

EAGLES NEST SENIOR CARE FACILITY

THE POINTE AT PRIME HOOK
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
FEBRUARY 2023

PREPARED FOR:
OWNER/DEVELOPER
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

SITE DATA:

- TAX MAP NUMBERS : 235-8.00-35.06
DEED BOOK: 4499, PAGE: 304
- OWNER INFO: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH RD
MILTON, DE 19968
- SITE ADDRESS : 26633 ZION CHURCH RD
MILTON, DE 19968
BROADKILL HUNDRED
SUSSEX COUNTY
- PLUS: APPLICATION # 2022-07-10
- # BUILDINGS: 1
FOOTPRINT: 54,228 SF
GROSS BUILDING AREA: 103,518 SF
UNITS: 110
FLOORS: 1 AND 3
- EXISTING TOTAL ACREAGE: 8.50± ACRES
- CURRENT ZONING: AR-1 (3.50 AC.) (AGRICULTURAL RESIDENTIAL) AND
C-1 (5.00 AC.) (GENERAL COMMERCIAL)
- REQUIRED SETBACKS (B.R.L.): (PER 115-77.1 B-2)
FRONT: 60 FT
SIDE: 20 FT
REAR: 30 FT
- REQUIRED LOT SIZE: AR-1 (115-25 A-1)
STANDARD LOT WIDTH: 100'
STANDARD LOT DEPTH: 100'
STANDARD LOT AREA: 20,000' S.F.
C-1 (115-77.1 B-1)
STANDARD LOT WIDTH: 150'
STANDARD LOT DEPTH: 100'
STANDARD LOT AREA: 3 ACRES
- 2019 FUTURE LAND USE AREA: EXISTING DEVELOPMENT AREA
- BUILDING HEIGHT: MAX 42' (PER 115-77.1 B-3)
- PRESENT USE: CAMP GROUND/RECREATION
- PROPOSED USE: NURSING AND SIMILAR CARE FACILITIES
- SITE CALCULATIONS
BUILDING AREA: EX. = 0.17 AC. PR. = 1.24 AC.
PAVEMENT AREA: EX. = 0.83 AC. PR. = 1.88 AC.
OPEN SPACE GRASS AREA: EX. = 7.69 AC. PR. = 5.88 AC.
TOTAL AREA: EX. = 8.50 AC. PR. = 8.50 AC.
PERCENTAGE OF IMPERVIOUS COVER: 2.92 AC. (30.74%)
EXISTING IMPERVIOUS COVER: 1.00 AC. (10.53%)
- FORESTED AREA: 0.25 ± ACRES
TOTAL AREA: 0.12 ± ACRES
IMPACTED: 0.13 ± ACRES
REMAINING:
- UTILITY SERVICES:
SEWER PROVIDER: PUBLIC - ARTESIAN WASTEWATER MANAGEMENT, INC
WATER PROVIDER: PUBLIC - ARTESIAN WATER COMPANY, INC
- SECTION 89 - SOURCE WATER PROTECTION:
A) A SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR, GOOD, AND EXCELLENT" GROUNDWATER RECHARGE.
THE PROPOSED IMPROVEMENTS WITHIN EXCELLENT GROUNDWATER RECHARGE AREA AT THE SITE, WHICH EXCEED 35% OR 60% OF THE EXCELLENT RECHARGE PORTION OF THE PARCEL, WILL BE REQUIRED TO MEET THE STANDARDS PROVIDED UNDER (89-7A THROUGH F)
TOTAL EXCELLENT GROUNDWATER AREA: 150,824 SF± (3.46 ACRES±)
IMPERVIOUS AREA: 44,753 SF± (1.03 ACRES±) (29.70%±)
B) SUBJECT PROPERTY IS NOT LOCATED IN WELLHEAD PROTECTION AREA EXCEPT FOR A SMALL PORTION ALONG THE NORTH PROPERTY LINE WITHIN THE AR-1 ZONES AREA
- WETLANDS
TIDAL: 0.00 ACRES
NON-TIDAL: 0.00 ACRES
- WATERSHED: PRIMEHOOK CREEK
- PROPOSED DISCHARGE LOCATION: ON SITE INFILTRATION BASINS 6.66 A.C.±
235-8.00-14.00-147 A.C.±
NORTH SIDE OF ZION CHURCH ROAD: 0.79 A.C.±
SOUTH SIDE OF ZION CHURCH ROAD: 0.71 A.C.±
TOTAL: 9.63 A.C.±
- FLOOD ZONE: FIRM NUMBER 10005C0166K ZONE X, DATED MARCH 16 2015, UNSHADED AREA
- WATERSHED: PRIMEHOOK CREEK
- PARKING (ARTICLE XXII: OFF-STREET PARKING, CODE SECTION 115-162)
REQUIRED PARKING:
SENIOR CARE FACILITY:
1 SPACE FOR EACH 4 PATIENT BEDS
TOTAL NO OF BEDS 116 BEDS / 4 = 30 SPACES
PLUS 1 SPACE PER 2 EMPLOYEES ON THE LARGEST SHIFT
40 EMPLOYEES ON THE LARGEST SHIFT = 20 SPACES
OFF-STREET PARKING INCREASED BY 20% DUE TO LARGE SCALE USE
50 x (20% x 7) = 70 SPACES
TOTAL SPACES: 74 SPACES
4 SPACES INCLUDED
- LOADING SPACE REQUIRED: 3 (PER 115-167)
- LOADING SPACE PROVIDED: 3
- 2020 STATE INVESTMENT AREA: LEVEL 4
- FIRE DISTRICT: MILTON FIRE CO.
- LATITUDE AND LONGITUDE STATE PLANE COORDINATES:
SITE BENCHMARK:
BENCHMARK #1 - CONCRETE MONUMENT
LONGITUDE: 75.283° W
LATITUDE: 38.807° N
- DATUM: HORIZONTAL = NAD83
VERTICAL = NAVD88
- LOCAL GOVERNMENT RESPONSIBLE FOR LAND USE APPROVAL: SUSSEX COUNTY
- HENLOPEN TID: NOT INCLUDED
- STATE TAX DITCH AREAS AND RIGHT OF WAY LIMITS: NOT INCLUDED

