

SITE DATA TABLE:

Table with 3 columns: Item Number, Description, and Value. Includes details like TAX MAP NUMBER, DEED REFERENCE, OWNER NAME, DEVELOPER NAME, etc.

BALLENGER SUBDIVISION RECORD PLAN

(2022-26)

234-11.00-103.00 & 234-11.00-103.01

INDIAN RIVER HUNDRED

SUSSEX COUNTY, DE

PREPARED FOR:

OWNER/DEVELOPER

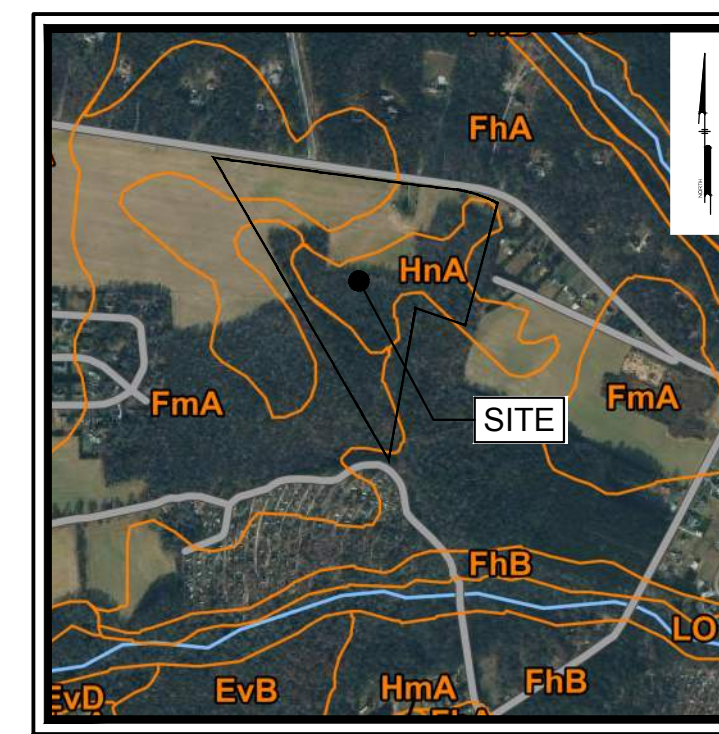
RIBERA DEVELOPMENT, LLC

8684 VETERANS HIGHWAY, SUITE 203

MILLERSVILLE, MD 21108

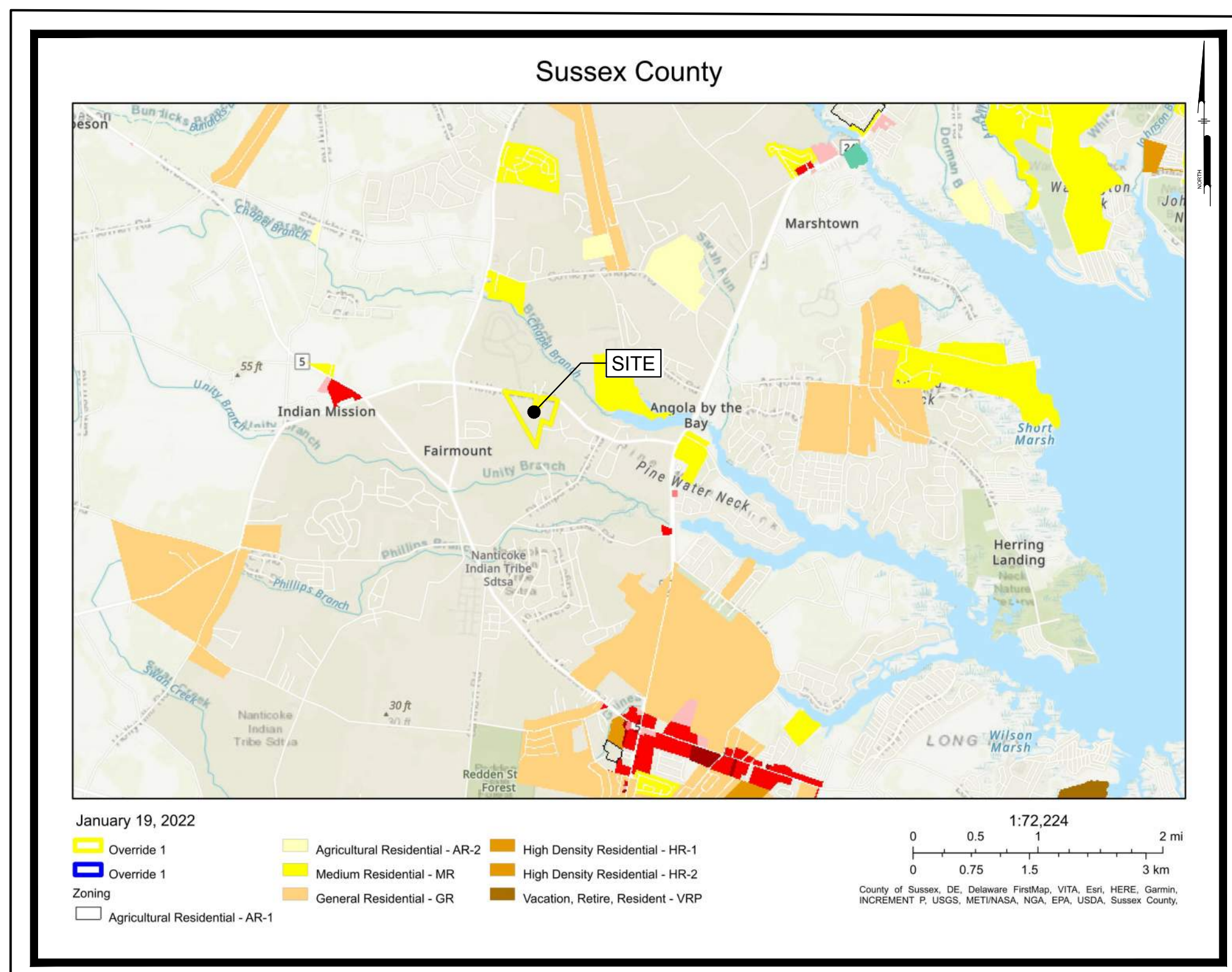
(443) 871-0486

LEGEND table with columns: EXISTING, PROPOSED, DESCRIPTION. Lists symbols for curb, pavement, easement, fence, etc.



SOILS MAP Scale: 1" = 1500'

SOILS table with columns: TYPE, DESCRIPTION, HYDROLOGIC SOIL. Lists soil types like FmA, FhA, FhB, HmA.



ZONING MAP Scale: 1" = 5000'

OWNERS, DEVELOPER, ENGINEER/PLANNER, SURVEYOR, ENVIRONMENTAL CONSULTANT, SCHOOL DISTRICT, FIRE DISTRICT, POSTAL DISTRICT, WATER UTILITY, SEWER UTILITY.

NOTES:

- 1. THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE ISSUANCE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED.
2. THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE RELEASE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED...

Sheet List Table with columns: Sheet #, Drawing #, Sheet Title. Lists sheets 1 through 8.

ENGINEER CERTIFICATION:

IT IS HEREBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDGE...

SIGNATURE: ALAN DECKTOR, PE (DE PE#17711) PENNONI ASSOCIATES, INC. DATE:

APPROVED BY

CHAIRMAN OR SECRETARY OF PLANNING & ZONING COMMISSION DATE

PRESIDENT OF SUSSEX COUNTY COUNCIL DATE

SUSSEX CONSERVATION DISTRICT

NAME DATE

OWNER CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

WARRINGTON ALTON F. HEIRS DATE: 31160 EDGEWATER DRIVE LEWES, DE 19958

DEVELOPER CERTIFICATION:

I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

RIBERA DEVELOPMENT, LLC DATE: C/O JOHN STAMATO 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108 (443) 871-0486 JOHNSTAMATO@RIBERADEV.COM

Pennoni logo and PENNONI ASSOCIATES INC. address and contact info: 18072 Davidson Drive, Milton, DE 19968. T 302.684.8030 F 302.684.8054

BALLENGER SUBDIVISION (2022-26) COVER SHEET RIBERA DEVELOPMENT, LLC 234-11.00-103.00 & 234-11.00-103.01 (HOLLYMOUNT ROAD (SCR 048) (SCR 048)) HARBESON, DE 19951 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108

Table with columns: REVISED PER ARTESIAN COMMENTS, REVISED PER DEDDOT COMMENTS, REVISED PER AWWI COMMENTS, REVISIONS, NO., DATE.

Table with columns: PROJECT, DATE, DRAWING SCALE, DRAWN BY, APPROVED BY, SHEET 1 OF 8. Values: RIBER21006, 2024-02-02, AS SHOWN, DTR, AMD, RP0001

