

SITE DATA:

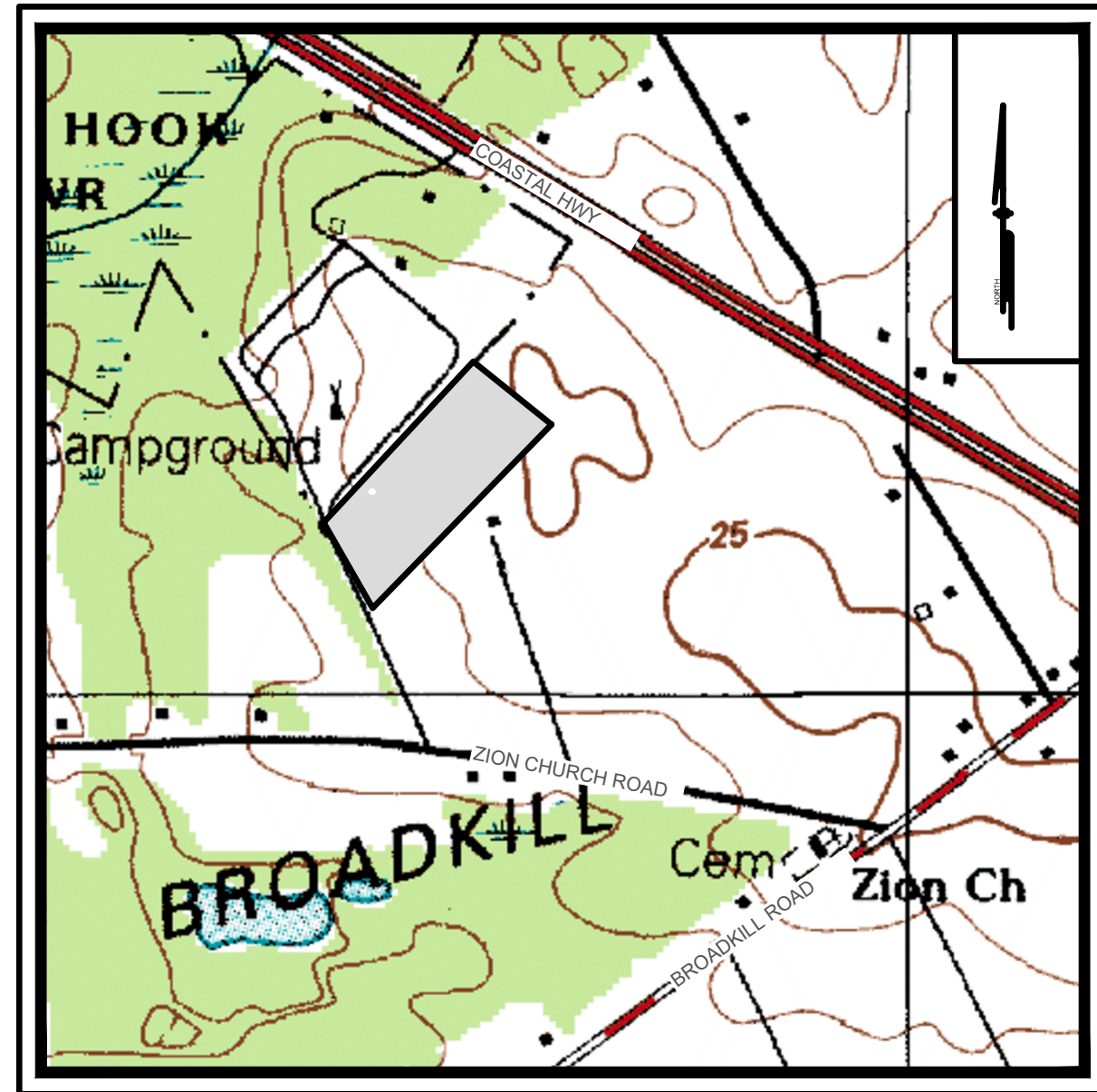
- TAX MAP NUMBERS : 235-8.00-35.06
DEED BOOK: 4499, PAGE: 304
- OWNER INFO: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH RD
MILTON, DE 19968
- SITE ADDRESS : 26633 ZION CHURCH RD
MILTON, DE 19968
BROADKILL HUNDRED
SUSSEX COUNTY
- PLUS: APPLICATION # 2022-07-10
- # BUILDINGS: 1
FOOTPRINT: 54,228 SF
GROSS BUILDING AREA: 103,518 SF
UNITS: 110
FLOORS: 1 AND 3
- EXISTING TOTAL ACREAGE: 8.50± ACRES
- CURRENT ZONING: AR-1 (3.50 AC.) (AGRICULTURAL RESIDENTIAL) AND
C-1 (5.00 AC.) (GENERAL COMMERCIAL)
- REQUIRED SETBACKS (B.R.L.): (PER 115-77.1 B-2)
FRONT: 60 FT
SIDE: 20 FT
REAR: 30 FT
- REQUIRED LOT SIZE: AR-1 (115-25 A-1)
STANDARD LOT WIDTH: 100'
STANDARD LOT DEPTH: 100'
STANDARD LOT AREA: 20,000' S.F.
C-1 (115-77.1 B-1)
STANDARD LOT WIDTH: 150'
STANDARD LOT DEPTH: 100'
STANDARD LOT AREA: 3 ACRES
- 2019 FUTURE LAND USE AREA: EXISTING DEVELOPMENT AREA
- BUILDING HEIGHT: MAX 42' (PER 115-77.1 B-3)
- PRESENT USE: CAMP GROUND/RECREATION
- PROPOSED USE: NURSING AND SIMILAR CARE FACILITIES
- SITE CALCULATIONS
BUILDING AREA: EX = 0.17 AC. PR = 1.24 AC.
PAVEMENT AREA: EX = 0.83 AC. PR = 1.68 AC.
OPEN SPACE GRASS AREA: EX = 7.50 AC. PR = 5.58 AC.
TOTAL AREA: EX = 8.50 AC. PR = 8.50 AC.
PERCENTAGE OF IMPERVIOUS COVER: 2.92 AC. (30.74%)
EXISTING IMPERVIOUS COVER: 1.00 AC. (10.53%)
- FORESTED AREA:
TOTAL AREA: 0.25 ± ACRES
IMPACTED: 0.12 ± ACRES
REMAINING: 0.13 ± ACRES
- UTILITY SERVICES:
SEWER PROVIDER: PUBLIC - ARTESIAN WASTEWATER MANAGEMENT, INC
WATER PROVIDER: PUBLIC - ARTESIAN WATER COMPANY, INC
- SECTION 89 - SOURCE WATER PROTECTION:
A) A SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR, GOOD, AND EXCELLENT" GROUNDWATER RECHARGE. THE PROPOSED IMPROVEMENTS WITHIN EXCELLENT GROUNDWATER RECHARGE AREA AT THE SITE, WHICH EXCEED 35% OR 60% OF THE EXCELLENT RECHARGE PORTION OF THE PARCEL, WILL BE REQUIRED TO MEET THE STANDARDS PROVIDED UNDER (89-7)(A) THROUGH (F).
TOTAL EXCELLENT GROUNDWATER AREA: 150,824 SF± (3.46 ACRES±)
IMPERVIOUS AREA: 44,733 SF± (1.03 ACRES±) (29.70%±)
B) SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA EXCEPT FOR A SMALL PORTION ALONG THE NORTH PROPERTY LINE WITHIN THE AR-1 ZONES AREA
- WETLANDS
TIDAL: 0.00 ACRES
NON-TIDAL: 0.00 ACRES
- WATERSHED: PRIMEHOOK CREEK
- PROPOSED DISCHARGE LOCATION: ON SITE INFILTRATION BASINS 6.66 A.C.±
235-8.00-14.00: 1.47 A.C.±
NORTH SIDE OF ZION CHURCH ROAD: 0.79 A.C.±
SOUTH SIDE OF ZION CHURCH ROAD: 0.71 A.C.±
TOTAL: 3.66 A.C.±
- FLOOD ZONE: FIRM NUMBER 1000500166K ZONE X, DATED MARCH 16 2015, UNSHADED AREA
- WATERSHED: PRIMEHOOK CREEK
- PARKING (ARTICLE XXII, OFF-STREET PARKING, CODE SECTION 115-162)
REQUIRED PARKING: 1 SPACE FOR EACH 4 PATIENT BEDS
SENIOR CARE FACILITY: TOTAL NO OF BEDS: 118 BEDS / 4 = 30 SPACES
PLUS 1 SPACE PER 2 EMPLOYEES ON THE LARGEST SHIFT
40 EMPLOYEES ON THE LARGEST SHIFT = 20 SPACES
OFF-STREET PARKING INCREASED BY 20% DUE TO LARGE SCALE USE
56(20%*47+10)=80 SPACES
74 SPACE
4 SPACES INCLUDED
- LOADING SPACE REQUIRED: 3 (PER 115-167)
- LOADING SPACE PROVIDED: 3
- 2020 STATE INVESTMENT AREA: LEVEL 4
- FIRE DISTRICT: MILTON FIRE CO.
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES: SITE BENCHMARK: BENCHMARK #1 - CONCRETE MONUMENT
LONGITUDE: 75.283° W
LATITUDE: 38.807° N
- DATUM: HORIZONTAL = NAD83
VERTICAL = NAVD88
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- HENLOPEN TID: NOT INCLUDED
- STATE TAX DITCH AREAS AND RIGHT OF WAY LIMITS: NOT INCLUDED

EAGLES NEST SENIOR CARE FACILITY CONSTRUCTION SET

THE POINTE AT PRIME HOOK
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968

PREPARED FOR:
OWNER/DEVELOPER
EAGLES NEST FELLOWSHIP CHURCH, INC.

26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968



LOCATION MAP
Scale: 1" = 600'



SOILS MAP
Scale: 1" = 600'

PREPARED BY:
PENNONI ASSOCIATES INC.



18072 Davidson Drive
Milton, DE 19968
T 302.684.8030
F 302.684.8054

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):

OWNER/DEVELOPER
EAGLES NEST FELLOWSHIP CHURCH, INC.
1603 WEST 13TH STREET
26633 ZION CHURCH ROAD - (SCR235)
(302) 684-3149

ENGINEER/SURVEYORS
PENNONI ASSOCIATES INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
(302) 684-8030

LANDSCAPE ARCHITECT
PENNONI ASSOCIATES INC.

SCHOOL DISTRICT
CAPE HENLOPEN(6)

FIRE DISTRICT
MILTON (85)

POSTAL DISTRICT
MILTON (19968)

WATER UTILITY
PUBLIC - ARTESIAN WATER COMPANY, INC

SEWER UTILITY
PUBLIC - ARTESIAN WASTEWATER MANAGEMENT, INC

ELECTRIC
DELMARVA ELECTRIC COOP

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BUILDING
		FULL DEPTH PAVEMENT
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		PERMANENT EASEMENT
		FENCE
		POWER, UTILITY POLE
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		SITE, MAIL BOX
		SITE, TRAFFIC SIGN
		SPOT ELEVATION
		STORMPIPE, INLET, MANHOLE, & FLARED END
		MINOR CONTOUR
		MAJOR CONTOUR
		LIGHT POLE
		MARKING, HANDICAP PARKING
		ROAD CENTERLINE
		DETECTABLE WARNING STRIP
		SHARED USE PATH (ASPHALT)
		CONCRETE
		TREELINE
		SWALE
		LANDSCAPE BUFFER
		POWER, GUY WIRE
		POWER OVERHEAD LINE

Sheet List Table

Sheet Number	Drawing Number	Sheet Title
1	RP0001	COVER SHEET
2	RP1001	RECORD PLAN KEY SHEET
3	RP1002	RECORD PLAN

Sheet List Table

Sheet Number	Drawing Number	Sheet Title
1	CS0001	COVER SHEET
2	CS0201	EXISTING CONDITIONS
3	CS1501	GRADING PLAN
4	CS1701	UTILITY PLAN
5	CS2001	LANDSCAPE PLAN
6	CS2002	LANDSCAPE PLAN NOTES & DETAILS
7	CS2201	LINGTING PLAN, NOTES & DETAILS
8	CS4001	STORM SEWER PROFILES
9	CS4501	SANITARY SEWER AND WATER PROFILES
10	CS6001	SITE DETAILS
11	CS6002	UTILITY DETAILS
12	CS6003	WATER DETAILS
13	CS6004	GRADING AND DRAINAGE DETAILS

Sheet List Table

Sheet Number	Drawing Number	Sheet Title
1	CS8000	COVER SHEET
2	CS8001	PRE-CONSTRUCTION SITE STORM WATER MANAGEMENT PLAN
3	CS8002	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
4	CS8003	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN AND NOTES
5	CS8004	POST CONSTRUCTION SITE STORMWATER MANAGEMENT PROFILES
6	CS8501	CONSTRUCTION SITE DETAILS AND NOTES
7	CS8502	CONSTRUCTION SITE DETAILS AND NOTES

SOILS

TYPE	DESCRIPTION	HYDROLOGIC SOIL
FmB	FORT MOTT LOAMY SAND, 2 TO 5 PERCENT SLOPES	A
DnA	DOWNER LOAMY SAND, 0 TO 2 PERCENT SLOPES	A
DnB	DOWNER LOAMY SAND, 2 TO 5 PERCENT SLOPES	A

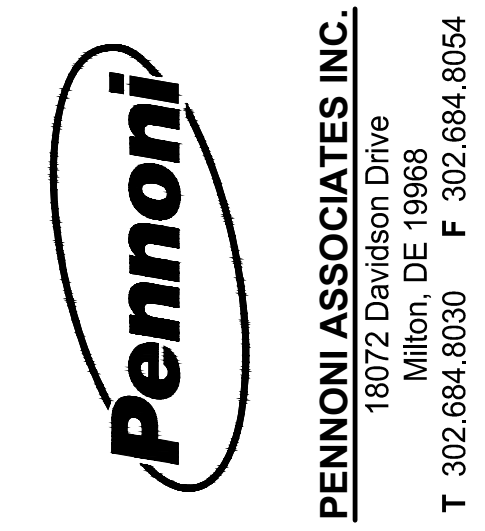
THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 1000500166K, MAP REVISED MARCH 16, 2015, ZONE X, UNSHADED. RATE MAP NUMBER 10001C0167K, MAP REVISED MARCH 16, 2015, ZONE X, UNSHADED.

OWNER CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: _____ DATE: _____
EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD,
MILTON, DE 19968
(302) 684-3149
PASTORJOHN@EAGLESNEST.CH

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: _____ DATE: _____
ALAN DECKTOR, PE (DE PE#17771)
PENNONI ASSOCIATES, INC
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054
ADECKTOR@PENNONI.COM



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
THE POINTE AT PRIME HOOK
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY
COVER SHEET
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY
3	2024-06-12	REVISED PER ARTESIAN COMMENTS	RWS
2	2024-06-10	REVISED PER ARTESIAN COMMENTS	RWS
1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED SHALL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: ENFCX21001
DATE: 2023-7-18
DRAWING SCALE: AS NOTED
DRAWN BY: TOU
APPROVED BY: AMD

CS0001
SHEET 1 OF 16

PLOTTED: 6/20/2024 1:45 PM, BY: Ryan Bland, PROJECT: 2022-07-10, PROJECT STATUS: —, U:\Account\BPC\BPC\021001 - Eagles Nest Fellowship Church - Senior Facility - SHEET CS0001.dwg

UTILITY NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- THIS PROJECT IS SUBJECT TO INSPECTION AND APPROVAL BY REPRESENTATIVES OF THE SUSSEX COUNTY CONSERVATION DISTRICT.
- UTILITIES ENTER THE PREMISES FROM PUBLIC STREETS OR RIGHTS OF WAY.
- PROPOSED UTILITY SERVICE AND CONNECTIONS (SANITARY SEWERS) SUBJECT TO FINAL DESIGN AND APPROVAL.
- THE ROOF DRAINS FOR THE PROPOSED FACILITY WILL BE INSTALLED AND WILL DISCHARGE VIA BY SURFACE FLOW OR UNDERGROUND CONNECTIONS TO THE STORM SYSTEM AND DRAIN TO THE EXISTING INFILTRATION BASIN.
- ALL SEWER SERVICE CONNECTIONS SHALL BE 8" UNLESS OTHERWISE NOTED.
- ALL WATER SERVICE CONNECTIONS TO BE INSTALLED AS NOTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- THE PROPOSED FACILITY WILL BE PROTECTED WITH AUTOMATIC SPRINKLERS IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 13. NO OBJECTS, STANDS, DISPLAYS OR OTHER IMPEDIMENTS (PARKING) SHALL BE LOCATED WITHIN THE DEMARCATION AREA.
- FIRE LANE NOTATION
 - THE FIRST WORD "FIRE" SHALL BE CLOSEST TO A DRIVER APPROACHING SUCH MARKING.
 - EACH WORD SHALL BE AT LEAST TEN FEET (10') IN HEIGHT AND 20 FEET IN WIDTH.
 - THE DISTANCE BETWEEN THE WORD "FIRE" AND THE WORD "LANE" SHALL BE NO GREATER THAN 30 FEET.
 - THE DISTANCE FROM THE WORD "LANE" TO THE BEGINNING OF THE SECOND SET OF ROADWAY MARKINGS WHERE THE WORD "FIRE" BEGINS SHALL BE NO GREATER THAN 100 FEET.
- RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUTOFF VALVE (V-2) AND (V-1) FOR THE DOMESTIC SERVICE.
- PROPOSED ELECTRIC AND TELECOMMUNICATION BUILDING CONNECTIONS TO BE DETERMINED.