LEGEND

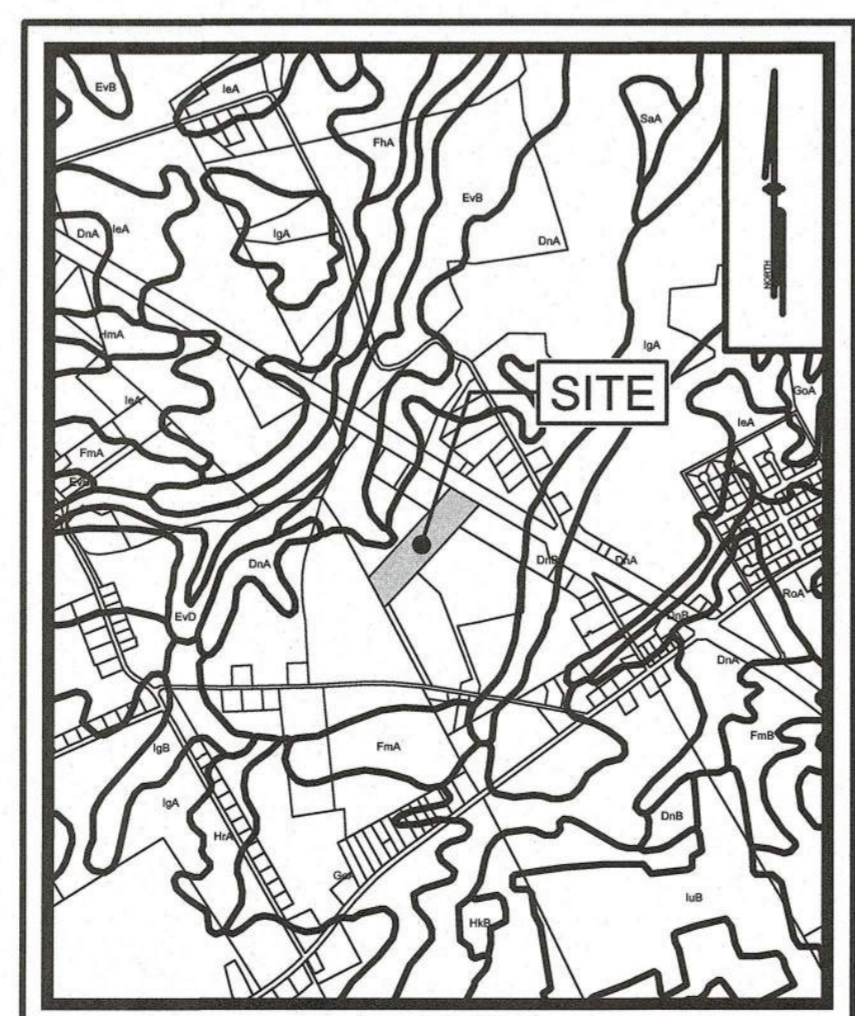
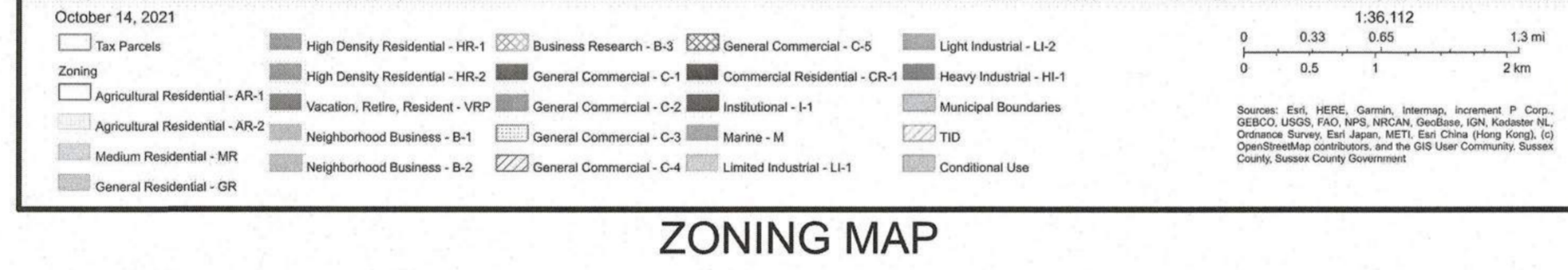
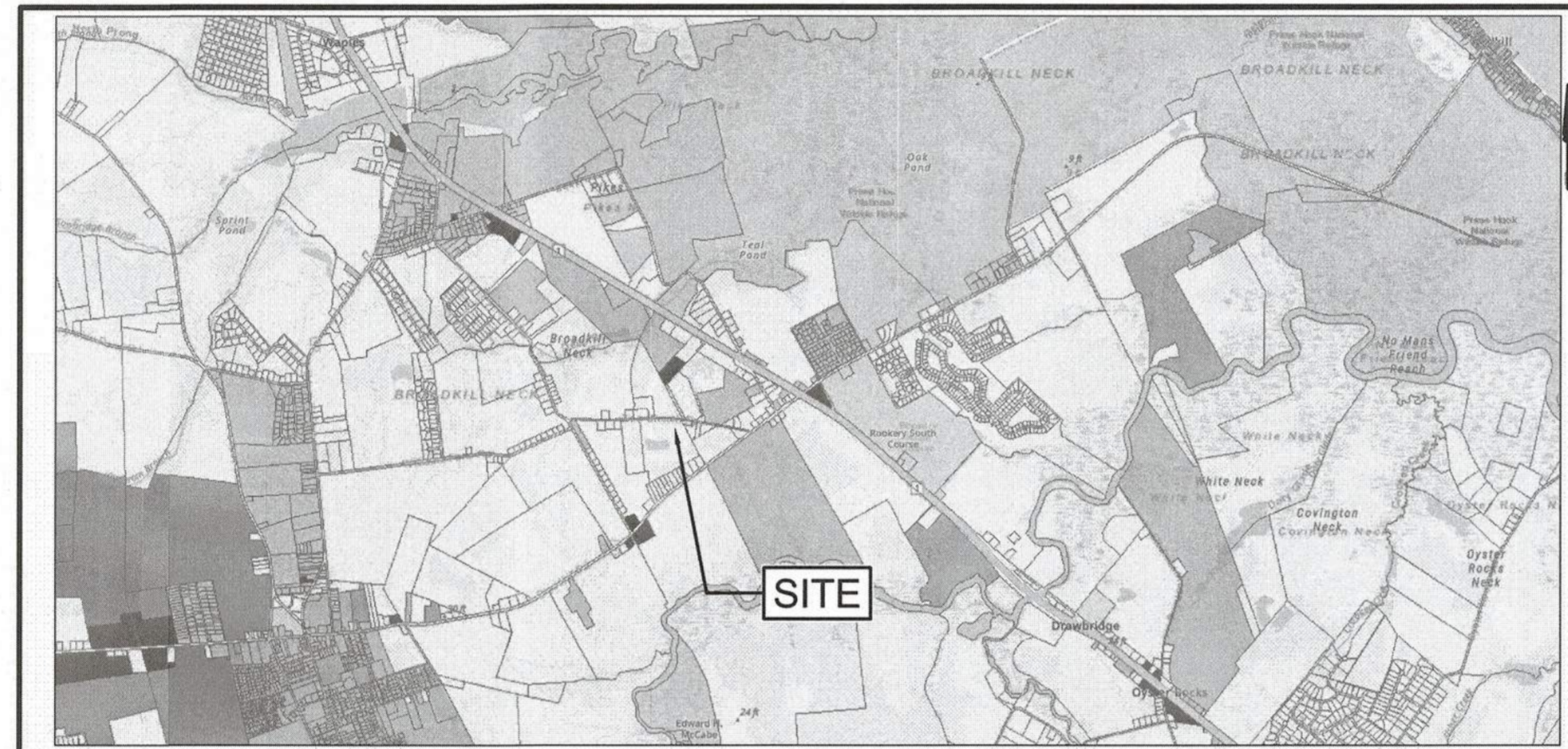
EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	MINOR CONTOUR
[Symbol]	[Symbol]	MAJOR CONTOUR
[Symbol]	[Symbol]	MARKING, HANDICAP PARKING
[Symbol]	[Symbol]	CONCRETE