PROJECT STATUS: PLOTTED: 1/18/2024 10:44 AM BY: jaysh@pennoni.com

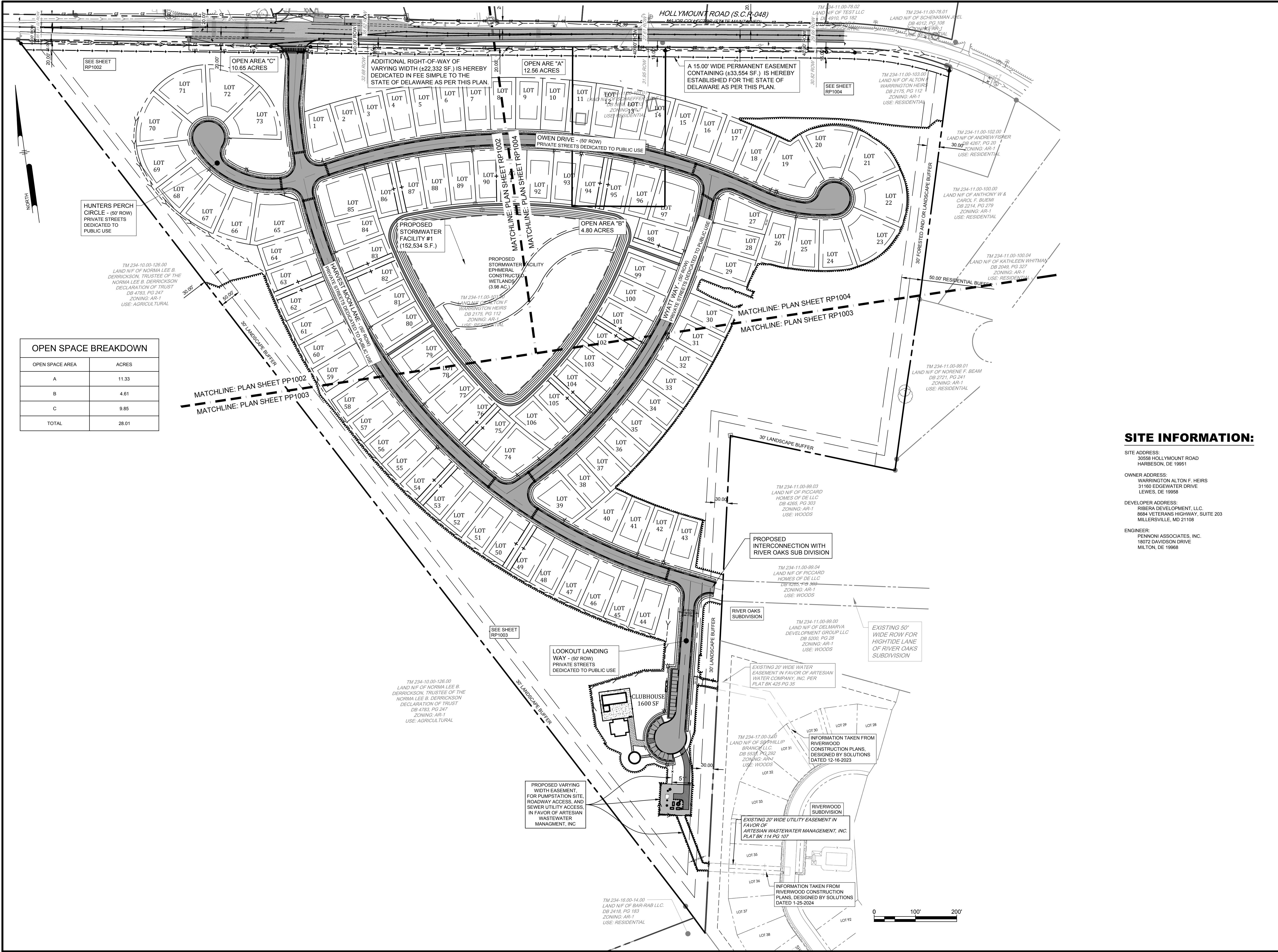
PREPARED BY: PENNONI ASSOCIATES INC.



18072 Davidson Drive Milton, DE 19968 T 302.684.8030 F 302.684.8054

CALL BEFORE YOU DIG Call Miss Utility of Delmarva 800-282-8555 Ticket Number(s): 231110947 23114203 231141219 231141228 231141236 231141238 231141246 231240997 231241006 231241007 231241008 231241012 231241013 231241015 231451052 231451054 231451056 231451057

WETLANDS CERTIFICATION: I, MICHAEL A. MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED IN THE PLANS SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM. THERE ARE NO KNOWN WETLANDS ON THE SUBJECT PROPERTY. SIGNATURE: MICHAEL A. MARRA, PWS # 3557 PENNONI ASSOCIATES, INC 18072 DAVIDSON DRIVE MILTON, DE 19968 OFFICE (302) 684-8030 - FAX (302) 684-8054 MMARRA@PENNONI.COM



OPEN SPACE BREAKDOWN	
OPEN SPACE AREA	ACRES
A	11.33
B	4.61
C	9.85
TOTAL	28.01

SITE INFORMATION:

SITE ADDRESS:
30558 HOLLYMOUNT ROAD
HARBESON, DE 19951

OWNER ADDRESS:
WARRINGTON ALTON F. HEIRS
31160 EDGEWATER DRIVE
LEWES, DE 19958

DEVELOPER ADDRESS:
RIBERA DEVELOPMENT, LLC
8694 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

BALLENGER SUBDIVISION
(2022-26)
234-11-00-103.00 & 234-11-00-103.01
HOLLYMOUNT ROAD (SCR 048) (SCR 048)
HARBESON, DE 19951

RECORD PLAN KEY SHEET
RIBERA DEVELOPMENT, LLC
8694 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
1	2024/07/29	REVISED PER AWM COMMENTS	VPL
2	2024-08-15	REVISED PER DEEDOT COMMENTS	LFS
3	2024-10-07	REVISED PER ARTESIAN COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

