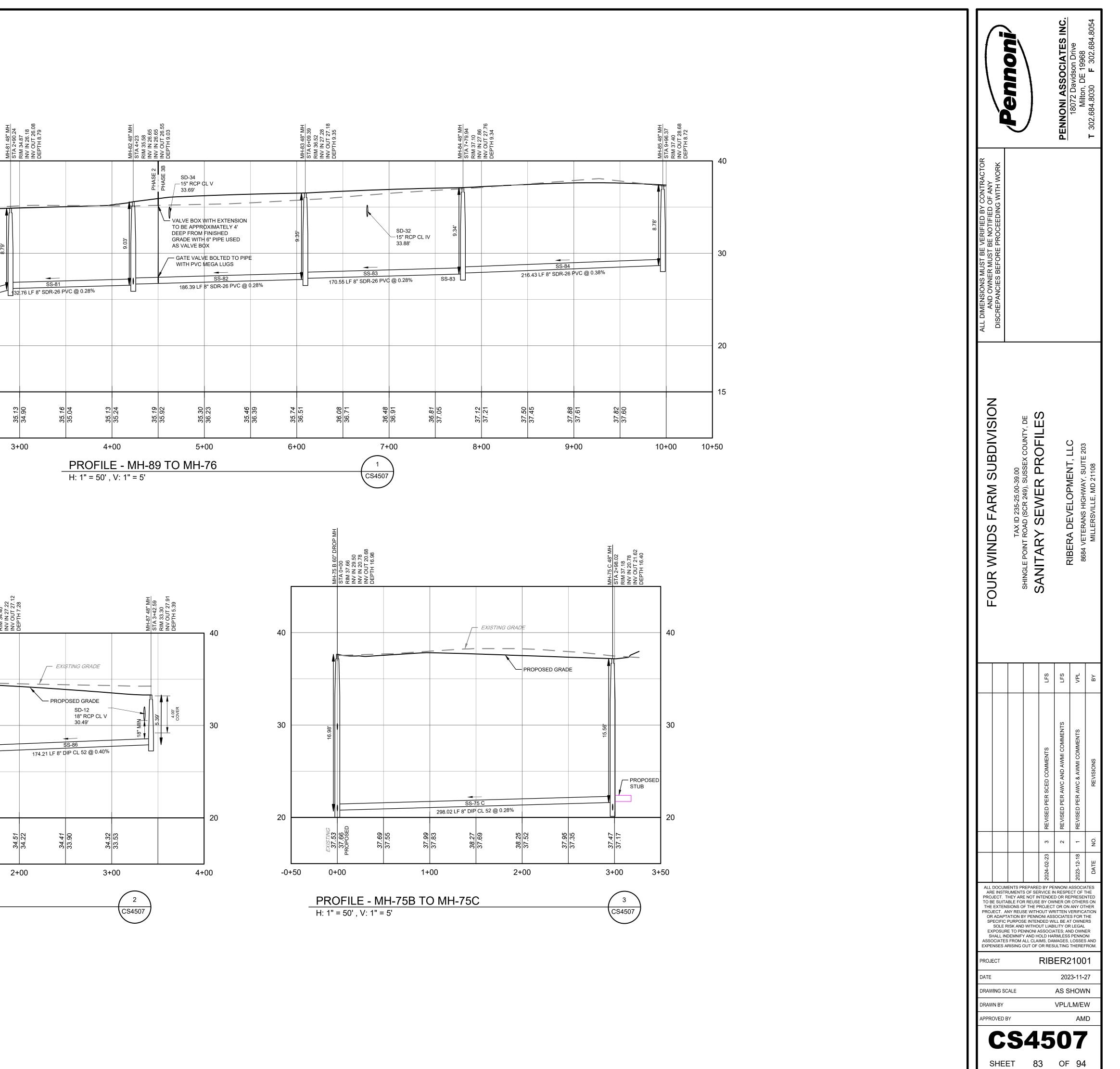
2+00

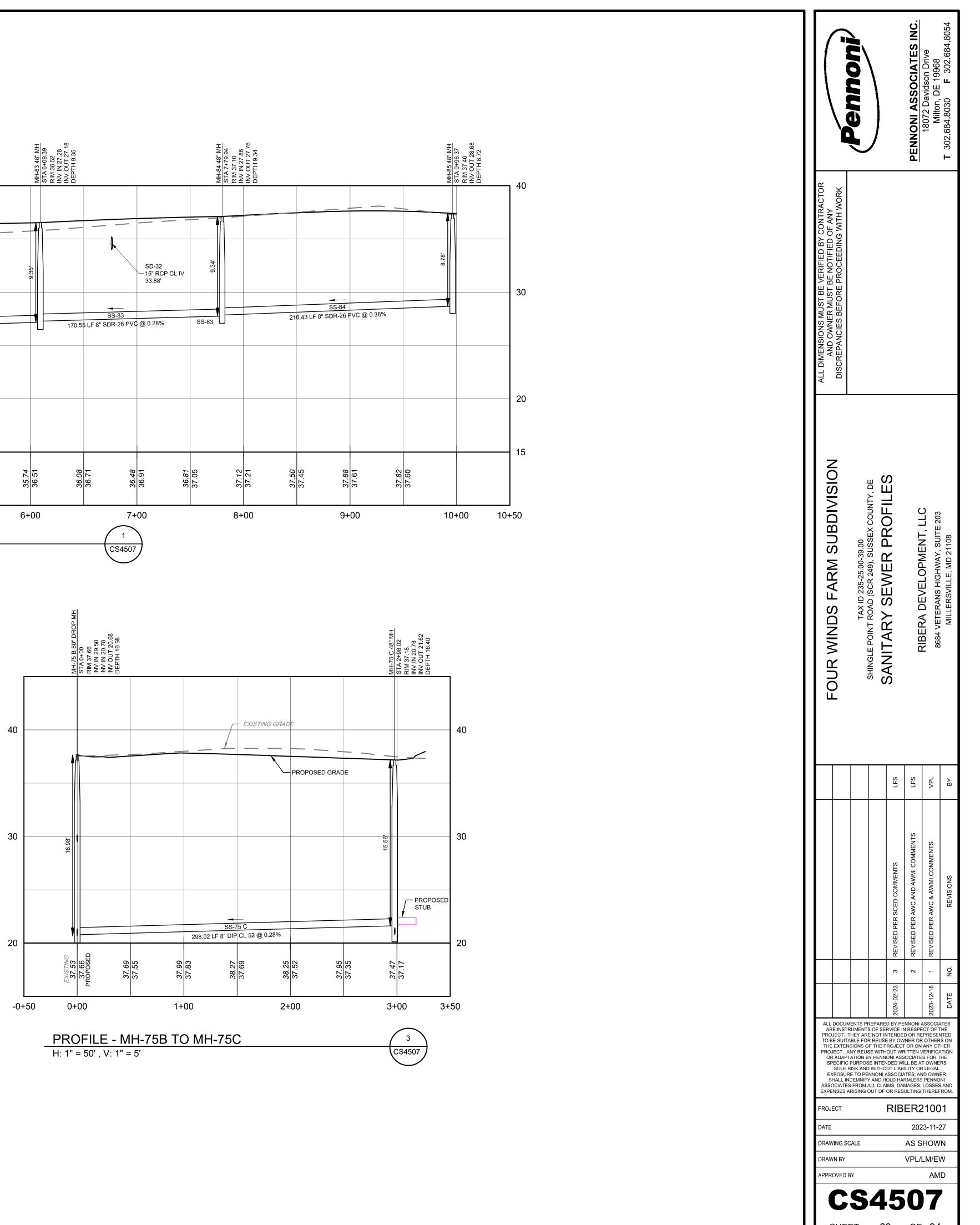
34.88 34.76

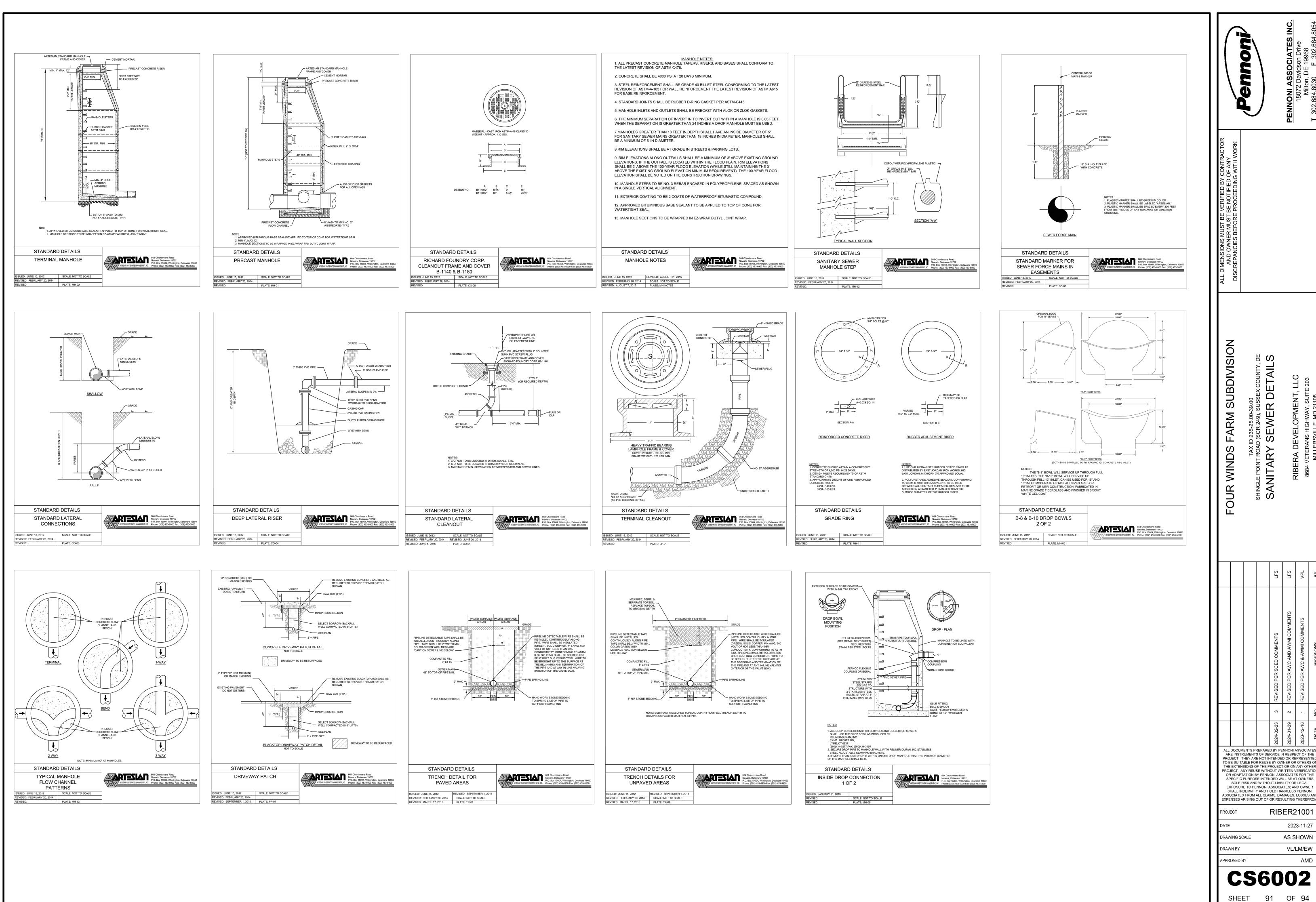
<u>35.13</u> 34.90

3+00

PROFILE - MH-91 TO MH-86 H: 1" = 50' , V: 1" = 5'







ANDAR	DETAILS		
	D LATERAL NOUT		664 Churchmans Road Newark, Delaware 19702 P.O. Box 15004, Wilmington, Delaware 19850 Phone: (302) 453-6900 Fax: (302) 453-5800
12	SCALE: NOT TO SCALE	7	
Y 20, 2014	REVISED: JUNE 20, 2016		
015	PLATE: CO-01	7	