CONFORMED COPY
Document # 202400020588 BK: 427 PG: 84
On 6/17/2024 at 1:22:53 PM
RECORDER OF DEEDS Alexandra Reed Baker
Sussex County
Consideration: \$0.00

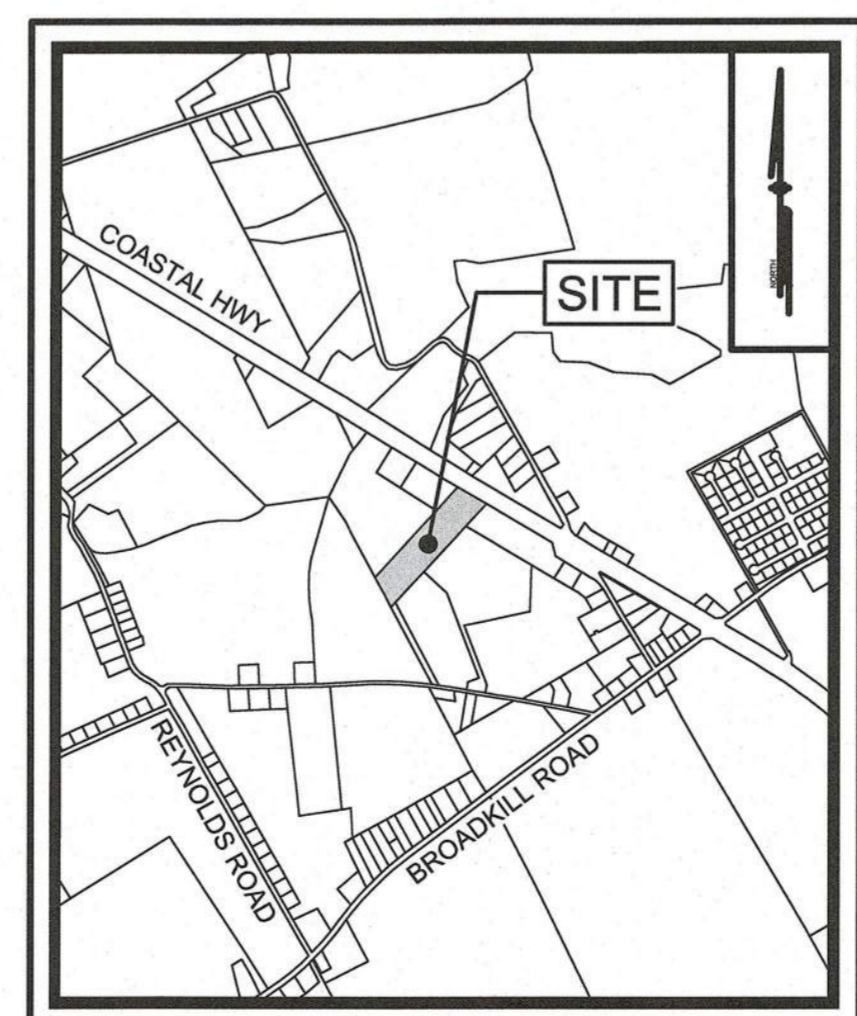
SOILS

TYPE	DESCRIPTION	HYDROLOGIC SOIL
FmB	FORT MOTT LOAMY SAND, 2 TO 5 PERCENT SLOPES	A
DnA	DOWNER LOAMY SAND, 0 TO 2 PERCENT SLOPES	A
DnB	DOWNER LOAMY SAND, 2 TO 5 PERCENT SLOPES	A

THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0166K, MAP REVISED MARCH 16, 2015, ZONE X, UNSHADED, RATE MAP NUMBER 1000C0167K, MAP REVISED MARCH 16, 2015, ZONE X, UNSHADED



SOILS MAP
SCALE: 1"=2000'



LOCATION MAP
SCALE: 1"=2000'

TRAFFIC GENERATION - ZION CHURCH ROAD (S235) (FULL MOVEMENT)

EXISTING
94 (36) [6] 377 (151) [22] 1,249
802

EXISTING AND PROPOSED
122 (40) [8] 487 (160) [29] 1,249
802

ROAD TRAFFIC DATA:
FUNCTIONAL CLASSIFICATION - (SCR 235) - ZION CHURCH ROAD - LOCAL
UNPOSTED SPEED LIMIT - 50 MPH
AADT = 1,768 TRIPS (FROM 2021 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 1,16 x 1,768 = 2,051 TRIPS
TRAFFIC PATTERN GROUP = 7 (FROM 2021 DELDOT TRAFFIC SUMMARY)
PEAK HOUR (K FACTOR) - 16.40%
TRUCK VOLUME (D FACTOR) - 1.80%
DISTRIBUTION % (60.90)

SITE TRAFFIC DATA:
SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION
EXISTING LAND USE:
380 STUDENTS - PRIVATE SCHOOL, (K-12) (ITE 532)
380 AVG. RATE = 2,448 = 942 TRIPS (WEEKDAY) (471 IN / 471 OUT)

PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PEAK: AVG. RATE = 0.79 = 300 TRIPS (WEEKDAY) [63% / 37%] (189 IN / 111)
PM PEAK: AVG. RATE = 0.17 = 65 TRIPS (WEEKDAY) [43% / 57%] (28 / 37)

38,398 SF - CHURCH (ITE 560)
38.40 KSF: 317 TRIPS (SUNDAY) (158 IN / 159 OUT)
[PER TRAFFIC COUNT DATA]

PEAK HOUR OF ADJACENT STREET TRAFFIC:
38.40 KSF: 286 TRIPS (SUNDAY PEAK) (137 IN / 149 OUT)
(15 IN / 18 OUT) WESTERN DIRECTION
(122 IN / 131 OUT) EASTERN DIRECTION
[PER TRAFFIC COUNT DATA]

PROPOSED LAND USE:
110 BEDS - ASSISTED LIVING (ITE 254)
110 BEDS: AVG. RATE = 2.60 = 276 TRIPS (WEEKDAY) (138 IN / 138 OUT)

PEAK HOUR OF ADJACENT STREET TRAFFIC:
AM PEAK: AVG. RATE = 0.18 = 19 TRIPS (WEEKDAY) [60% / 40%] (11 / 8)
PM PEAK: AVG. RATE = 0.24 = 25 TRIPS (WEEKDAY) [39% / 61%] (9 / 16)

DIRECTIONAL DISTRIBUTION / ENTRANCE UTILIZATION:
80% TO AND FROM EAST = 974 TRIPS, PEAK AM (160) [95], PEAK PM (29) [43]
20% TO AND FROM WEST = 244 TRIPS, PEAK AM (40) [24], PEAK PM (8) [10]
EXISTING TRAFFIC = 942 TRIPS (WEEKDAY) (471 IN / 471 OUT)
EXISTING TRAFFIC = 317 TRIPS (SUNDAY)
PROPOSED TRAFFIC = 276 TRIPS (WEEKDAY)
TOTAL NEW ADT = 1,216 TRIPS (609 IN / 609 OUT) WEEKDAY
SITE TRUCK TRAFFIC = 61 TRIPS (6%)