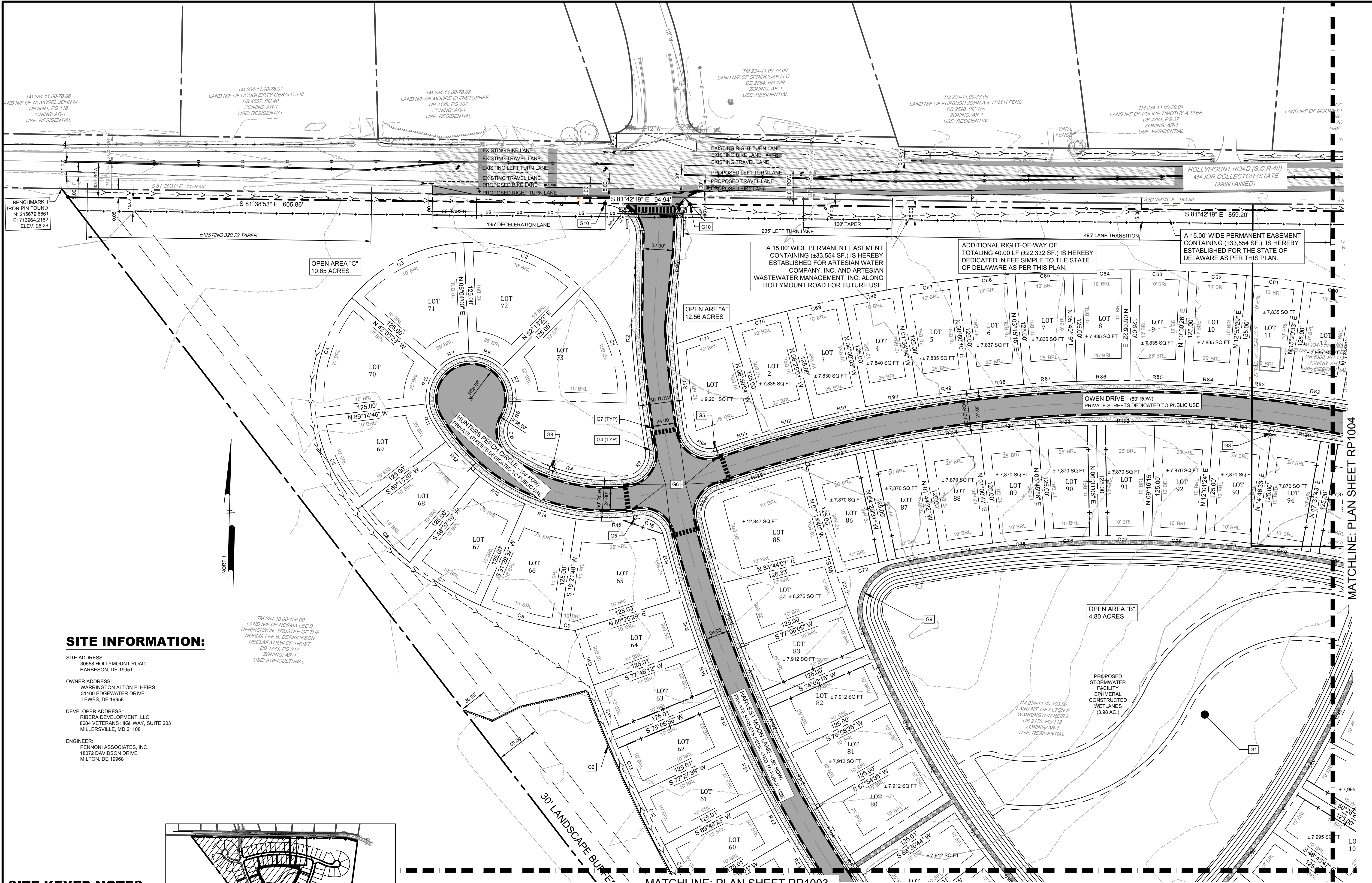
PROJECT	RIBER21006
DATE	2024-02-02
DRAWING SCALE	AS SHOWN
DRAWN BY	DTR
APPROVED BY	AMD

RP1001
SHEET 3 OF 8

PENNONI ASSOCIATES, INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PLOTTED: 10/20/24 11:11 PM BY: User: bshahid PROJECT STATUS: PLOTTED: Pennoni NCS.dwg



BENCHMARK
IRON PIN FOUND
N: 245679.6661
E: 113094.2162
ELEV: 26.26

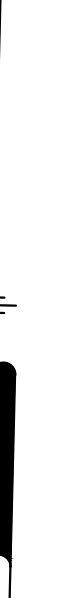
SITE INFORMATION:

SITE ADDRESS:
30558 HOLLYMOUNT ROAD
HARBESON, DE 19951

OWNER ADDRESS:
WARRINGTON ALTON F. HEIRS
31160 EDGEWATER DRIVE
LEWES, DE 19958

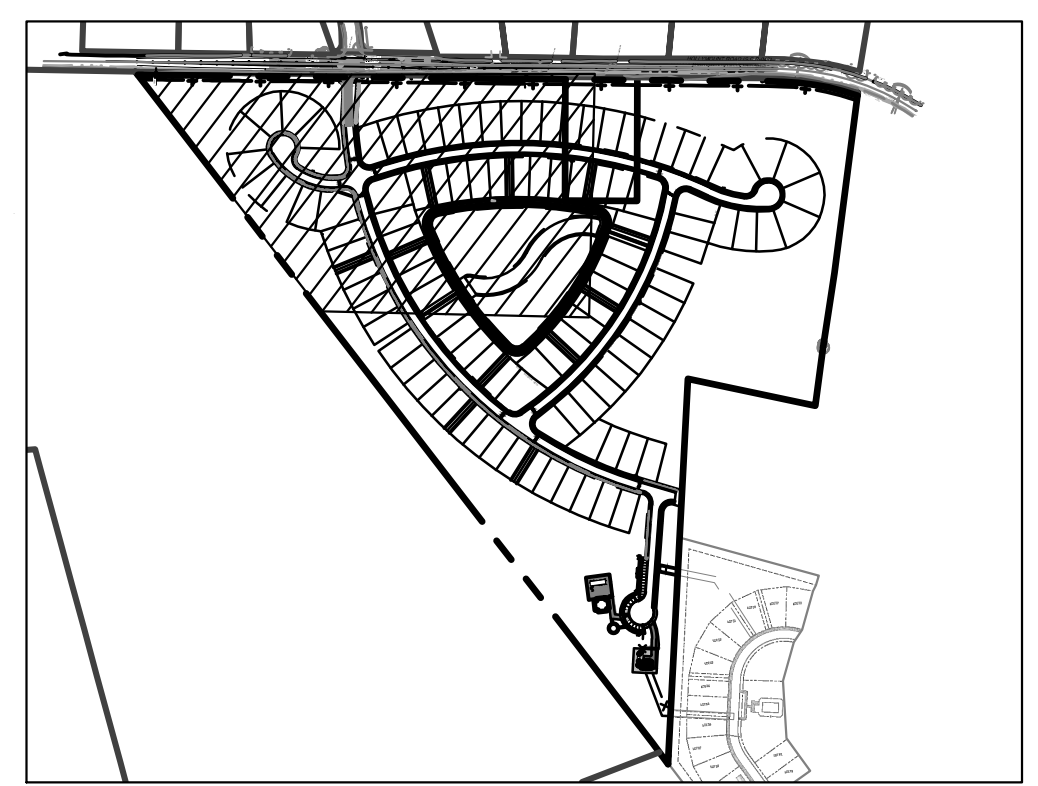
DEVELOPER ADDRESS:
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968