SITE INFORMATION:

SITE ADDRESS:
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968

OWNER/DEVELOPER:
EAGLES NEST FELLOWSHIP CHURCH, INC.
MILTON, DELAWARE 19968
26633 ZION CHURCH ROAD - (SCR235)

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

NOTES

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION. WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- THIS STRUCTURE WILL BE PROTECTED WITH AUTOMATIC SPRINKLERS IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 13.
- NO OBJECTS, STANDS, DISPLAYS, OR OTHER IMPEDIMENTS (PARKING) SHALL BE LOCATED WITHIN THE DEMARCATION AREA.

FIRE MARSHAL NOTES:

- SITE NAME/ADDRESS:** EAGLES NEST SENIOR CARE FACILITY
26633 ZION CHURCH ROAD
MILTON, DE 19968
SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION:**
CURRENT OWNER/DEVELOPER: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD
MILTON, DE 19968
TAX MAP/PARCEL #: 335-8.00-35.06
GROSS ACREAGE: 9.50+ ACRES
- INTENDED USE:** NURSING AND SIMILAR CARE FACILITIES
- WATER SUPPLIER:** PUBLIC - ARTESIAN WATER COMPANY INC
- MAXIMUM BUILDING HEIGHT:** 42' (PER 115-77.1 B-3)
- AUTOMATIC SPRINKLERS:** YES
- FIRE DISTRICT:** MILTON FIRE CO.
- CONSTRUCTION TYPE:** TYPE II (NONCOMBUSTIBLE)
- BUILDING PERIMETER (2,196'):**
ACCESS REQUIRED 75% OF BUILDING: 1,647'
PROVIDED: 2,147'
- BUILDING PERIMETER (2,196'):**
FIRE LANE REQUIRED 35% OF BUILDING: 769'
PROVIDED: 842'

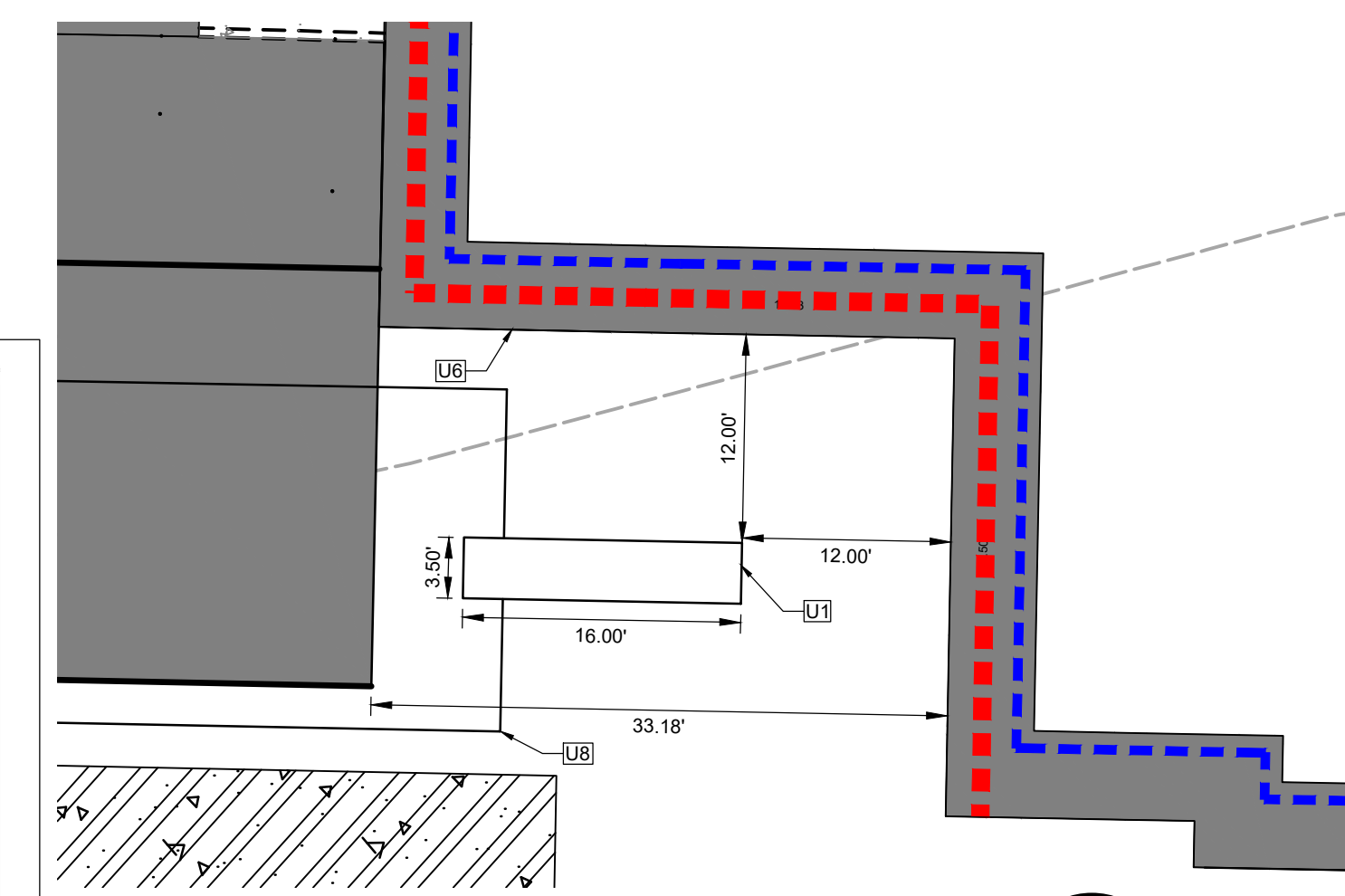
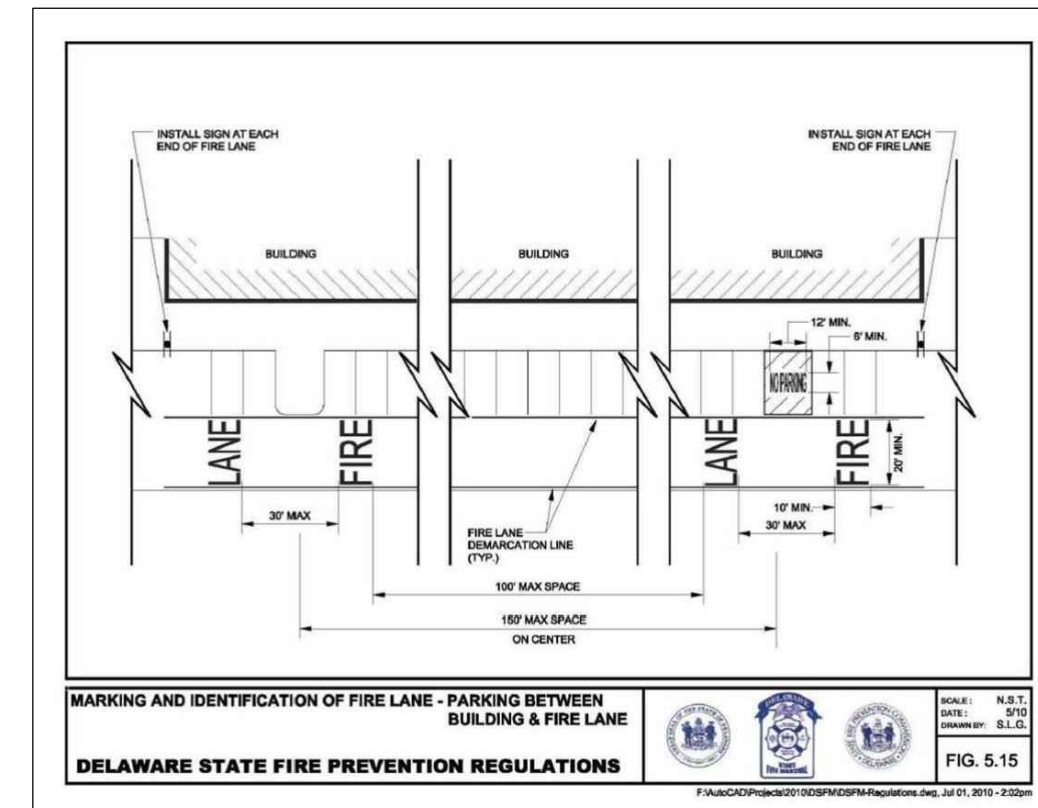
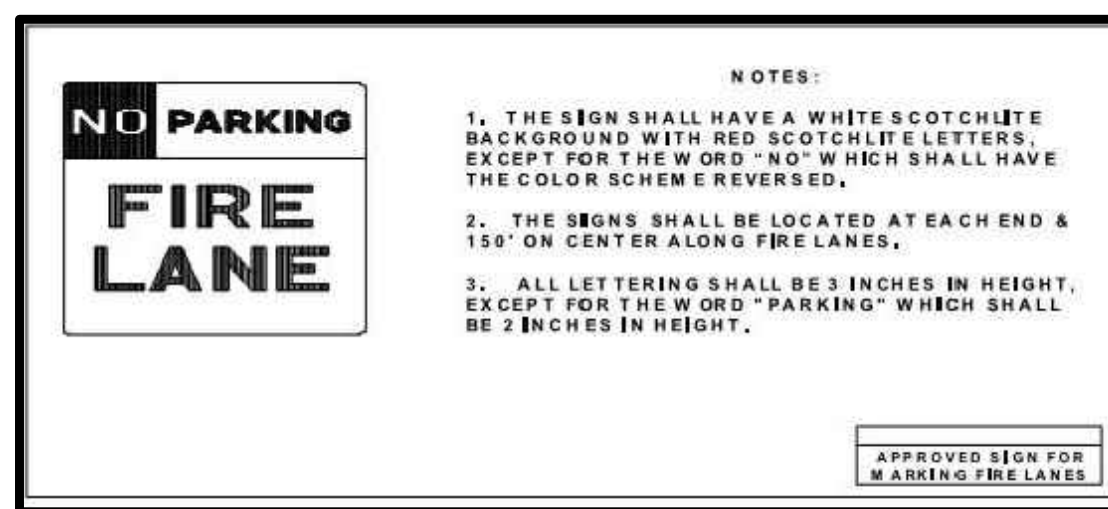
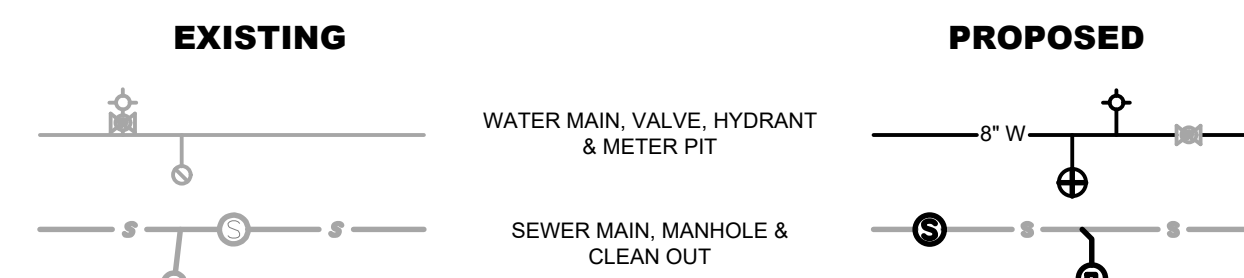
ARTESIAN CALL OUTS

- V-# VALVE AND CAP VALVE NUMBER
- H-# HYDRANT NUMBER
- X-# WATER CROSSING NUMBER

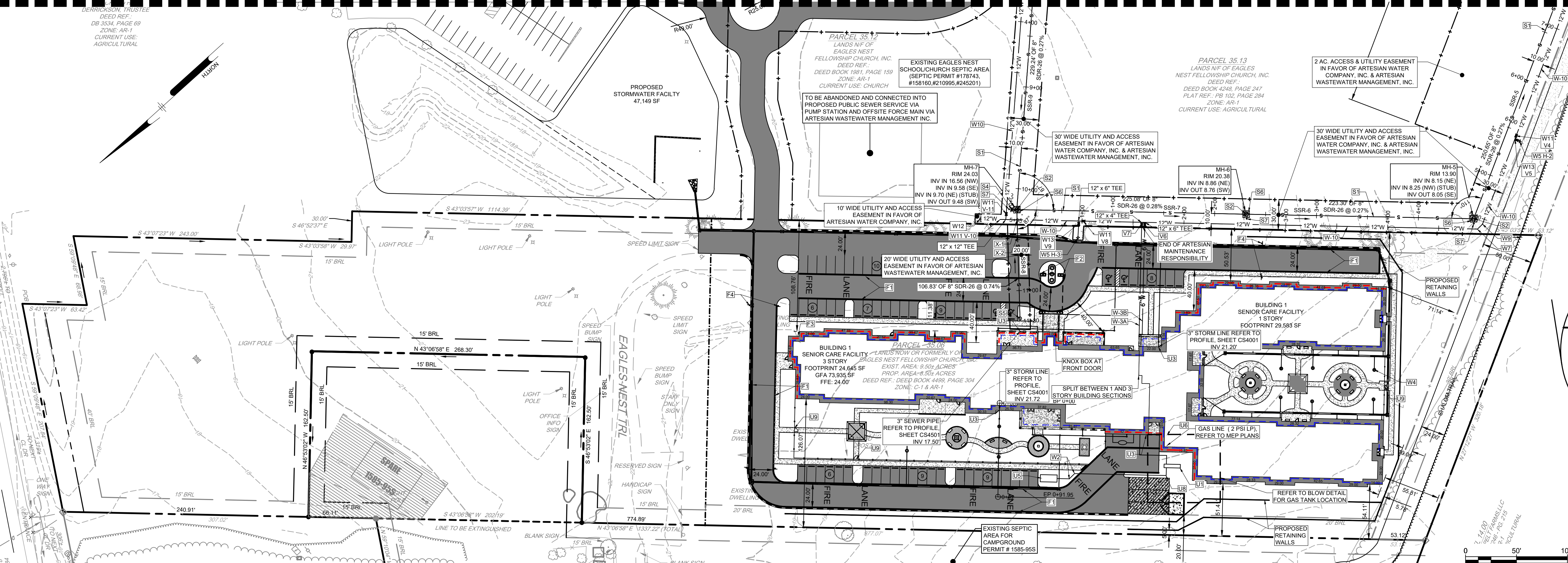
KEYED NOTES

- U1 PROPOSED 1000 GAL UNDERGROUND PROPANE TANK, (42" DIAM., 16' LONG X 50" HIGH)
- U2 4" SOLID YELLOW DEMARCATION LINE (TYP.)
- U3 COORDINATE BUILDING CONNECTION WITH MECHANICAL/PLUMBING PLANS
- U4 PROPOSED 1,500 GALLON GREASE TRAP/INTERCEPTOR. PIPING TO BE 2% SLOPE @ ENTRANCE/EXITING UNIT
- U5 16'-6" X7' GENERATOR PAD
- U6 PROPOSED GAS METER, REFER TO MEP PLANS
- U7 PROPOSED 1500 GALLON GREASE TRAP, REFER TO MEP PLANS
- U8 GAS LINE LATERAL TO GENERATOR
- U9 PROPOSED GATE (TYP.)
- U10 EXISTING SEPTIC AREA
- W1 PROPOSED 80,000 GAL. WATER TANK FOR FIRE SUPPRESSION 25' DIAMETER, 24' HEIGHT, FOR PROPOSED BUILDING. PROPOSED TANK WILL REPLACE EXISTING TANK FOR STORAGE AND SUPPLY REQUIREMENTS, WHILE THE EXISTING TANK MAY BE TAKEN OFFLINE OR KEPT FOR BACK-UP PURPOSES. ARTESIAN WILL REVIEW. THE EXISTING PUMP HOUSE WILL BE MAINTAINED AND THE PROPOSED TANK WILL CONNECT TO THE EXISTING EQUIPMENT.
- W2 16 X 12 REDUCER
- W3A PROPOSED 4" DOMESTIC SERVICE LATERAL WATERLINE, C909 CLASS 235 PVC, PER ARTESIAN WATER CO. STANDARDS AND SPECS. METER AND BACK FLOW PREVENTION EQUIPMENT TO BE INSTALLED INSIDE THE BUILDING WITHIN THE DESIGNATED PUMP ROOM
- W3B PROPOSED 6" FIRE SERVICE LINE, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECS, METER AND BACK FLOW PREVENTION EQUIPMENT TO BE INSTALLED INSIDE THE BUILDING WITHIN THE DESIGNATED PUMP ROOM.
- W4 AGRICULTURAL WELL FOR LANDSCAPING IRRIGATION USE
- W5 PROPOSED FIRE HYDRANT ASSEMBLY
- W7 45' BEND
- W8 PROPOSED WATER TREATMENT BUILDING DESIGNED BY ARTESIAN WATER COMPANY INC.
- W9 22.50' BEND
- W10 PROPOSED 12" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- W11 PROPOSED 12" WATER VALVE
- W12 2" PERMANENT BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE) (SEE DETAIL 4/C6003)
- W13 PROPOSED 12" X 6" HYDRANT TEE WITH 6" VALVE
- W14 2" TEMPORARY BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE)
- S1 8" SANITARY SEWER LATERAL, SDR-26 PVC PER ARTESIAN WASTEWATER MANAGEMENT INC. STANDARDS AND SPECIFICATIONS
- S2 48" SANITARY SEWER MANHOLE (SEE DETAIL ON SHEET CS6002)
- S4 8" GATE VALVE
- S5 CLEAN OUT
- S6 PROPOSED 12" WIDE X 18" DEEP CONCRETE COLLAR, CONCRETE COLLAR TO BE RAISED ABOVE GROUND BY 6" MIN.
- S7 STANDARD MARKER FOR SEWER MANHOLES IN GRASS AREAS (SEE DETAIL ON SHEET CS6002)
- F1 FIRE LANE WITHIN 50' OF BUILDING
- F2 MAIN ENTRANCE OVER HANG CANOPY WITH 13'-6" CLEARANCE
- F3 FREE STANDING FIRE DEPARTMENT CONNECTION
- F4 DOUBLE SIDED FIRE LANE SIGNS "NO PARKING" SIGN PER THE STATE OF DELAWARE FIRE MARSHAL REGULATIONS (ALL FIRE LANE SIGNS SHALL BE LOCATED NO LESS THAN SIX FEET AND NO LONGER THAN EIGHT FEET ABOVE THE PAVEMENT)