TRAFFIC GENERATION DIAGRAM
ADT PEAK HOUR (AM), ADT PEAK HOUR (PM)
1 DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT
2 DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL
DESIGN VEHICLE - WB-40 & SU-30

Sheet List Table

Sheet #	Drawing #	Sheet Title
1	RP0001	COVER SHEET
2	RP1001	RECORD PLAN KEY SHEET
3	RP1002	RECORD PLAN

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):

OWNER CERTIFICATION:
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE: [Signature]
EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD,
MILTON, DE 19968
(302) 684-3149
PASTOR JOHN@EAGLESNEST.CH

ENGINEER CERTIFICATION:
IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE COMPLIES WITH APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

SIGNATURE: [Signature]
ALAN DECKTOR, P.E. (DE PE17774)
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968
OFFICE (302) 684-8030 - FAX (302) 684-8054
ADECKTOR@PENNONI.COM

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EAGLES NEST SENIOR CARE FACILITY
THE POINTE AT PRIME HOOK
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COVER SHEET

EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

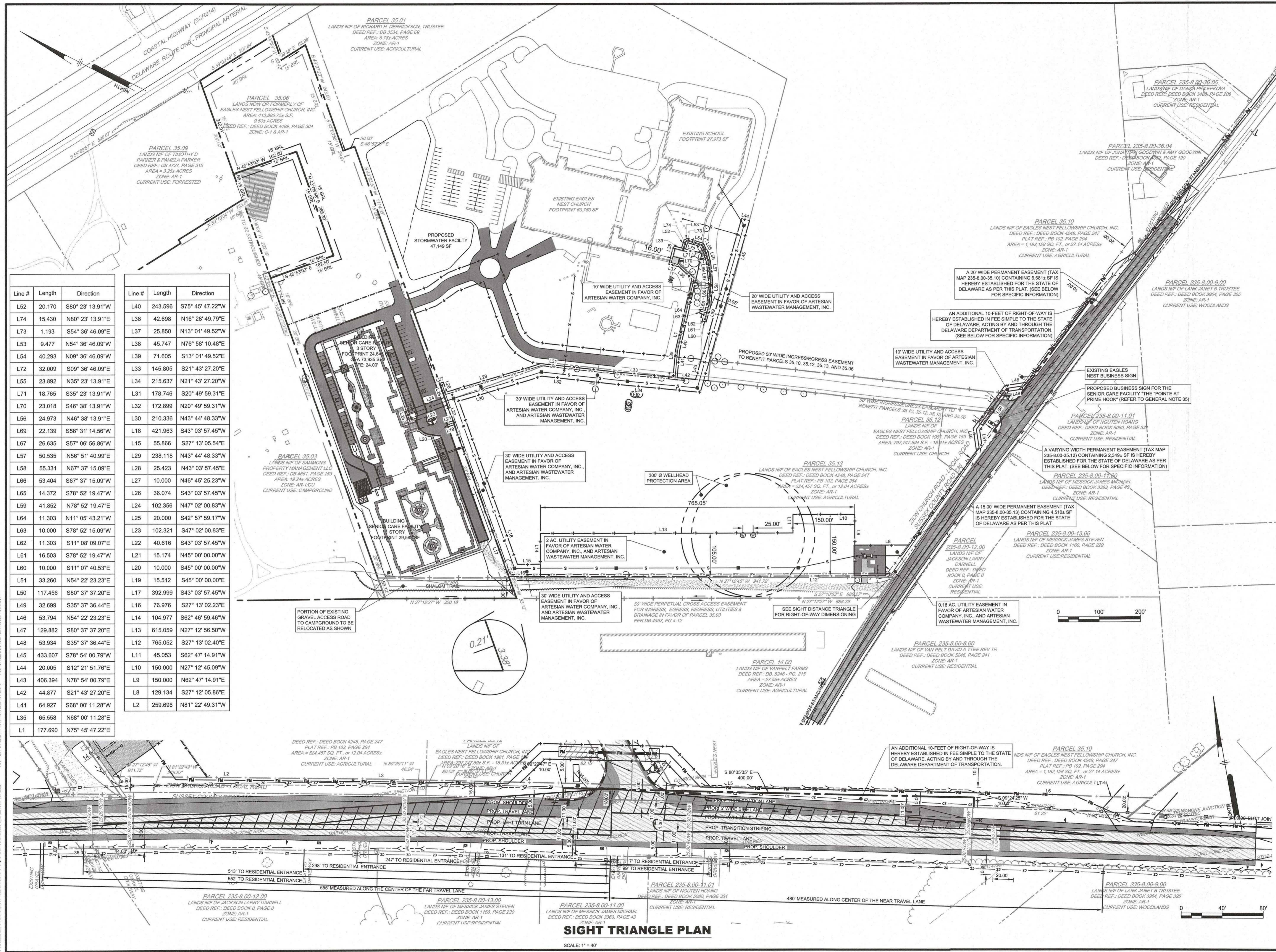
NO.	DATE	REVISIONS
3	2024-06-12	REVISED PER COUNTY PZ COMMENTS
2	2024-05-23	REVISED PER ARTESIAN COMMENTS
1	2023-03-29	REVISED PER DELDOT COMMENTS