SITE KEYED NOTES

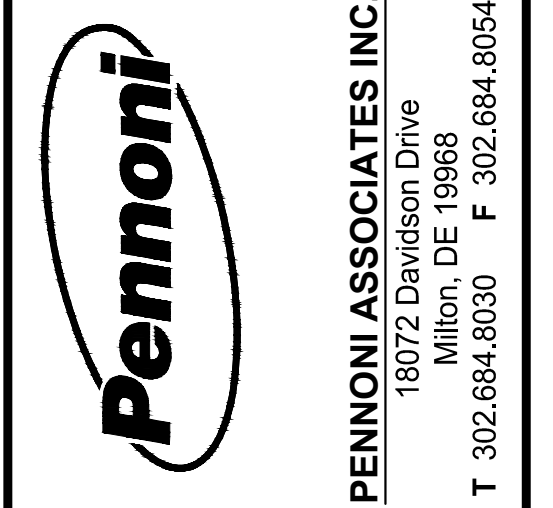
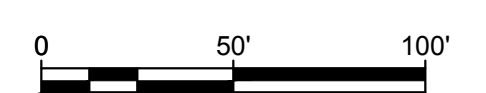
- G1 PROPOSED STORMWATER FACILITY
- G2 PROP. TREE LINE
- G4 PROPOSED 5' SIDEWALK PER SUSSEX COUNTY STANDARDS
- G5 PROP. STOP SIGN, TYP.
- G6 PROP. ADA CURB RAMP, DELDOT TYPE 3, TYP.
- G7 PROP. TYPE 2 CURB AND GUTTER
- G8 PROP. STREET LIGHT
- G9 PROP. WALKING PATH
- G10 INSTALL PROPOSED R.O.W. MONUMENTATION PER DETAIL M-2 & DCM 3.2.4.2 (TYP.)



SITE KEY MAP

MATCHLINE: PLAN SHEET RP1003

MATCHLINE: PLAN SHEET RP1004



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

BALLENGER SUBDIVISION
(2022-26)
234-11-00-103.00 & 234-11-00-103.01
HOLLYMOUNT ROAD (SCR 048) (SCR 048)
HARBESON, DE 19951

RECORD PLAN
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
3	2024-07-29	REVISED PER AMM COMMENTS	VFL
2	2024-08-15	REVISED PER DELDOT COMMENTS	LFS
1	2024-10-07	REVISED PER ARTESIAN COMMENTS	LFS