LEGEND



MATCHLINE: SHEET CS1702



Pennonni
PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.3030 F 302.684.8054

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EAGLES NEST SENIOR CARE FACILITY
THE POINTE AT PRIME HOOK
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY
UTILITY PLAN
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY
1	2023-08-26	REVISED PER FIRE MARSHAL NOTES	LFS
2	2023-05-23	REVISED PER ARTESIAN COMMENTS	RWS
3	2024-05-19	REVISED PER ARTESIAN COMMENTS	RWS
4	2024-08-12	REVISED PER ARTESIAN COMMENTS	RWS

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PROJECT: ENFCX21001
DATE: 2023-5-31
DRAWING SCALE: 1"=50'
DRAWN BY: TOU
APPROVED BY: AMD

CS1701
SHEET 4 OF 16

UTILITY NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
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- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- THE PROPOSED FACILITY WILL BE PROTECTED WITH AUTOMATIC SPRINKLERS IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 13.
- NO OBJECTS, STANDS, DISPLAYS OR OTHER IMPEDIMENTS (PARKING) SHALL BE LOCATED WITHIN THE DEMARCATION AREA.
- FIRE LANE NOTATION
 - 16.1 THE FIRST WORD "FIRE" SHALL BE CLOSEST TO A DRIVER APPROACHING SUCH MARKING.
 - 16.2 EACH WORD SHALL BE AT LEAST TEN FEET (10') IN HEIGHT AND 20 FEET IN WIDTH.
 - 16.3 THE DISTANCE BETWEEN THE WORD "FIRE" AND THE WORD "LANE" SHALL BE NO GREATER THAN 30 FEET.
 - 16.4 THE DISTANCE FROM THE WORD "LANE" TO THE BEGINNING OF THE SECOND SET OF ROADWAY MARKINGS WHERE THE WORD "FIRE" BEGINS SHALL BE NO GREATER THAN 100 FEET.
- RESPONSIBILITY WILL END AT THE FIRE SERVICE SHUTOFF VALVE (V-2) AND (V-1) FOR THE DOMESTIC SERVICE.
- PROPOSED ELECTRIC AND TELECOMMUNICATION BUILDING CONNECTIONS TO BE DETERMINED.

NOTES:

- LOCATE AND VERIFY DEPTH OF INFLUENT SEWER ENTERING SEPTIC TANKS AT POINT OF CONNECTION TO NEW LATERAL PRIOR TO INSTALLATION OF SEWER LATERAL SERVICE CONNECTION.
- ADD CLEANOUT AT EACH CONNECTION POINT AND CHANGE OF DIRECTION OF LATERAL.

SITE INFORMATION:

SITE ADDRESS:
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968

OWNER/ DEVELOPER:
EAGLES NEST FELLOWSHIP CHURCH, INC.
MILTON, DELAWARE 19968
26633 ZION CHURCH ROAD - (SCR235)

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

KEYED NOTES

- [U1] PROPOSED 1000 GAL UNDERGROUND PROPANE TANK, (42" DIAM., 16' LONG X 50" HIGH)
- [U2] 4" SOLID YELLOW DEMARCATION LINE (TYP.)
- [U3] COORDINATE BUILDING CONNECTION WITH MECHANICAL/PLUMBING PLANS
- [U4] PROPOSED 1,500 GALLON GREASE TRAP INTERCEPTOR. PIPING TO BE 2% SLOPE @ ENTRANCE/EXITING UNIT
- [U5] 16'-6" X 7' GENERATOR PAD
- [U6] PROPOSED GAS METER, REFER TO MEP PLANS
- [U7] PROPOSED 1500 GALLON GREASE TRAP, REFER TO MEP PLANS
- [U8] GAS LINE LATERAL TO GENERATOR
- [U9] PROPOSED GATE (TYP.)
- [U10] EXISTING SEPTIC AREA
- [W1] PROPOSED 80,000 GAL. WATER TANK FOR FIRE SUPPRESSION 25' DIAMETER, 24' HEIGHT, FOR PROPOSED BUILDING, PROPOSED TANK WILL REPLACE EXISTING TANK FOR STORAGE AND SUPPLY REQUIREMENTS, WHILE THE EXISTING TANK MAY BE TAKEN OFFLINE OR KEPT FOR BACK-UP PURPOSES, ARTESIAN WILL REVIEW. THE EXISTING PUMP HOUSE WILL BE MAINTAINED AND THE PROPOSED TANK WILL CONNECT TO THE EXISTING EQUIPMENT.
- [W2] 16 X 12 REDUCER
- [W3A] PROPOSED 4" DOMESTIC SERVICE LATERAL WATERLINE, C909 CLASS 235 PVC, PER ARTESIAN WATER CO. STANDARDS AND SPECS. METER AND BACK FLOW PREVENTION EQUIPMENT TO BE INSTALLED INSIDE THE BUILDING WITHIN THE DESIGNATED PUMP ROOM
- [W3B] PROPOSED 6" FIRE SERVICE LINE, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECS. METER AND BACK FLOW PREVENTION EQUIPMENT TO BE INSTALLED INSIDE THE BUILDING WITHIN THE DESIGNATED PUMP ROOM.
- [W4] AGRICULTURAL WELL FOR LANDSCAPING IRRIGATION USE
- [W5] PROPOSED FIRE HYDRANT ASSEMBLY
- [W7] 45° BEND
- [W8] PROPOSED WATER TREATMENT BUILDING DESIGNED BY ARTESIAN WATER COMPANY INC.
- [W9] 22.50° BEND
- [W10] PROPOSED 12" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [W11] PROPOSED 12" WATER VALVE
- [W12] 2" PERMANENT BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE) (SEE DETAIL 4/CS6003)
- [W13] PROPOSED 12" X 6" HYDRANT TEE WITH 6" VALVE
- [W14] 2" TEMPORARY BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE)
- [W15] PROPOSED 16" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [W16] PROPOSED 16" WATER VALVE
- [S1] 8" SANITARY SEWER LATERAL SDR-26 PVC PER ARTESIAN WASTEWATER MANAGEMENT INC. STANDARDS AND SPECIFICATIONS
- [S2] 48" SANITARY SEWER MANHOLE (SEE DETAIL ON SHEET CS6002)
- [S4] 8" GATE VALVE
- [S5] CLEAN OUT
- [S6] PROPOSED 12" WIDE X 18" DEEP CONCRETE COLLAR, CONCRETE COLLAR TO BE RAISED ABOVE GRADE BY 6" MIN
- [S7] STANDARD MARKER FOR SEWER MANHOLES IN GRASS AREAS (SEE DETAIL ON SHEET CS6002)
- [F1] FIRE LANE WITHIN 50' OF BUILDING
- [F2] MAIN ENTRANCE OVER HANG CANOPY WITH 13'-6" CLEARANCE
- [F3] FREE STANDING FIRE DEPARTMENT CONNECTION
- [F4] DOUBLE SIDED FIRE LANE SIGNS "NO PARKING SIGN PER THE STATE OF DELAWARE FIRE MARSHALL REGULATIONS" (ALL FIRE LANE SIGNS SHALL BE LOCATED NO LESS THAN SIX FEET AND NO LONGER THAN EIGHT FEET ABOVE THE PAVEMENT)

NOTES:

- ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
- ALL WATER SERVICE CONNECTIONS SHALL BE AS NOTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- ALL WATER PIPE TO BE BLUE C909 PVC.
- ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.

SANITARY SEWER STRUCTURE TABLE - SANITARY1					
ID	RIM ELEVATION	INV IN (FROM)	INV OUT (TO)	TYPE	DEPTH
MH-1	16.68	5.43 (8" SDR-26 @ 0.28%) MH-2	5.33 (10" SDR-26)	48" MH (4')	11.58
MH-2	15.81	5.94 (8" SDR-26 @ 0.28%) MH-3	5.84 (8" SDR-26) MH-1	48" MH (4')	10.19
MH-3	15.04	6.45 (8" SDR-26 @ 0.28%) MH-4	6.35 (8" SDR-26) MH-2	48" MH (4')	8.78
MH-4	14.30	7.37 (8" SDR-26 @ 0.27%) MH-5	7.27 (8" SDR-26) MH-3	48" MH (4')	7.12
MH-5	13.90	8.15 (8" SDR-26 @ 0.27%) MH-6	8.05 (8" SDR-26) MH-4	48" MH (4')	5.98
MH-6	20.38	8.86 (8" SDR-26 @ 0.28%) MH-7	8.76 (8" SDR-26) MH-5	48" MH (4')	11.62
MH-7	24.03	16.96 (8" SDR-26 @ 0.74%) 9.96 (8" SDR-26 @ 0.27%) MH-8	9.48 (8" SDR-26) MH-6	48" MH (4')	14.70
MH-8	22.66	10.30 (8" SDR-26 @ 0.28%) MH-9	10.20 (8" SDR-26) MH-7	48" MH (4')	12.49
MH-9	21.20	11.00 (8" SDR-26 @ 0.28%) MH-10	10.90 (8" SDR-26) MH-8	48" MH (4')	10.52
MH-10	21.64	11.58 (8" SDR-26 @ 0.28%) MH-11	11.48 (8" SDR-26) MH-9	48" MH (4')	10.38
MH-11	22.16	12.25 (8" SDR-26 @ 0.40%) MH-12	12.15 (8" SDR-26) MH-10	48" MH (4')	9.92
MH-12	23.50	13.06 (8" SDR-26) MH-11	13.06 (8" SDR-26) MH-11	48" MH (4')	10.63

LEGEND

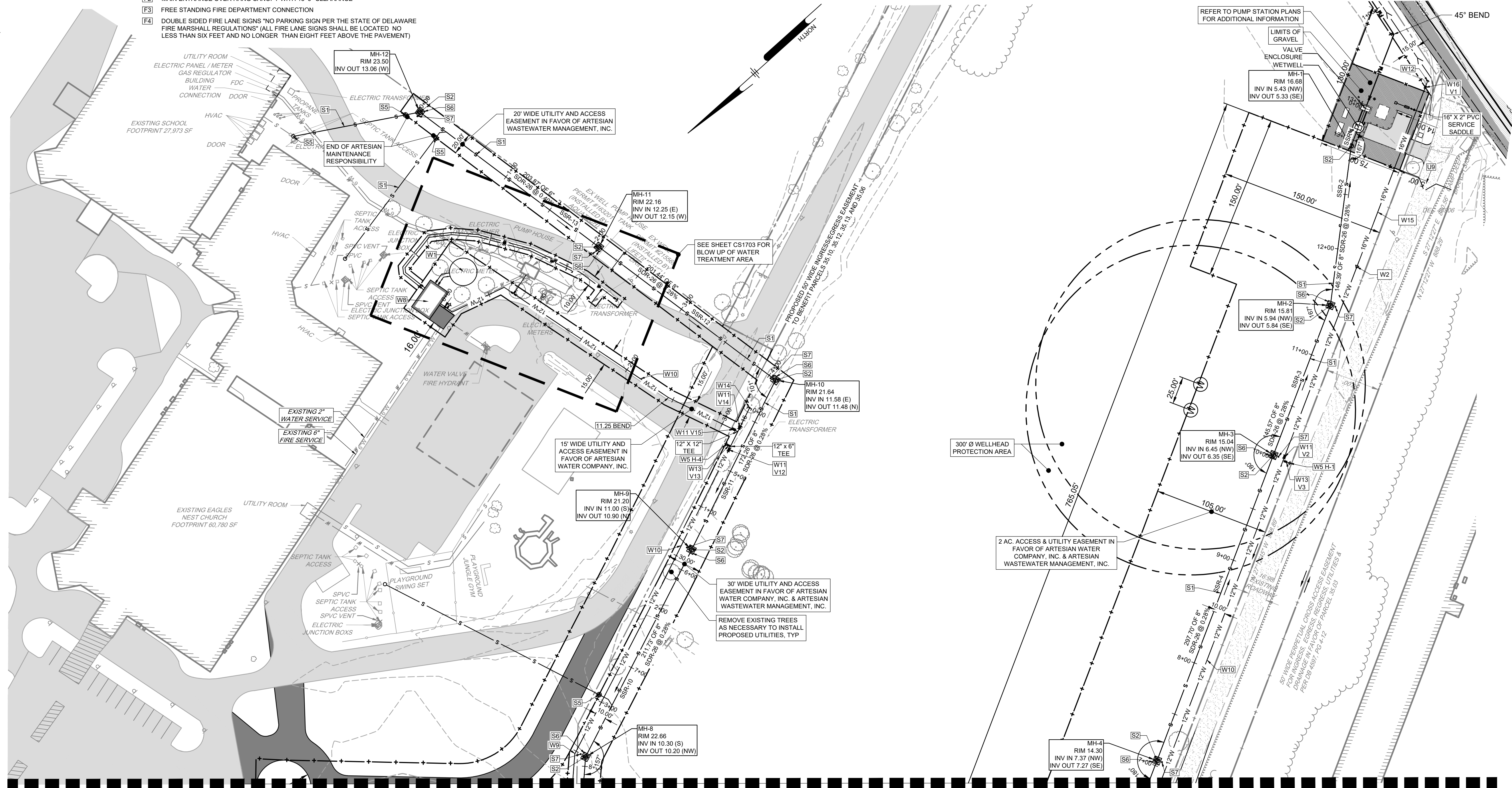
EXISTING

PROPOSED

WATER MAIN, VALVE, HYDRANT & METER PIT

SEWER MAIN, MANHOLE & CLEAN OUT

SANITARY SEWER PIPE TABLE SANITARY1								
ID	FROM STRUCTURE	INV OUT	TO STRUCTURE	INV IN	DIAMETER (in)	MATERIAL	LENGTH (ft)	SLOPE
SSR-1		5.29	MH-1	5.33	10"	SDR-26	14'	0.28%
SSR-2	MH-1	5.43	MH-2	5.84	8"	SDR-26	146'	0.28%
SSR-3	MH-2	5.94	MH-3	6.35	8"	SDR-26	146'	0.28%
SSR-4	MH-3	6.45	MH-4	7.27	8"	SDR-26	298'	0.28%
SSR-5	MH-4	7.37	MH-5	8.05	8"	SDR-26	251'	0.27%
SSR-6	MH-5	8.15	MH-6	8.76	8"	SDR-26	223'	0.27%
SSR-7	MH-6	8.86	MH-7	9.48	8"	SDR-26	225'	0.28%
SSR-8		17.35	MH-7	16.56	8"	SDR-26	107'	0.74%
SSR-9	MH-7	9.58	MH-8	10.20	8"	SDR-26	229'	0.27%
SSR-10	MH-8	10.30	MH-9	10.90	8"	SDR-26	212'	0.28%
SSR-11	MH-9	11.00	MH-10	11.48	8"	SDR-26	172'	0.28%
SSR-12	MH-10	11.58	MH-11	12.15	8"	SDR-26	201'	0.28%
SSR-13	MH-11	12.25	MH-12	13.06	8"	SDR-26	204'	0.40%



MATCHLINE: SHEET CS1701

Pennonni

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
THE POINT AT PRIME FLOOR
AS SHOWN ON SHEET CS1702 (SCR235)
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY

UTILITY PLAN
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

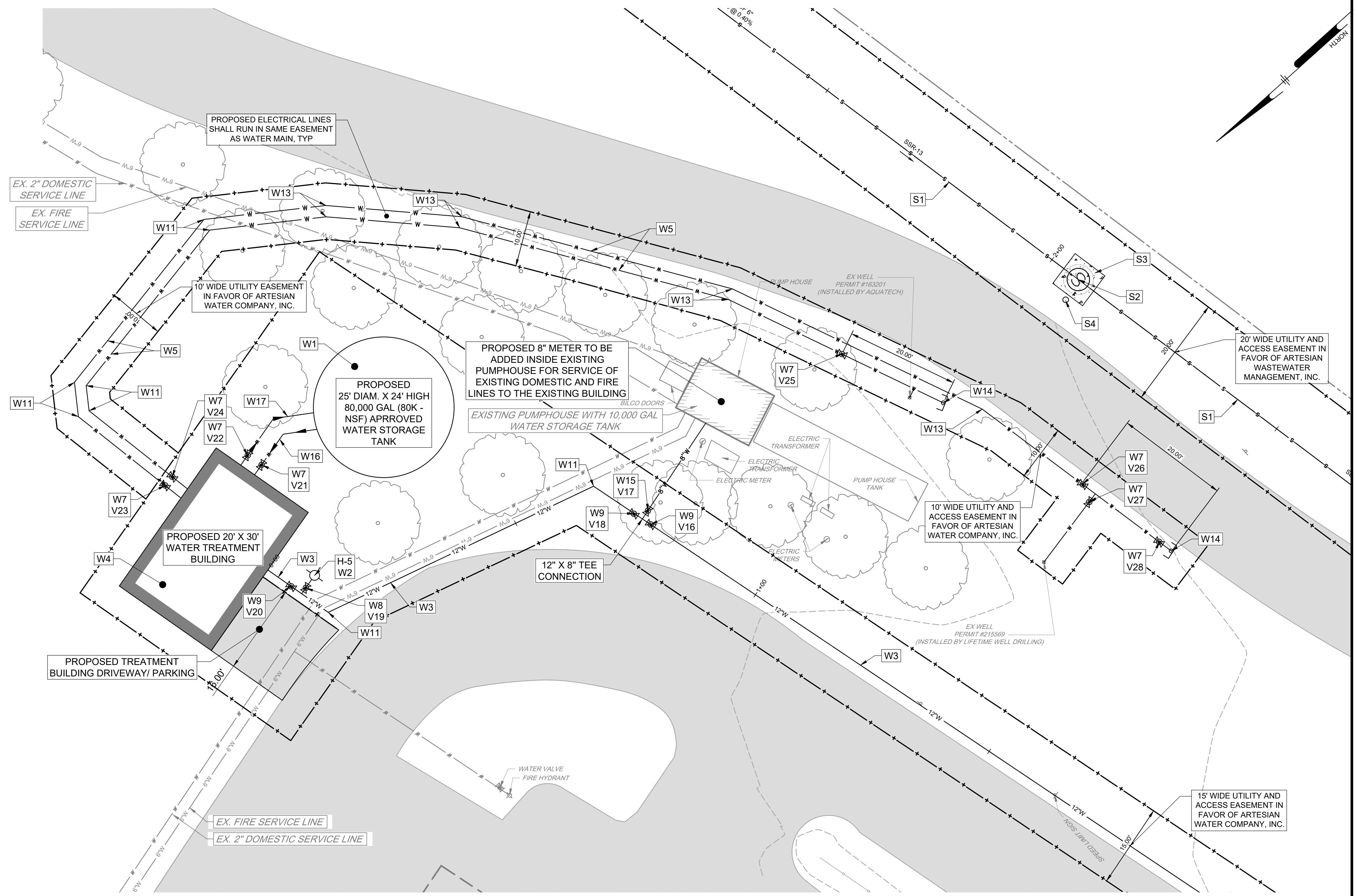
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2	2024-06-19	REVISED PER ARTESIAN COMMENTS	RWS
1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: ENFCX21001
DATE: 2022-06-23
DRAWING SCALE: 1"=50'
DRAWN BY: LFS
APPROVED BY: AMD

CS1702
SHEET 5 OF 16

PLOTTED: 8/20/2024 1:15 PM BY: Vignar Shihai FILED: C:\P\ENFCX21001\PROJECT STATUS...
 U:\admin\ENFCX21001 - Eagles Nest Fellowship Church - Senior Center\CS1702.dwg



DETAIL - PROPOSED WATER TANK AREA
 SCALE: 1" = 10'

KEYED NOTES

- [W1] PROPOSED 80,000 GAL. WATER TANK FOR FIRE SUPPRESSION 25' DIAMETER, 24' HEIGHT, FOR PROPOSED BUILDING. PROPOSED TANK WILL REPLACE EXISTING TANK FOR STORAGE AND SUPPLY REQUIREMENTS. WHILE THE EXISTING TANK MAY BE TAKEN OFFLINE OR KEPT FOR BACK-UP PURPOSES, ARTESIAN WILL REVIEW. THE EXISTING PUMP HOUSE WILL BE MAINTAINED AND THE PROPOSED TANK WILL CONNECT TO THE EXISTING EQUIPMENT.
- [W2] PROPOSED HYDRANT
- [W3] PROPOSED 12" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [W4] PROPOSED WATER TREATMENT BUILDING DESIGNED BY ARTESIAN WATER COMPANY INC.
- [W5] PROPOSED 2" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [W6] 2" TEMPORARY BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE)
- [W7] PROPOSED 2" WATER VALVE
- [W8] PROPOSED 6" WATER VALVE
- [W9] PROPOSED 12" WATER VALVE
- [W10] 90° BEND
- [W11] 45° BEND
- [W12] 22.5° BEND
- [W13] 11.25° BEND
- [W14] 2" PERMANENT BLOW OFF AND CAP (TO BE INSTALLED 20' FROM ASSOCIATED VALVE) (SEE DETAIL 4/CS6003)
- [W15] PROPOSED 8" WATER VALVE
- [W16] PROPOSED 10" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [W17] PROPOSED 6" WATER MAIN, C909 CLASS 235 PVC, PER ARTESIAN WATER COMPANY INC. STANDARDS AND SPECIFICATIONS
- [S1] 8" SANITARY SEWER LATERAL SDR-26 PVC PER ARTESIAN WASTEWATER MANAGEMENT INC. STANDARDS AND SPECIFICATIONS
- [S2] 48" SANITARY SEWER MANHOLE (SEE DETAIL ON SHEET CS6002)
- [S3] PROPOSED 12" WIDE X 18" DEEP CONCRETE COLLAR, CONCRETE COLLAR TO BE RAISED ABOVE GRADE BY 6" MIN
- [S4] STANDARD MARKER FOR SEWER MANHOLES IN GRASS AREAS (SEE DETAIL ON SHEET CS6002)

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
 28653 ZION CHURCH ROAD - (SCR235)
 MILTON, SUSSEX COUNTY, DELAWARE 19968

UTILITY PLAN

EAGLES NEST FELLOWSHIP CHURCH, INC.
 MILTON, DELAWARE 19968
 28653 ZION CHURCH ROAD - (SCR235)

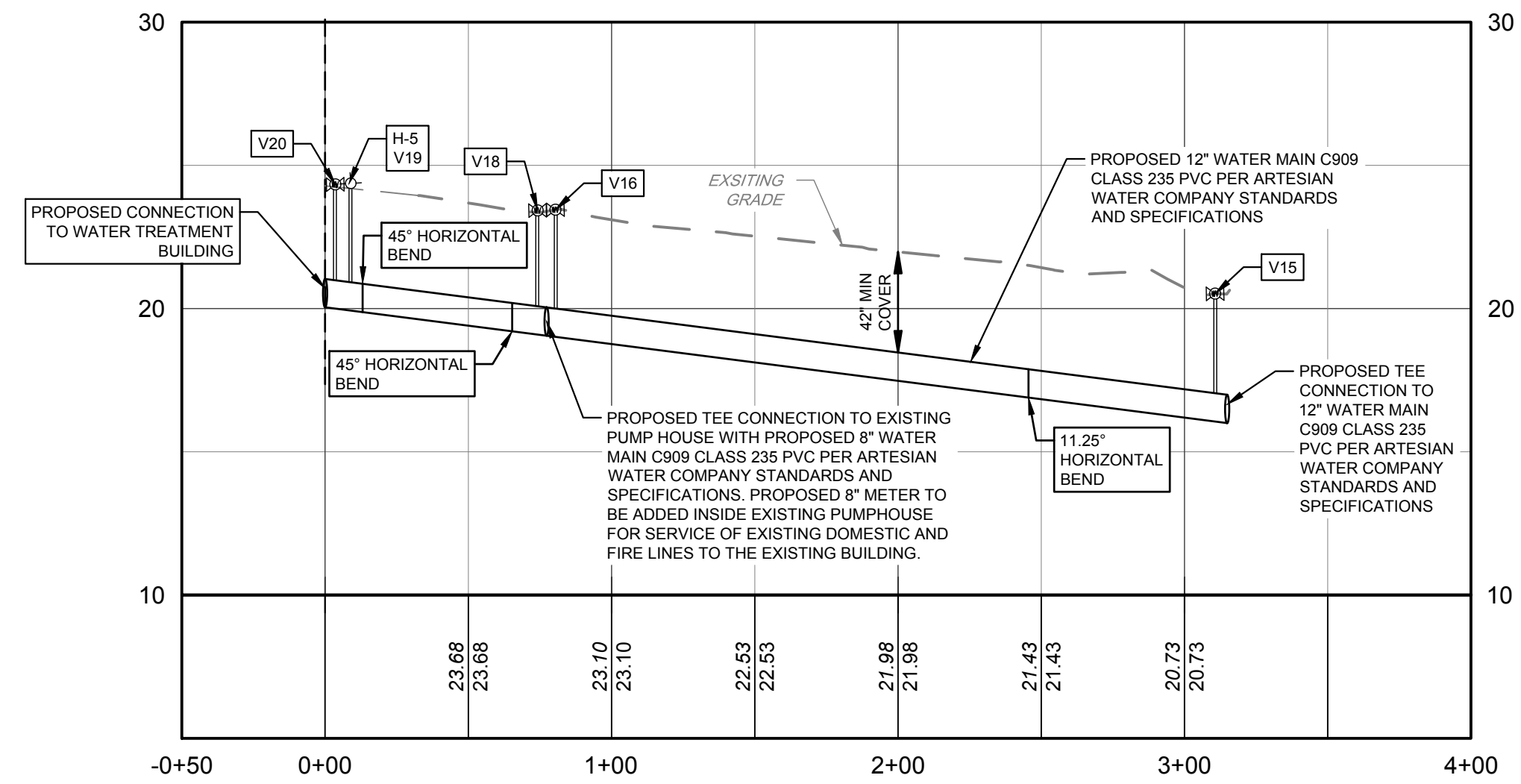
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2	2024-06-19	REVISED PER ARTESIAN COMMENTS	RWS
1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

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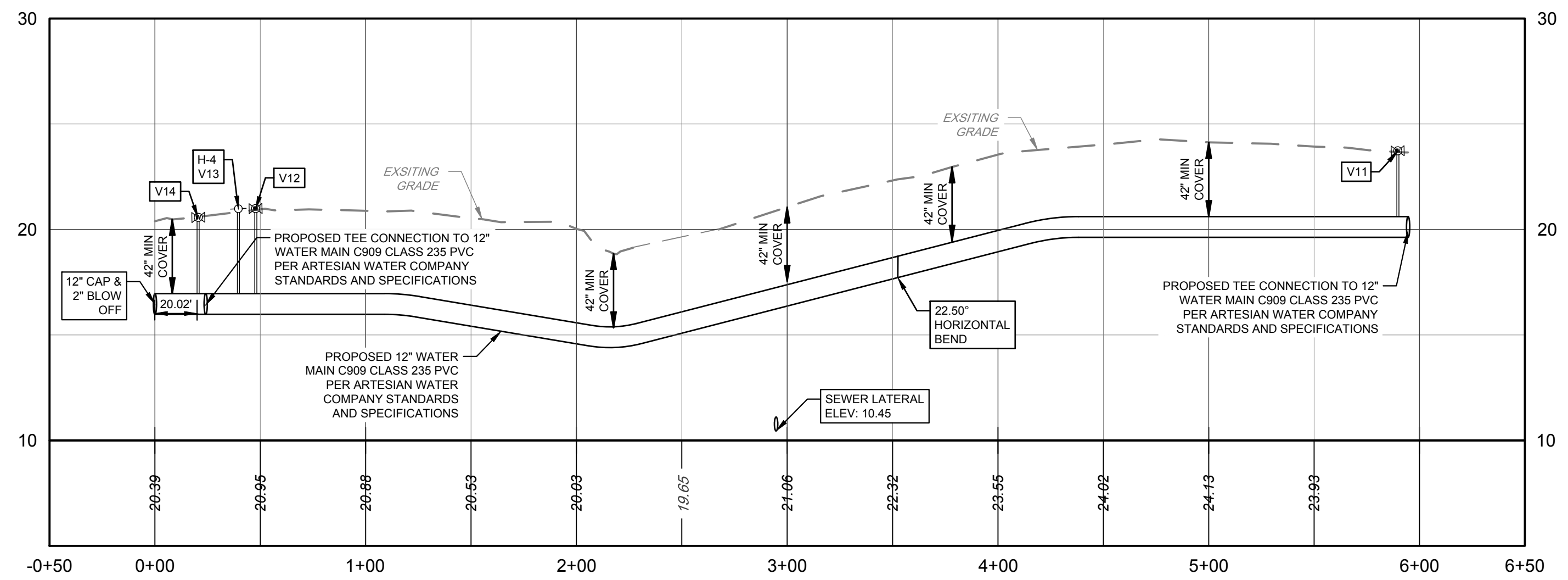
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 APPROVED BY: AMD

CS1703
 SHEET 6 OF 16

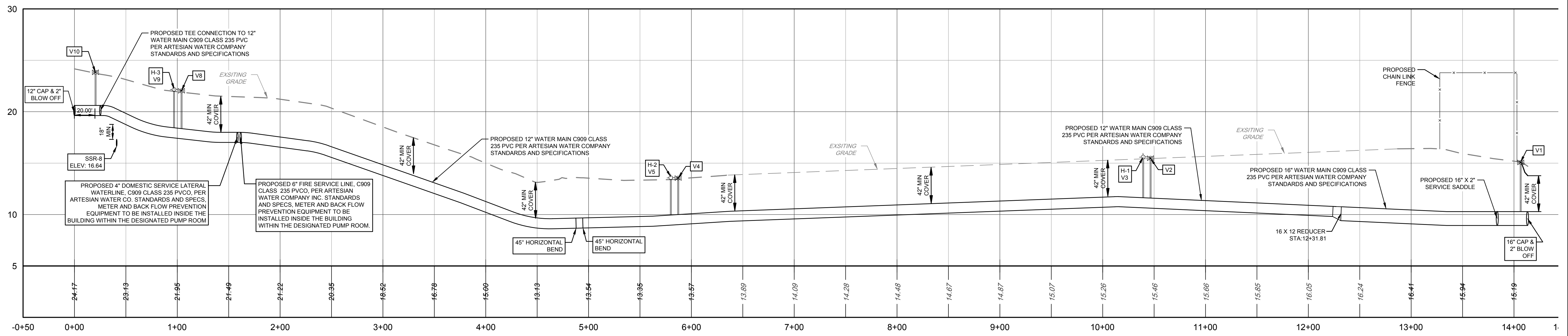
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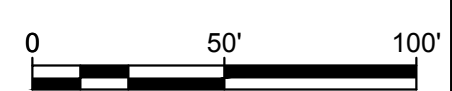
PROFILE - 12" LINE FROM TREATMENT BUILDING TO 12" LINE
H: 1" = 50', V: 1" = 5



PROFILE - 12" TO 12" WATER LINE
H: 1" = 50', V: 1" = 5



PROFILE - 12" TO 16" WATER LINE
H: 1" = 50', V: 1" = 5



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
 THE POINTE AT PRIME HOOK
 TAX MAP: 235-8-00-35-06
 28633 ZION CHURCH ROAD - (ISCR235)
 MILTON, SUSSEX COUNTY, DELAWARE 19968
WATER PROFILES
 BROADKILL HUNDRED, SUSSEX COUNTY
EAGLES NEST FELLOWSHIP CHURCH, INC.
 28633 ZION CHURCH ROAD - (ISCR235)
 MILTON, DELAWARE 19968

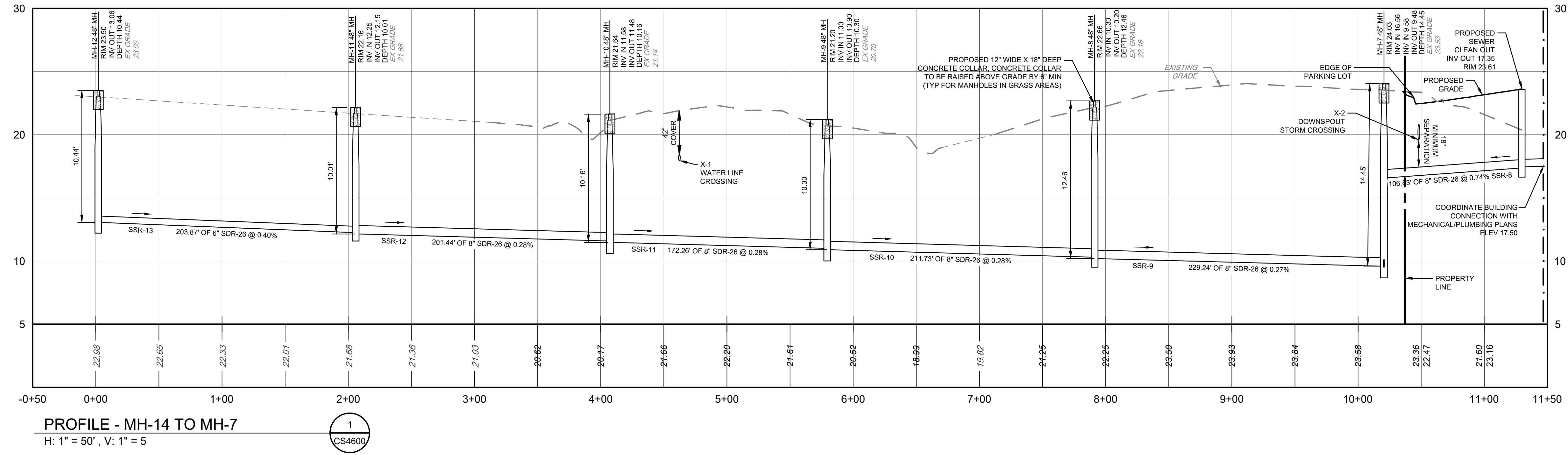
NO.	DATE	REVISIONS	BY
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1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