PROJECT: ENFCX21001
DATE: 2023-02-22
DRAWING SCALE: AS SHOWN
DRAWN BY: LFS
APPROVED BY: AMD

RP0001

SHEET 1 OF 3





Line #	Length	Direction
L52	20.170	S80° 23' 13.91"W
L74	15.430	N80° 23' 13.91"E
L73	1.193	S54° 36' 46.09"E
L53	9.477	N54° 36' 46.09"W
L54	40.293	N09° 36' 46.09"W
L72	32.009	S09° 36' 46.09"E
L55	23.892	N35° 23' 13.91"E
L71	18.765	S35° 23' 13.91"W
L70	23.018	S46° 38' 13.91"W
L56	24.973	N46° 38' 13.91"E
L69	22.139	S56° 31' 14.56"W
L67	26.635	S57° 06' 56.86"W
L57	50.535	N56° 51' 40.99"E
L58	55.331	N67° 37' 15.09"E
L66	53.404	S67° 37' 15.09"W
L65	14.372	S78° 52' 19.47"W
L59	41.852	N78° 52' 19.47"E
L64	11.303	N11° 05' 43.21"W
L63	10.000	S78° 52' 15.09"W
L62	11.303	S11° 08' 09.07"E
L61	16.503	S78° 52' 19.47"W
L60	10.000	S11° 07' 40.53"E
L51	33.260	N54° 22' 23.23"E
L50	117.456	S80° 37' 37.20"E
L49	32.699	S35° 37' 36.44"E
L46	53.794	N54° 22' 23.23"E
L47	129.882	S80° 37' 37.20"E
L48	53.934	S35° 37' 36.44"E
L45	433.607	S78° 54' 00.79"W
L44	20.005	S12° 21' 51.76"E
L43	406.394	N78° 54' 00.79"E
L42	44.877	S21° 43' 27.20"E
L41	64.927	S68° 00' 11.28"W
L35	65.558	N68° 00' 11.28"E
L1	177.690	N75° 45' 47.22"E

Line #	Length	Direction
L40	243.596	S75° 45' 47.22"W
L36	42.698	N16° 28' 49.79"E
L37	25.850	N13° 01' 49.52"W
L38	45.747	N76° 58' 10.48"E
L39	71.605	S13° 01' 49.52"E
L33	145.805	S21° 43' 27.20"E
L34	215.637	N21° 43' 27.20"W
L31	178.746	S20° 49' 59.31"E
L32	172.899	N20° 49' 59.31"W
L30	210.336	N43° 44' 48.33"W
L18	421.963	S43° 03' 57.45"W
L15	55.866	S27° 13' 05.54"E
L29	238.118	N43° 44' 48.33"W
L28	25.423	N43° 03' 57.45"E
L27	10.000	N46° 45' 25.23"W
L26	36.074	S43° 03' 57.45"W
L24	102.356	N47° 02' 00.83"W
L25	20.000	S42° 57' 59.17"W
L23	102.321	S47° 02' 00.83"E
L22	40.616	S43° 03' 57.45"W
L21	15.174	N45° 00' 00.00"W
L20	10.000	S45° 00' 00.00"W
L19	15.512	S45° 00' 00.00"E
L17	392.999	S43° 03' 57.45"W
L16	76.976	S27° 13' 02.23"E
L14	104.977	S62° 46' 59.46"W
L13	615.059	N27° 12' 56.50"W
L12	765.052	S27° 13' 02.40"E
L11	45.053	S62° 47' 14.91"W
L10	150.000	N27° 12' 45.09"W
L9	150.000	N62° 47' 14.91"E
L8	129.134	S27° 12' 05.86"E
L2	259.698	N81° 22' 49.31"W

SIGHT TRIANGLE PLAN
SCALE: 1" = 40'

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

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THE POINTE AT PRIME HOOK
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MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY

RECORD PLAN KEY SHEET
EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY
4	2024-06-12	REVISED PER COUNTY PZ COMMENTS	RWS
3	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS
2	2023-05-01	REVISED PER DELDOT COMMENTS	LFS
1	2023-03-29	REVISED PER DELDOT COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR APPROVAL BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: ENFCX21001
DATE: 2023-02-22
DRAWING SCALE: AS SHOWN
DRAWN BY: LFS
APPROVED BY: AMD