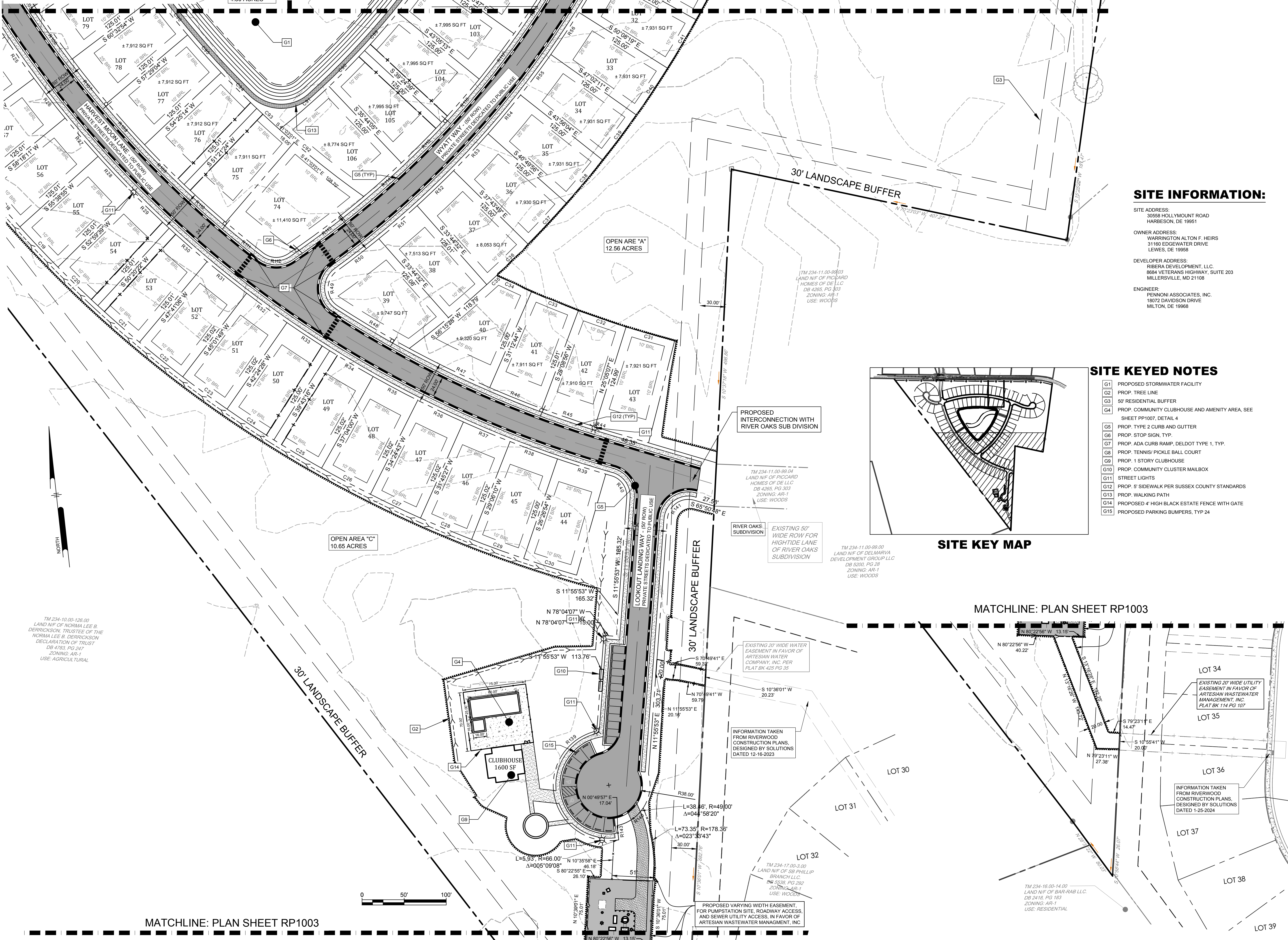
PROJECT: RIBER21006
DATE: 2024-02-02
DRAWING SCALE: AS SHOWN
DRAWN BY: DTR
APPROVED BY: AMD

RP1002
SHEET 4 OF 8

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

MATCHLINE: PLAN SHEET RP1002

MATCHLINE: PLAN SHEET RP1004



SITE INFORMATION:

SITE ADDRESS:
3055 HOLLYMOUNT ROAD
HARBESON, DE 19951

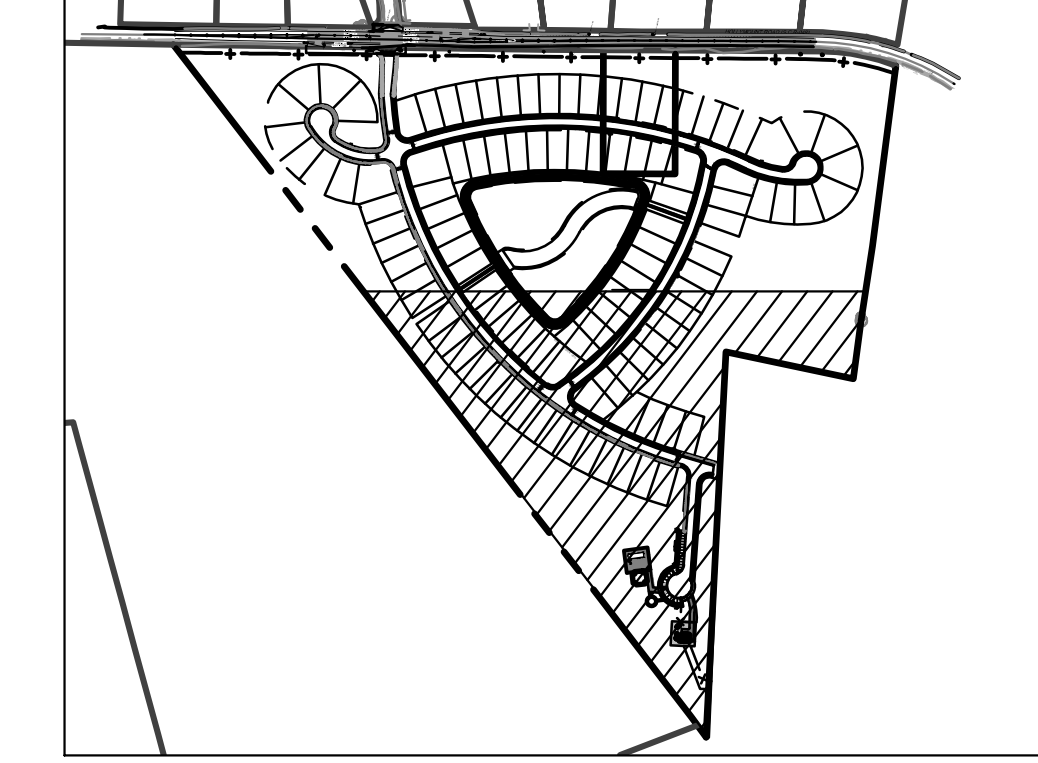
OWNER ADDRESS:
WARRINGTON ALTON F. HEIRS
31160 EDGEWATER DRIVE
LEWES, DE 19958

DEVELOPER ADDRESS:
RIBERA DEVELOPMENT, LLC.
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

SITE KEYED NOTES

- G1 PROPOSED STORMWATER FACILITY
- G2 PROP. TREE LINE
- G3 50' RESIDENTIAL BUFFER
- G4 PROP. COMMUNITY CLUBHOUSE AND AMENITY AREA, SEE SHEET PP1007, DETAIL 4
- G5 PROP. TYPE 2 CURB AND GUTTER
- G6 PROP. STOP SIGN, TYP.
- G7 PROP. ADA CURB RAMP, DELDOT TYPE 1, TYP.
- G8 PROP. TENNIS/ PICKLE BALL COURT
- G9 PROP. 1 STORY CLUBHOUSE
- G10 PROP. COMMUNITY CLUSTER MAILBOX
- G11 STREET LIGHTS
- G12 PROP. 5' SIDEWALK PER SUSSEX COUNTY STANDARDS