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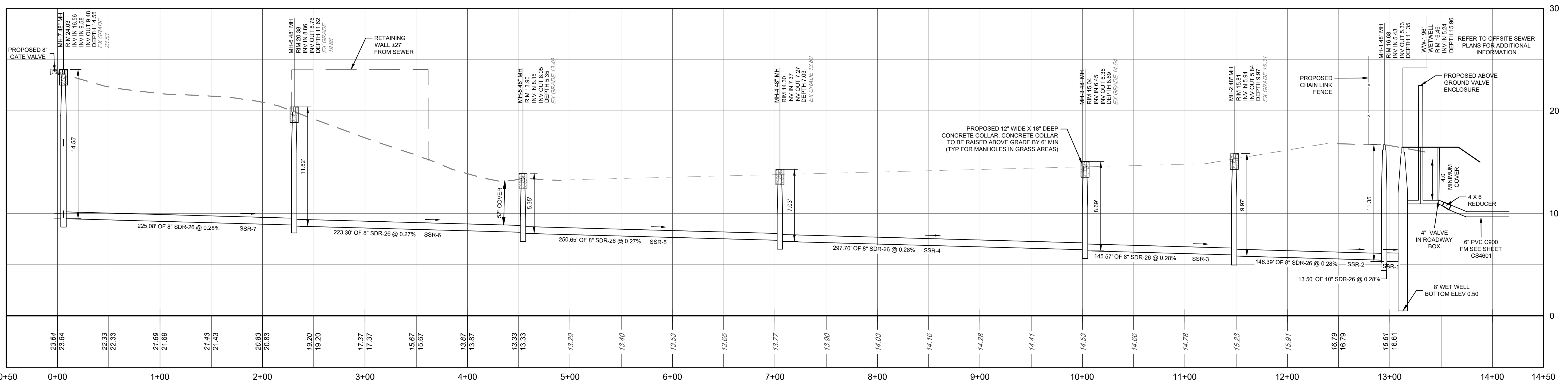
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 DRAWN BY: TOU
 APPROVED BY: AMD

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PROFILE - MH-14 TO MH-7
H: 1" = 50', V: 1" = 5'



PROFILE - MH-6 TO WW-1
H: 1" = 50', V: 1" = 5'



EAGLES NEST SENIOR CARE FACILITY

THE POINTE AT PRIME HOOK
TAX MAP: 235-8-00-35.0B
28633 ZION CHURCH ROAD - (ISCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY
SANITARY SEWER PROFILES
EAGLES NEST FELLOWSHIP CHURCH, INC.
28633 ZION CHURCH ROAD - (ISCR235)
MILTON, DELAWARE 19968