RP1001

SHEET 2 OF 3

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER. THE CONTRACTOR SHALL ERRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
- THIS PLAN DOES NOT VERIFY THE EXISTENCE, OR NONEXISTENCE, OF EASEMENT OR RIGHT OF WAYS CROSSING THE SUBJECT PROPERTY.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY THE CONTRACTOR IN THE FIELD.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 10005C0166K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- SUBJECT PROPERTY IS CURRENTLY "A-R-1" (GENERAL COMMERCIAL/AGRICULTURAL RESIDENTIAL).
- THE SUBJECT SITE WILL BE CONSTRUCTED AS A SINGLE PHASE.
- TOTAL AREA FOR SUBJECT SITE IS 8.50 ACRES.
- THE BOUNDARY INFORMATION ON A TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DATED APRIL 2007.
- ALL PROPOSED LIGHTING WILL BE SUPPLIED BY BUILDING WALL PACKS AND PARKING LOT LIGHTS. REFER TO SITE LIGHTING PLAN.
- ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- STATE AND FEDERAL WETLANDS DO NOT EXIST ON THE SITE.
- STORMWATER IS CONVEYED ACROSS THE SITE WITH OVERLAND FLOW.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, STANDPIPE, FIRE DEPARTMENT CONNECTIONS AND SPRINKLER CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOOD, STEEL AND CONCRETE. AND WILL HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION, WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION, HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- LOCK BOX REQUIRED - CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE, BUT NOT IN PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), SEEDED AND MULCHED. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ROADWAY CONSTRUCTION.
- THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- THE ENTRANCES / EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION:
THE OWNER, SUSSEX CONSERVATION DISTRICT & DELDOT
- THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEEP CONDITION AT ALL TIMES.
- ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOP-SOILED, SEEDED AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.