- G13 PROP. WALKING PATH
- G14 PROPOSED 4' HIGH BLACK ESTATE FENCE WITH GATE
- G15 PROPOSED PARKING BUMPERS, TYP 24



SITE KEY MAP

MATCHLINE: PLAN SHEET RP1003

MATCHLINE: PLAN SHEET RP1003

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

BALLENGER SUBDIVISION
(2022-26)
234-11-00-103.00 & 234-11-00-103.01
HOLLYMOUNT ROAD (SCR 048)
HARBESON, DE 19951

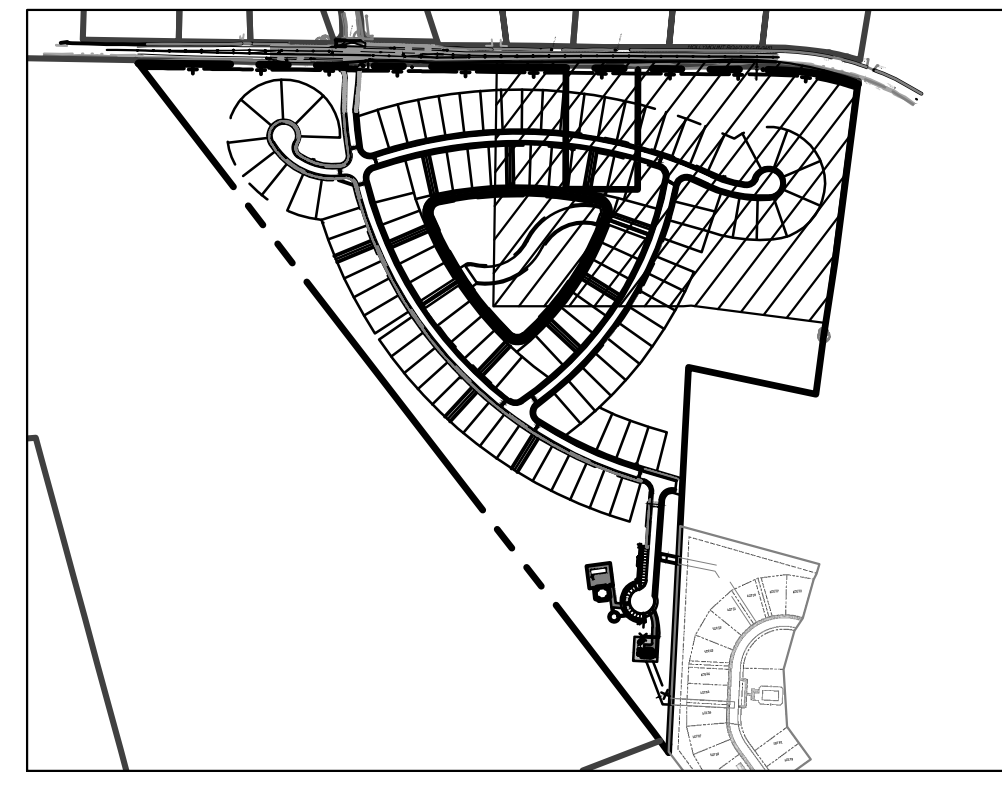
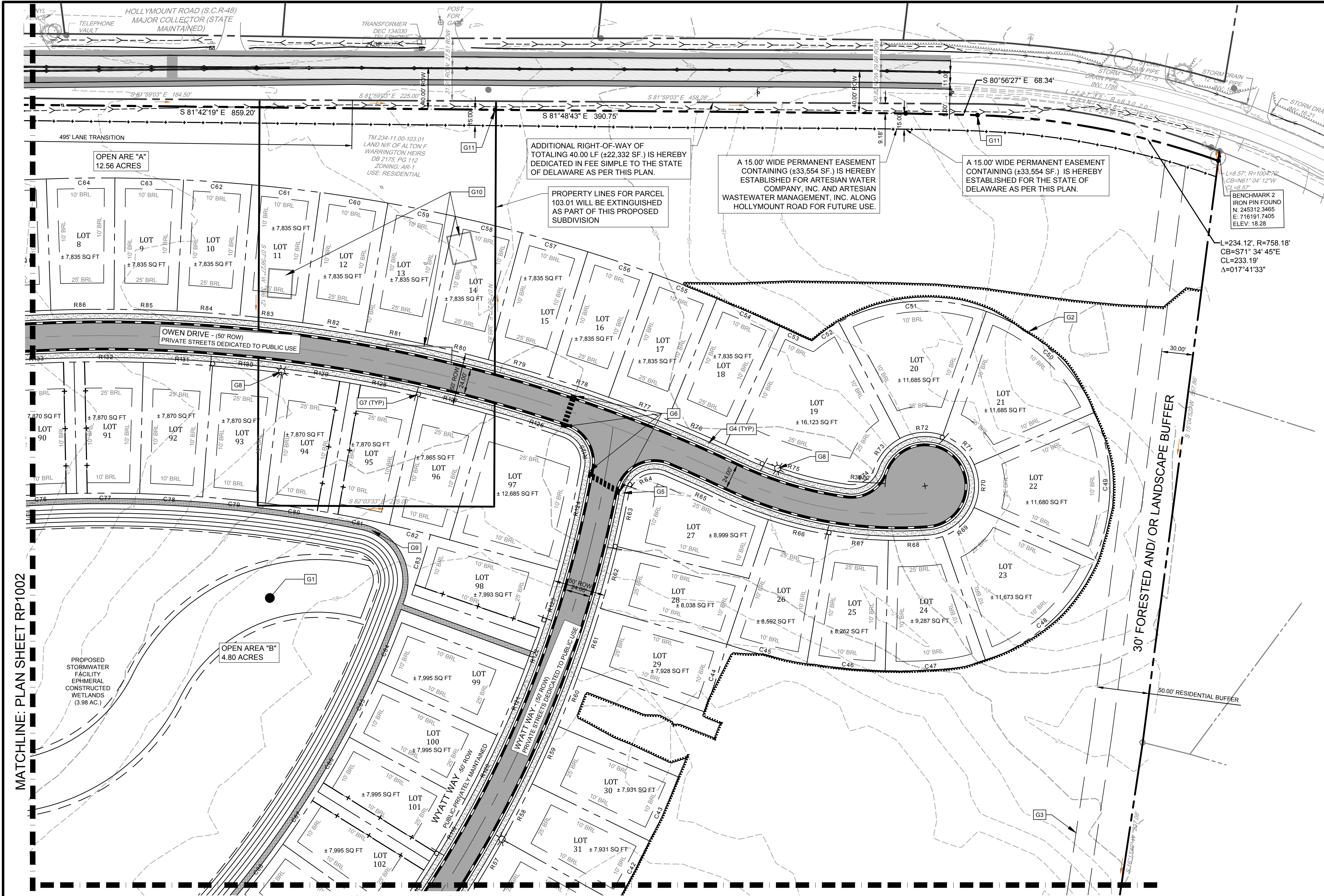
RECORD PLAN
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
1	2024/07/29	REVISED PER AWM COMMENTS	VFL
2	2024/08/15	REVISED PER DELDOT COMMENTS	LFS
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PROJECT	RIBER21006
DATE	2024-02-02
DRAWING SCALE	AS SHOWN
DRAWN BY	DTR
APPROVED BY	AMD