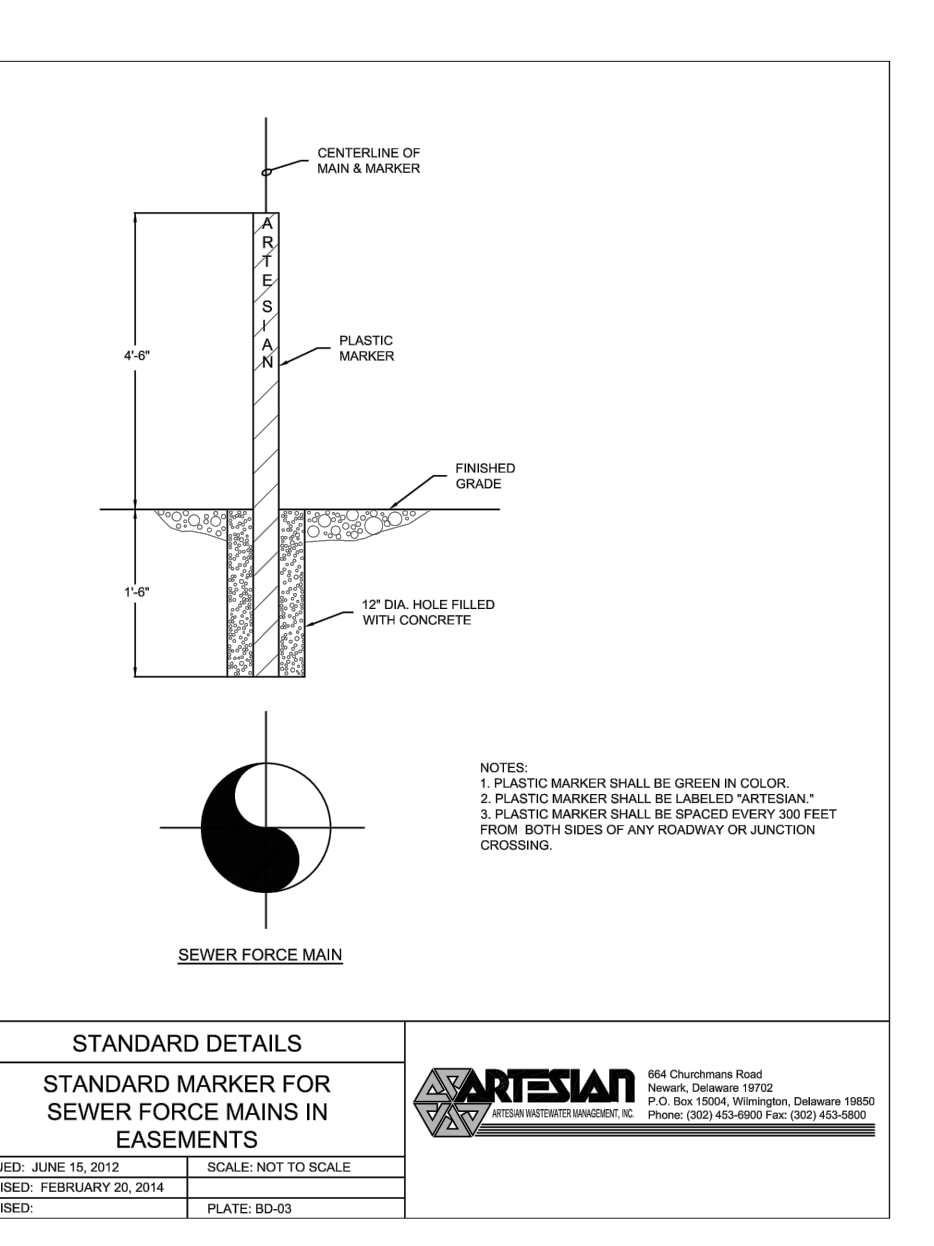
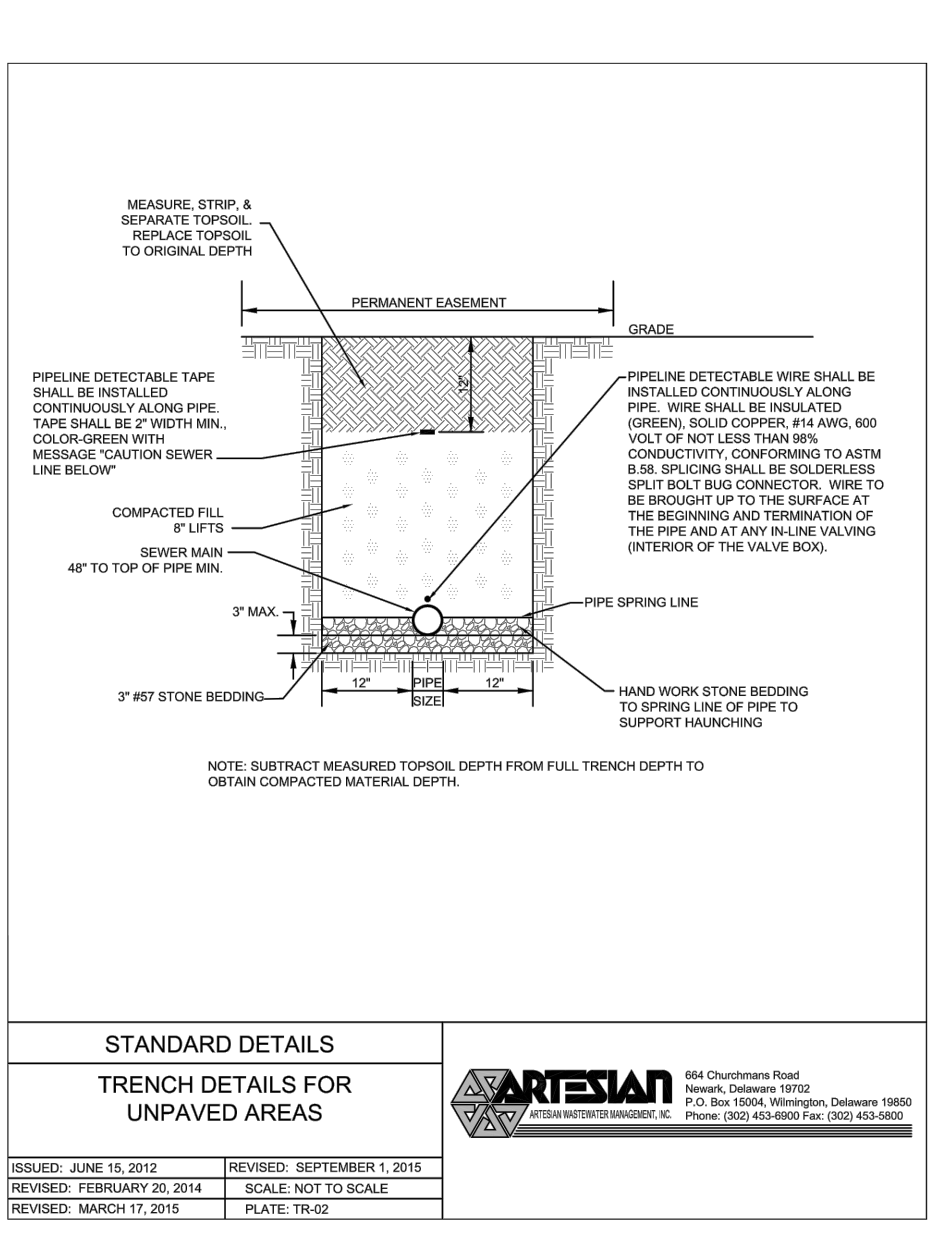
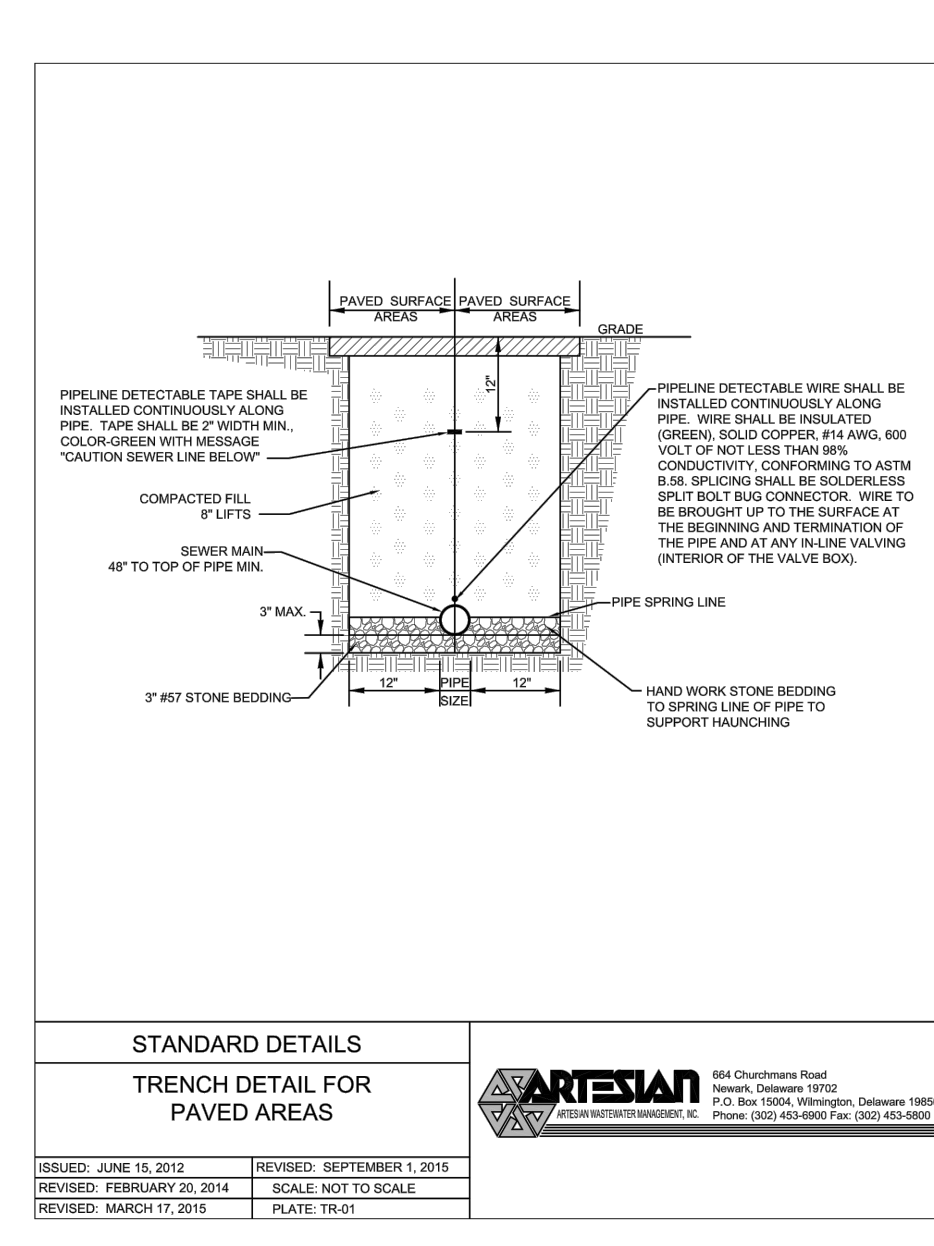
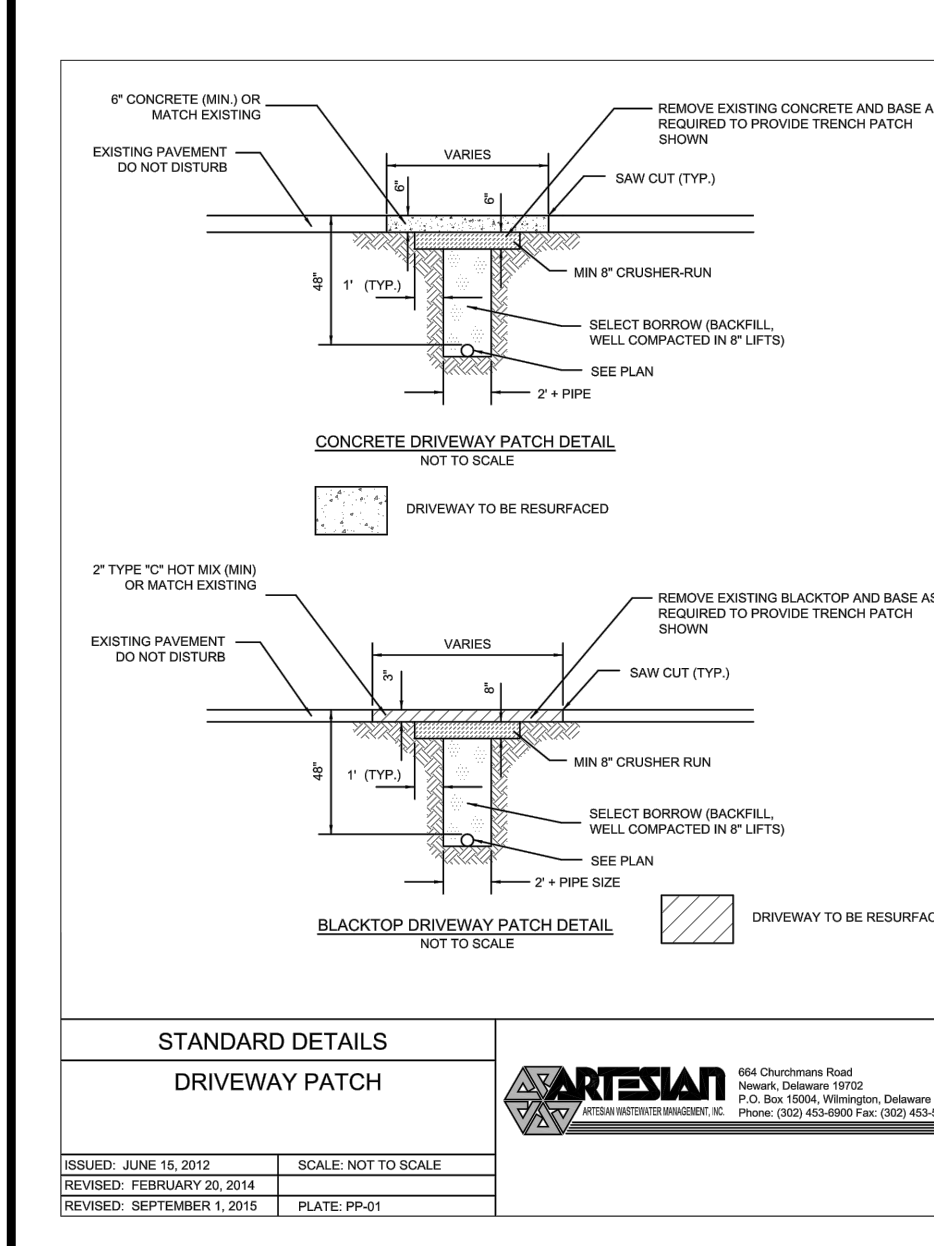
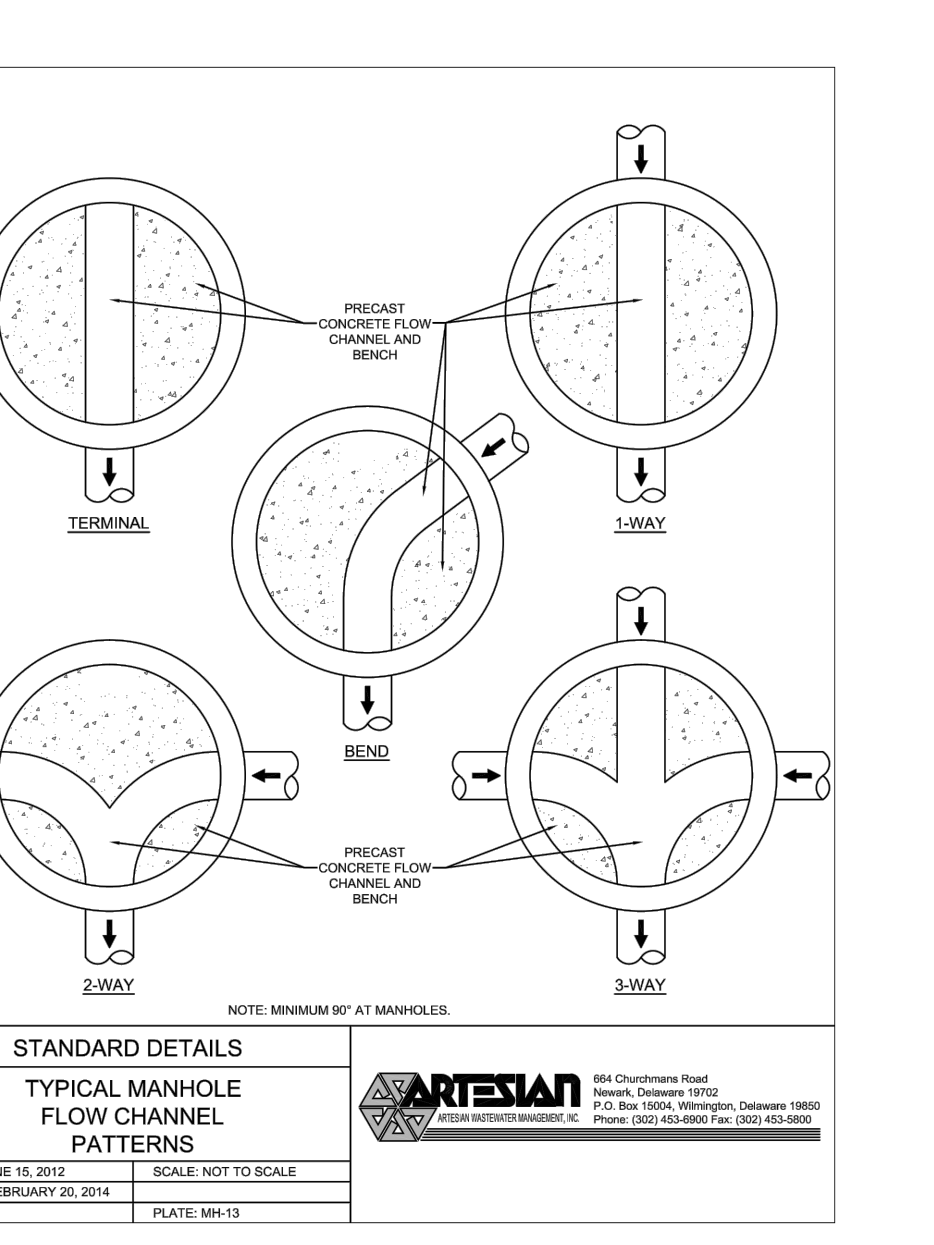
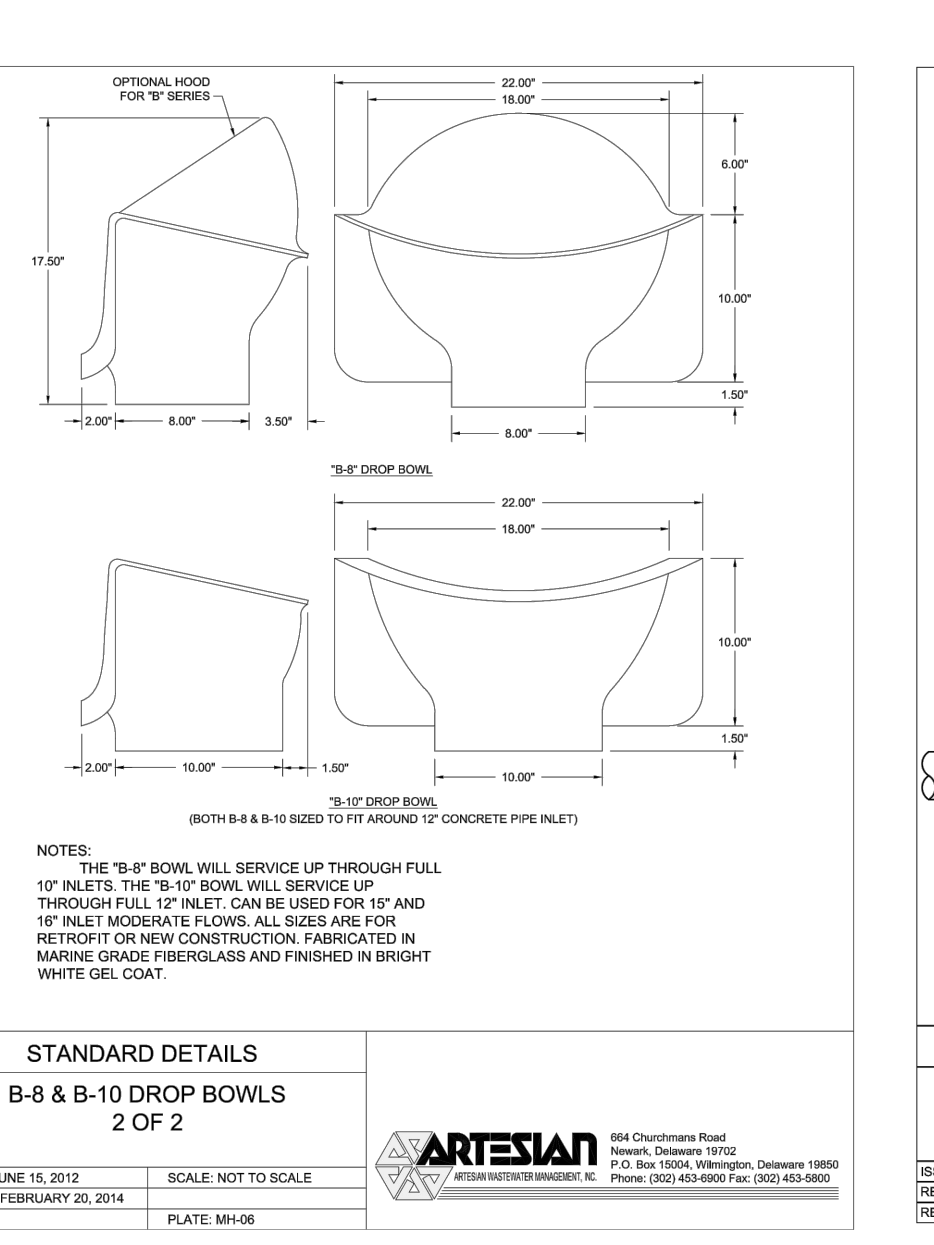
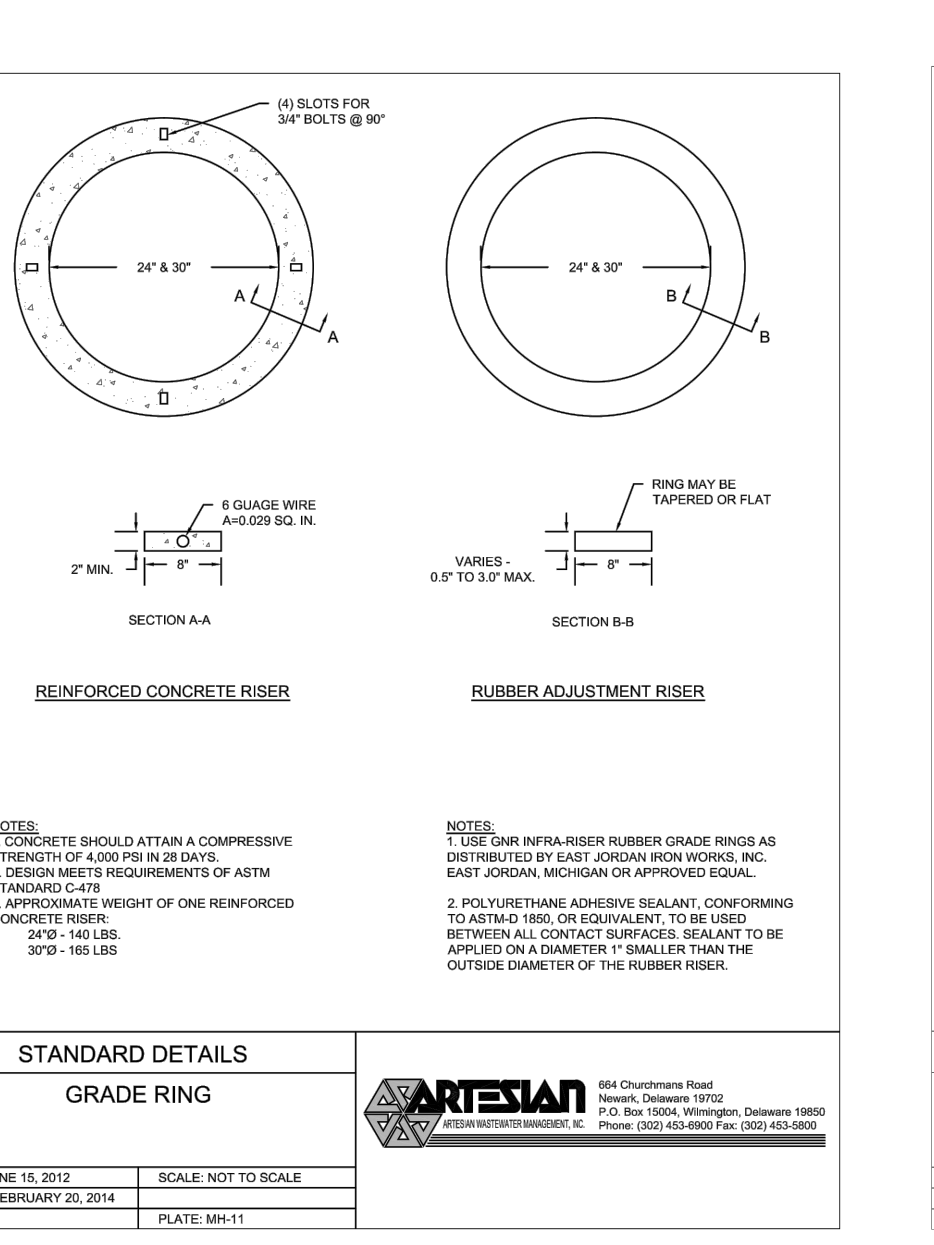
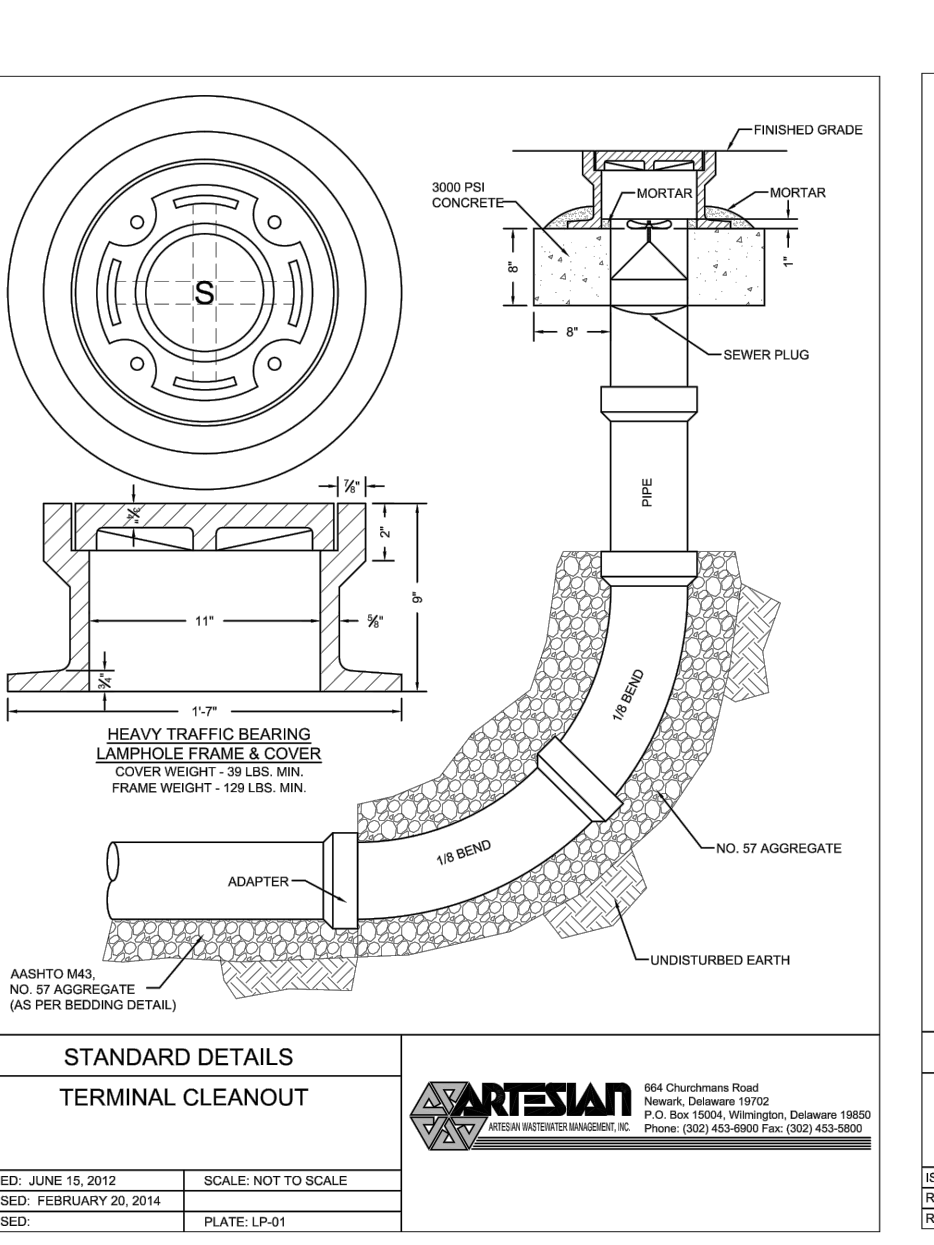
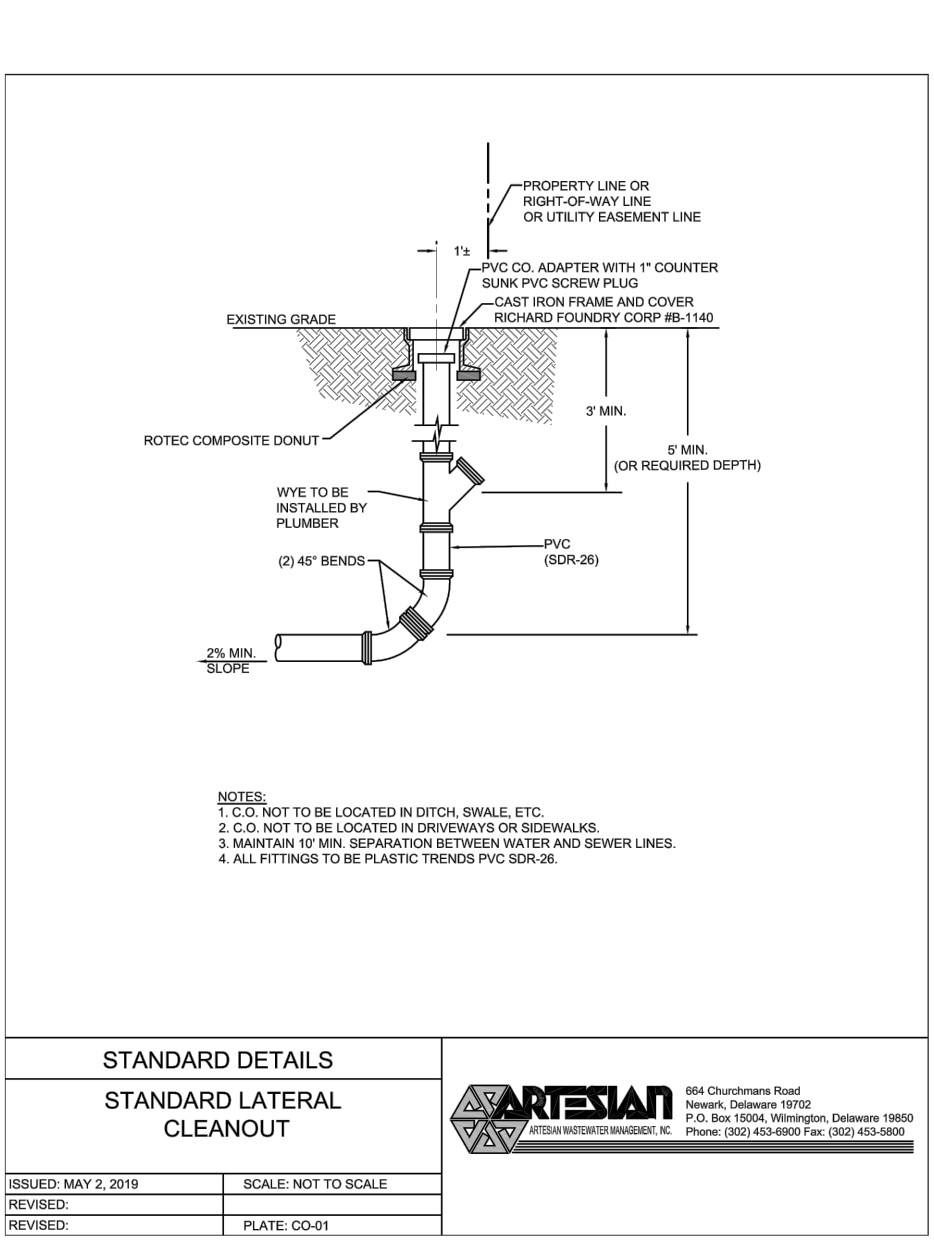
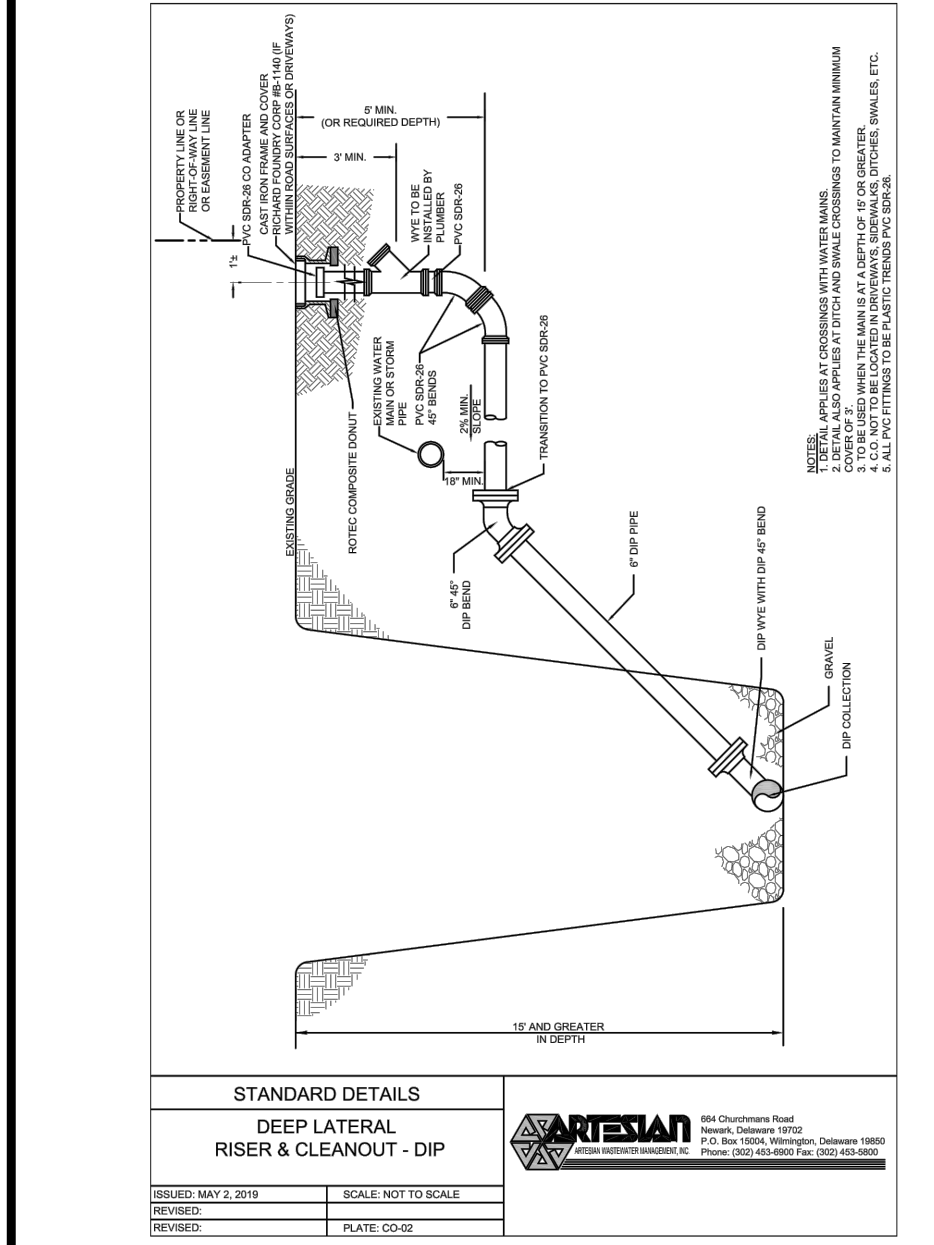