- THE PROPOSED SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES UPON WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE INVOLVE DUST, NOISE, MANURE AND OTHER ODDORS, THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARM OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE ON ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM ANY SUCH AGRICULTURAL USES AND ACTIVITIES.

DELDOT RECORD/SITE PLAN NOTES (REVISED 3/21/2019):

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DELDOT) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS INTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- LOTS WILL BE PERMITTED TO HAVE ACCESS POINTS THAT COMPLY WITH THE DEVELOPMENT COORDINATION MANUAL (DCM) SPACING REQUIREMENTS OF CHAPTER 1 AND LIMITATIONS ON NUMBER OF ACCESS POINTS ESTABLISHED IN DCM CHAPTER 7. HORSESHOE DRIVEWAYS AND SECONDARY ENTRANCES REQUIRE ADDITIONAL DELDOT REVIEW AND SEPARATE PERMITTING, RESTRICTIONS AS DESCRIBED IN THE DCM CHAPTER 7 MAY PROHIBIT SOME SECONDARY ENTRANCE REQUESTS FROM BEING GRANTED.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG COASTAL HIGHWAY, SCR 014 WHICH HAS A FUNCTIONAL CLASSIFICATION OF OTHER PRINCIPAL ARTERIALS AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION, PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION. ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3-A: NOISE ABATEMENT CRITERIA). WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3-A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

BUILDING USE AND CONSTRUCTION

BUILDING	USE	CONSTRUCTION TYPE	FOOTPRINT	GFA	SPRINKLER
BUILDING 1	SENIOR CARE FACILITY	3-STORY TYPE II (NONCOMBUSTIBLE)	54,228	103,518	YES

FIRE MARSHAL NOTES:

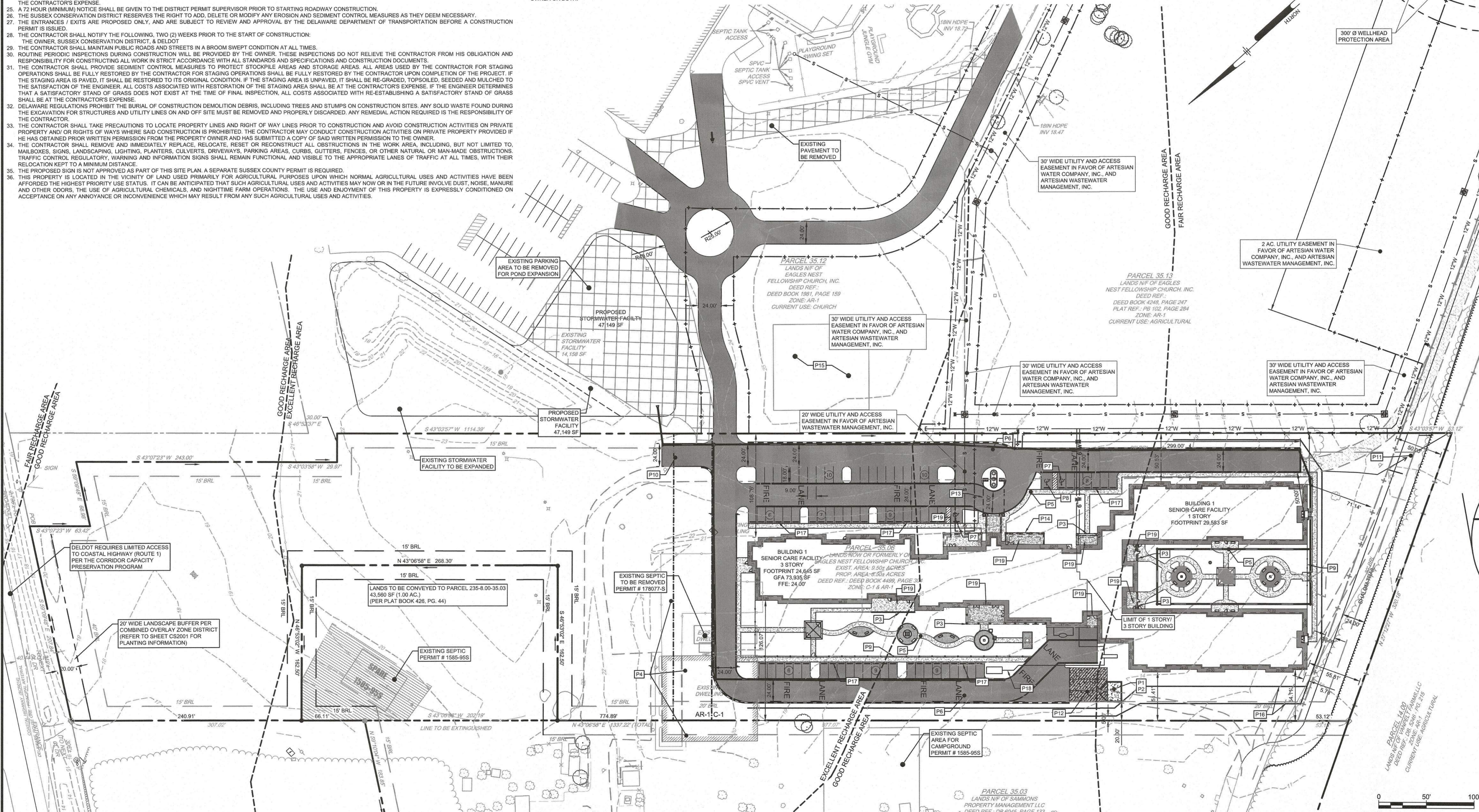
- SITE NAME/ADDRESS: EAGLES NEST SENIOR CARE FACILITY
26633 ZION CHURCH ROAD
MILTON, DE 19968
SUSSEX COUNTY, DELAWARE
- OWNER INFORMATION:
CURRENT OWNER/DEVELOPER: EAGLES NEST FELLOWSHIP CHURCH INC
26633 ZION CHURCH ROAD
MILTON, DE 19968
TAX MAP/PARCEL #: 335-8.00-35.06
GROSS ACREAGE: 8.50+ ACRES
- INTENDED USE: NURSING AND SIMILAR CARE FACILITIES
- WATER SUPPLIER: PUBLIC - ARTESIAN WATER COMPANY INC
- MAXIMUM BUILDING HEIGHT: 42' (PER 115-77.1-B-3)
- AUTOMATIC SPRINKLERS: YES
- FIRE DISTRICT: MILTON FIRE CO.
- BUILDING PERIMETER (2,195')
ACCESS REQUIRED 75% OF BUILDING: 1,647'
PROVIDED: 2,082'
- BUILDING PERIMETER (2,195')
FIRE LANE REQUIRED 35% OF BUILDING: 769'
PROVIDED: 780'

KEYED NOTES:

- PROPOSED DUMPSTER AREA TO BE ENCLOSED WITH 8" IN HIGH CMU WALL MATCHING THE EXTERIOR FINISH OF THE BUILDING; GATE TO BE SOLID MATERIAL AND MATCH EXTERIOR FINISH OF THE BUILDING
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 8/CS6001) PROPOSED OUTDOOR VERANDA
- EXISTING BUILDING AND POOL AREA TO BE REMOVED
- PROPOSED CONCRETE SIDEWALK (SEE DETAIL 6/CS6001)
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL 5/CS6001) ADA SPACE WITH SIGN MOUNTED ON POST (SEE DETAIL 14/CS6001)
- VAN ACCESSIBLE ADA SPACE (SEE DETAIL 4/CS6001)
- 8" HIGH OPAQUE PRIVACY PVC/VINYL FENCE (SEE DETAIL 12/CS6001)
- STUB FOR FUTURE CONNECTION
- EXISTING ACCESS WAY TO BE MODIFIED
- PROPOSED LOADING AREA 12' x 40'
- PROPOSED 13'-6" OVERHANG
- PROPOSED PORCH
- EXISTING EAGLES NEST SCHOOL/CHURCH SEPTIC AREA (SEPTIC PERMIT #178743, #158160, #210995, #245201)
- PROPOSED RETAINING WALL
- PROPOSED PARKING BUMPER (TYPICAL OF 54) (SEE DETAIL 7/CS6001)
- 16" X 7' GENERATOR PAD
- 1-STORY VERDANTAS

NOTES:

- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.



Pennon

PENNON ASSOCIATES INC.
18077 Davidson Drive
Milton, DE 19968
T 302.684.8030
F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ALAN M. DECKERT
LICENSED PROFESSIONAL ENGINEER
No. 17771
PROFESSIONAL ENGINEER
DELAWARE

EAGLES NEST SENIOR CARE FACILITY
THE POINTE AT PRIME HOOK
TAX MAP: 235-8.00-35.06
26633 ZION CHURCH ROAD - (SCR235)
MILTON, SUSSEX COUNTY, DELAWARE 19968
BROADKILL HUNDRED, SUSSEX COUNTY

RECORD PLAN

EAGLES NEST FELLOWSHIP CHURCH, INC.
26633 ZION CHURCH ROAD - (SCR235)
MILTON, DELAWARE 19968

NO.	DATE	REVISIONS	BY
1	2023-03-29	REVISED PER DELDOT COMMENTS	LFS
2	2024-05-23	REVISED PER ARTESIAN COMMENTS	RWS
3	2024-06-12	REVISED PER COUNTY PZ COMMENTS	RWS

PROJECT: ENFCX21001
DATE: 2023-02-22
DRAWING SCALE: 1"=50'
DRAWN BY: LFS/TOU
APPROVED BY: AMD

RP1002

SHEET 3 OF 3

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