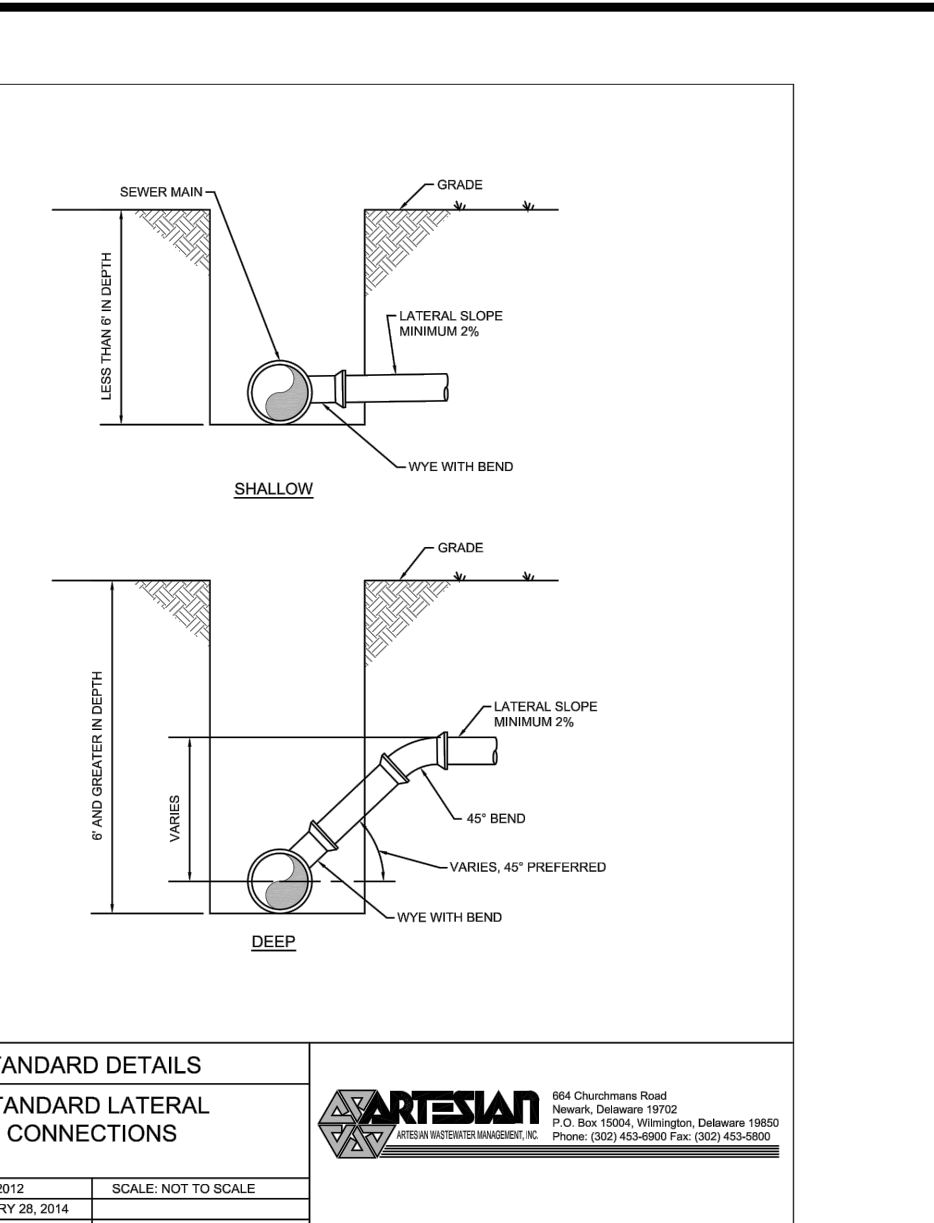
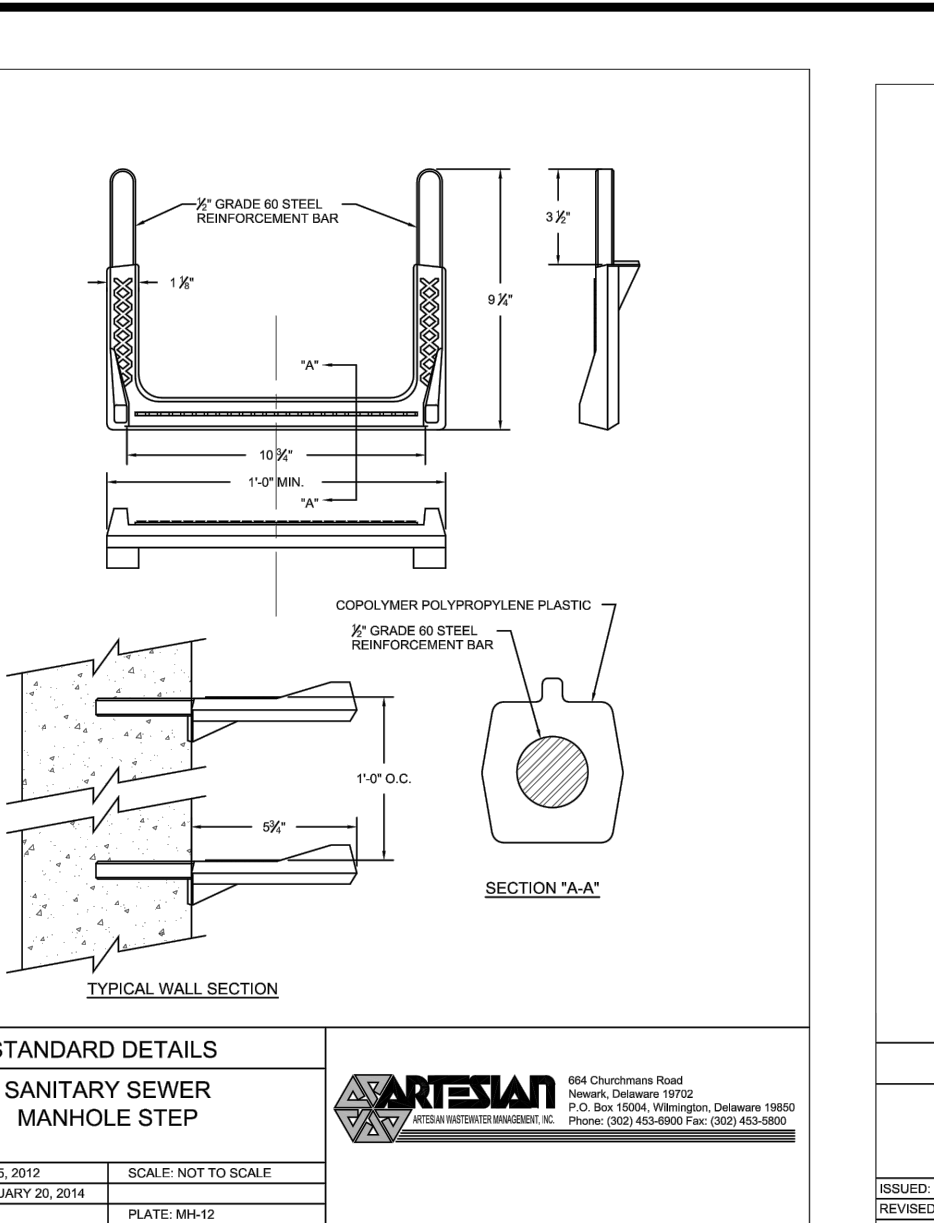
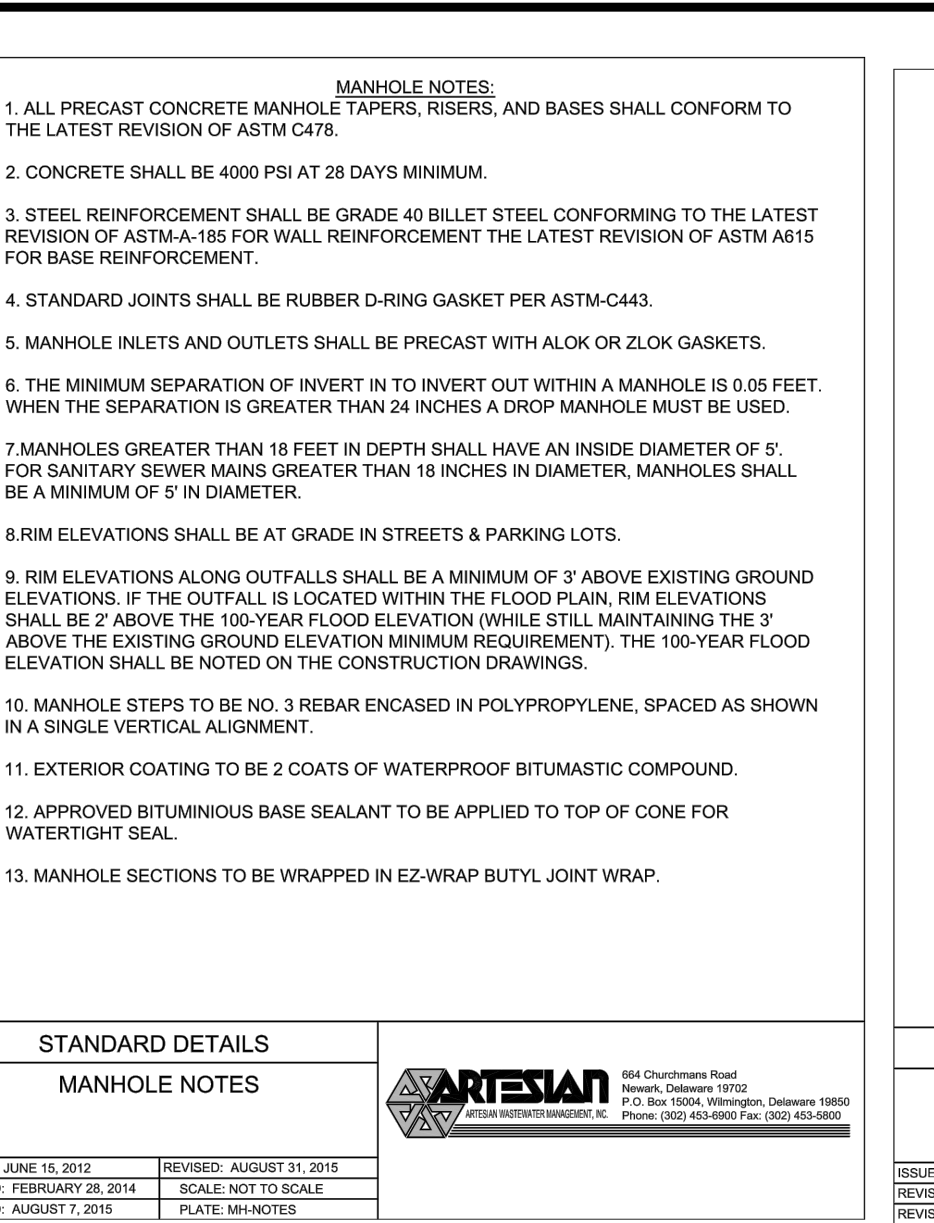
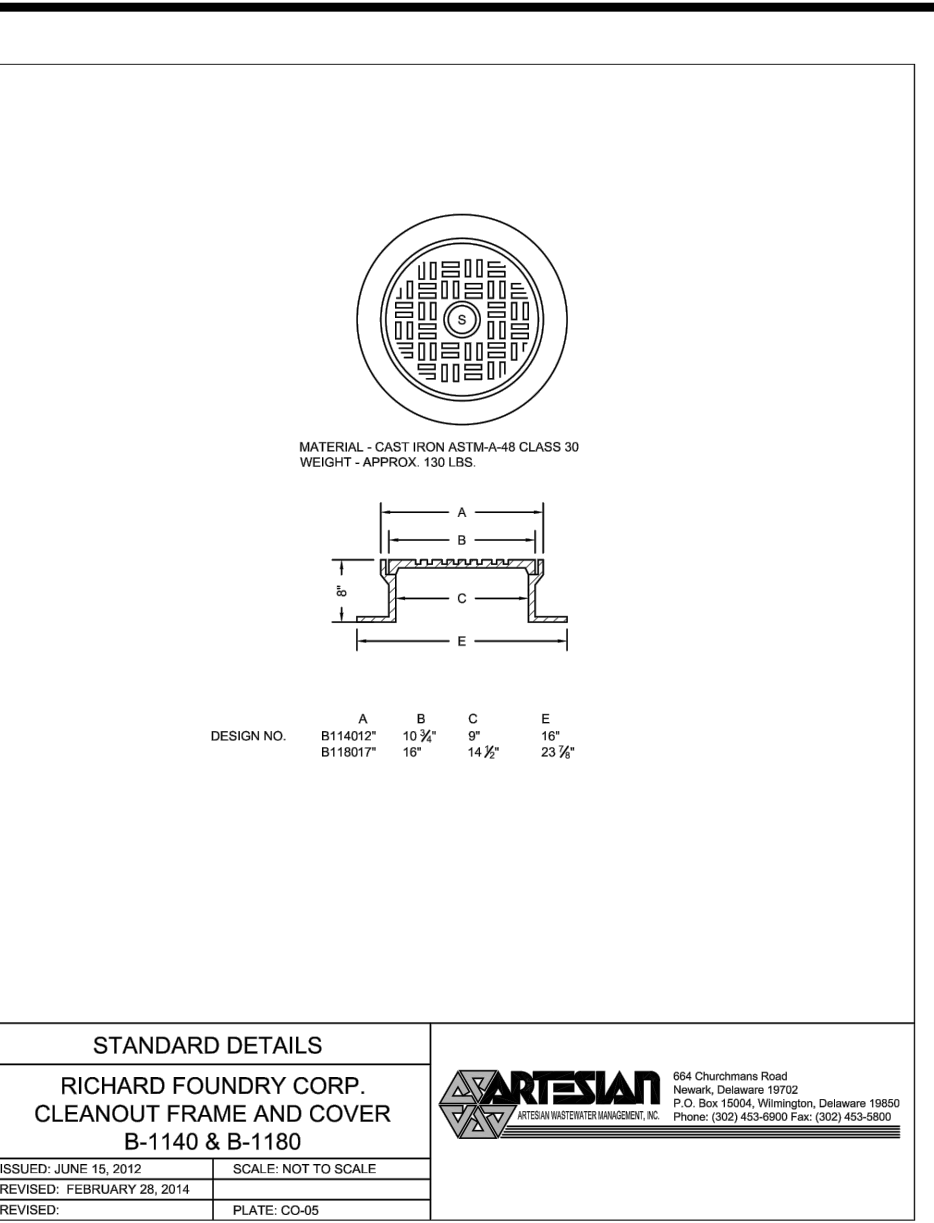
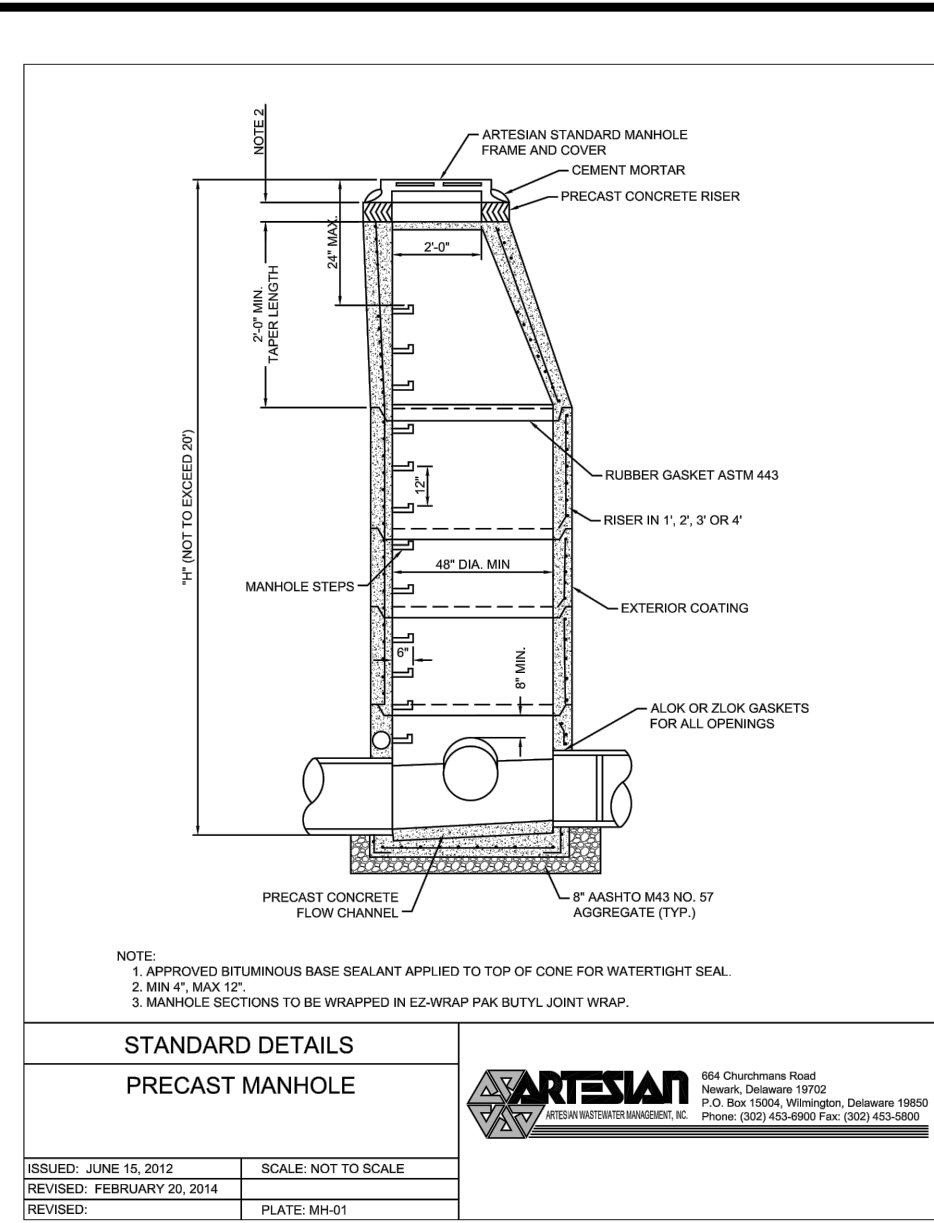
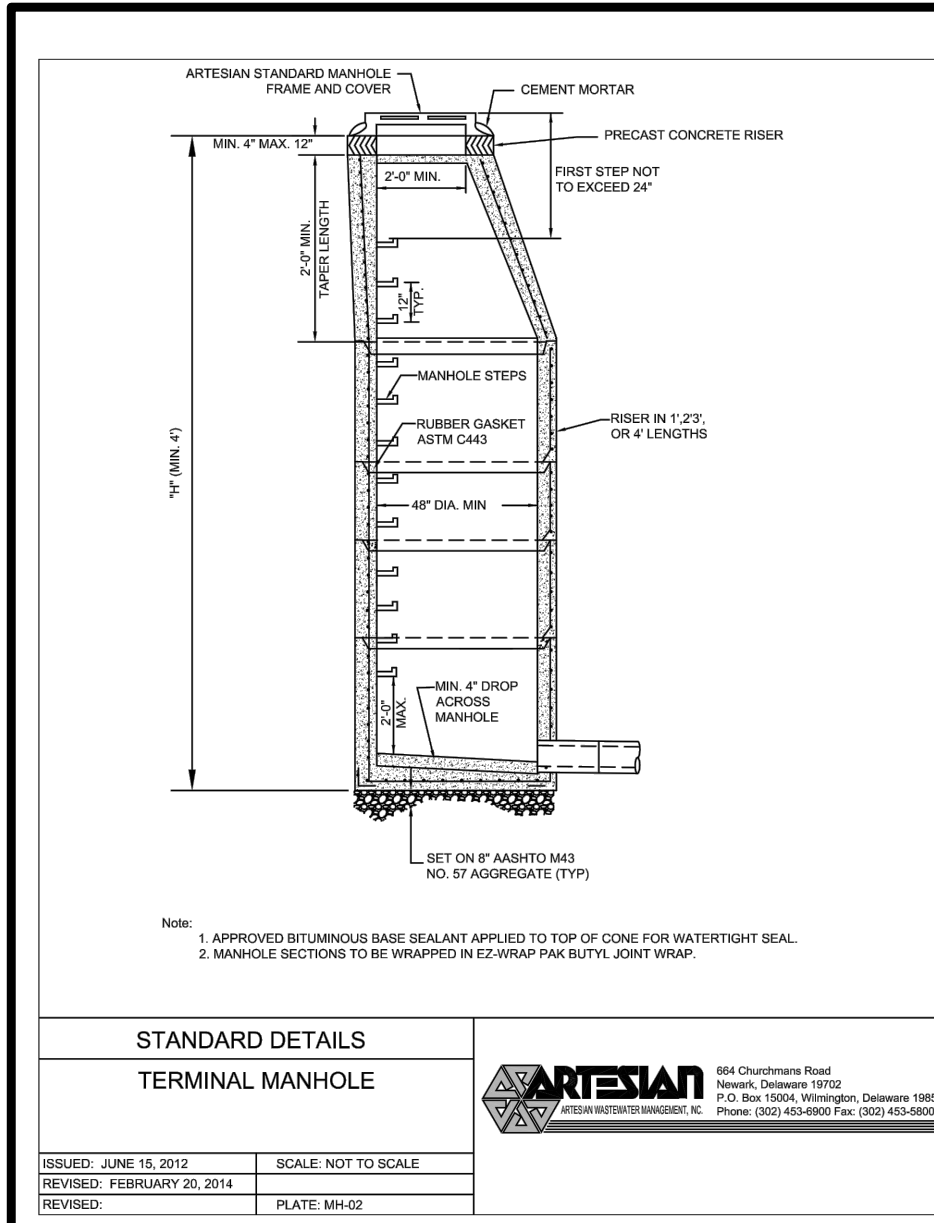
NO.	DATE	REVISIONS	BY
3	2024-05-12	REVISED PER ARTESIAN COMMENTS	RWS
2	2024-06-19	REVISED PER ARTESIAN COMMENTS	RWS
1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

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PROJECT: ENFCX21001
DATE: 2023-12-12
DRAWING SCALE: AS SHOWN
DRAWN BY: VPL
APPROVED BY: AMD

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054



SANITARY SEWER NOTES:

- ALL SEWER WORK PERFORMED WITHIN THE STATE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH ARTESIAN WASTEWATER MANAGEMENT INC. ENGINEERING STANDARDS AND SPECIFICATIONS. TRENCH RESTORATION SHALL BE IN ACCORDANCE WITH THE APPROVED UTILITY PERMIT.
- ALL LOTS ARE SUBJECT TO UTILITY EASEMENTS AS SPELLED OUT ON THE RECORD PLAN AND AS PER SUSSEX COUNTY PLANNING AND ZONING.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE AT 1-800-262-8555.
- ALL PIPING CROSSING DITCHES, SWALES AND WATER LINES WILL NEED TO BE CONCRETE ENCASED IF THE MINIMUM SEPARATION CANNOT BE MET: 10' SPACING HORIZONTALLY AND 18" SPACING VERTICALLY.
- ARTESIAN WASTEWATER MANAGEMENT INC. ENGINEERING SHALL BE NOTIFIED IN WRITING AT LEAST (5) DAYS PRIOR TO COMMENCING CONSTRUCTION.
- REVIEW AND/OR APPROVAL OF THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM HIS/her RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF ARTESIAN WASTEWATER MANAGEMENT INC. NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL MATERIALS/PRACTICES MAY BE REQUIRED AS DEEMED NECESSARY BY THE ARTESIAN WASTEWATER MANAGEMENT INC. ENGINEERING DEPARTMENT.
- DURING THE PLACEMENT OF THE CENTRAL SEWER SYSTEM SHOWN ON THE PLANS, FIELD ADJUSTMENTS MAY BE MADE TO ENSURE THAT PROPER PLACEMENT HAS BEEN MADE TO ARREST AND CONTROL ANY DIFFICULTIES THAT MIGHT OCCUR ONCE THE SYSTEM IS UP AND RUNNING.
- ANYTIME A PROBLEM OCCURS REGARDING THE CENTRAL SEWER SYSTEM THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO CORRECT THE PROBLEM, AT NO ADDITIONAL EXPENSE TO THE OWNER, AND IN ACCORDANCE WITH DNREC, DIVISION OF WATER RESOURCES AND THE ENGINEER.
- PIPELINE DETECTABLE TAPE SHALL BE INSTALLED CONTINUOUSLY ALONG ALL GRAVITY SEWERS. THE TAPE SHALL BE INSTALLED DIRECTLY ABOVE THE GRAVITY SEWER AND TWELVE INCHES FROM THE GROUND SURFACE. THE TAPE SHALL BE LINEGRAVITY TYPE III DETECTABLE TAPE AS MANUFACTURED BY LINEGRAVITY, INC. OF WHEATON, ILLINOIS, OR EQUAL. THE TAPE SHALL BE MINIMUM OF TWO INCHES WIDE, GREEN IN COLOR, IMPRINTED WITH THE WORDS "CAUTION - SEWER LINE BELOW", AND BE CAPABLE OF BEING DETECTED WITH INDUCTIVE METHODS.
- PIPE SHALL BE CAREFULLY HANDLED AND LOWERED INTO THE TRENCH. IN LAYING PIPE, SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT EACH LENGTH SHALL ABUT THE NEXT IN SUCH A MANNER THAT THERE SHALL BE NO SHOULDER OR UNEVENNESS OF ANY KIND ALONG THE INSIDE OF THE BOTTOM HALF OF THE PIPE LINE.
- NO WEDGING OR BLOCKING WILL BE PERMITTED IN LAYING ANY PIPE.
- CONSTRUCTION OF SANITARY SEWER LINES SHALL NOT BEGIN UNTIL GRADING IN THE PROXIMITY OF THE SEWER LINES IS WITHIN SIX (6) INCHES OF FINISHED GRADE.
- PIPE SHALL BE MANUFACTURED IN STANDARD LENGTHS NOT EXCEEDING TWENTY (20) FEET.
- PVC PIPE FITTINGS SHALL UTILIZE AN ELASTOMERIC O-RING GASKETED JOINT ASSEMBLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. PVC WYE BRANCHES, PIPE STOPPERS AND OTHER FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE SAME SPECIFICATIONS AND SHALL HAVE THE SAME THICKNESS, DEPTH OF SOCKET, AND ANNUAL SPACE AS THE PIPE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL WATER THAT MAY BE PRESENT IN THE EXCAVATION. THE CONTRACTOR SHALL PROVIDE FOR THE DISPOSAL OF WATER REMOVED FROM EXCAVATIONS, IN SUCH A MANNER AS SHALL NOT CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY OR TO ANY PORTION OF THE WORK COMPLETED OR IN PROGRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL EXCAVATION MADE. ALL SLIDES AND CAVES SHALL BE REMOVED, AT WHATEVER TIME AND UNDER WHATEVER CIRCUMSTANCES THEY MAY OCCUR.
- ALL WORK SHALL BE CONDUCTED IN SUCH MANNER AS TO PROTECT PERSONS AND PROPERTY AGAINST INJURY.
- BACKFILLING OF THE PIPE SHALL BE MADE WITH MATERIAL MEETING THE REQUIREMENTS OF BORROW TYPE "C". IF THE EXISTING MATERIAL MEETS THOSE REQUIREMENTS, IT SHALL BE USED FOR PIPE BACKFILL.
- THE CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AS RAPIDLY AS PRACTICABLE AFTER THE COMPLETION OF CONSTRUCTION WORK THEREIN OR AFTER THE EXCAVATIONS HAVE SERVED THEIR PURPOSE.
- ALL UNAUTHORIZED EXCAVATIONS MADE BY THE CONTRACTOR SHALL BE IMMEDIATELY BACKFILLED.

Pennoni

PENNONI ASSOCIATES INC.
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EAGLES NEST SENIOR CARE FACILITY

THE POINTE AT PRIME HOOK
 TAX MAP: 235-8-00-35-06
 28633 ZION CHURCH ROAD - (ISCR235)
 MILTON, SUSSEX COUNTY, DELAWARE 19968
 BROADKILL HUNDRED, SUSSEX COUNTY
UTILITY DETAILS
EAGLES NEST FELLOWSHIP CHURCH, INC.
 28633 ZION CHURCH ROAD - (ISCR235)
 MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY
2	2024-06-19	REVISED PER ARTESIAN COMMENTS	RWS
1	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS

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PROJECT: ENFCX21001
 DATE: 2023-7-18
 DRAWING SCALE: AS NOTED
 DRAWN BY: TOU
 APPROVED BY: AMD

CS6002

SHEET 14 OF 16