PROJECT STATUS: PLOTTED: 10/8/2024 10:08 AM BY: Logan Steinhilber PLOTTED BY: Pennoni Associates



SITE KEY MAP

SITE INFORMATION:

SITE ADDRESS:
30558 HOLLYMOUNT ROAD
HARBESON, DE 19951

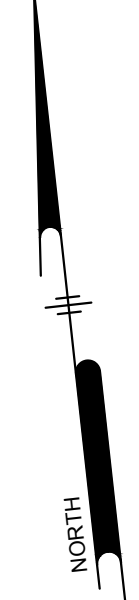
OWNER ADDRESS:
WARRINGTON ALTON F HEIRS
31160 EDGEWATER DRIVE
LEWES, DE 19958

DEVELOPER ADDRESS:
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

ENGINEER:
PENNONI ASSOCIATES, INC.
18072 DAVIDSON DRIVE
MILTON, DE 19968

SITE KEYED NOTES

- G1 PROPOSED STORMWATER FACILITY
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- G6 PROP. ADA CURB RAMP, DELDOT TYPE 3, TYP.
- G7 PROP. TYPE 2 CURB AND GUTTER
- G8 PROP. STREET LIGHT
- G9 PROP. WALKING PATH
- G10 EXISTING BUILDING TO BE REMOVED
- G11 INSTALL PROPOSED R.O.W. MONUMENTATION PER DETAIL M-2 & DCM 3.2.4.2 (TYP.)



MATCHLINE: PLAN SHEET RP1002

MATCHLINE: PLAN SHEET RP1003

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

BALLENGER SUBDIVISION
(2022-26)
234-11.00-.03.00 & 234-11.00-103.01
HOLLYMOUNT ROAD (SCR 048) (SCR 048)
HARBESON, DE 19951

RECORD PLAN
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
2	2024-10-07	REVISED PER ARTESIAN COMMENTS	LFS
1	2024-08-15	REVISED PER DELDOT COMMENTS	LFS

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PROJECT: RIBER21006
DATE: 2024-02-02
DRAWING SCALE: AS SHOWN
DRAWN BY: DTR
APPROVED BY: AMD

RP1004
SHEET 6 OF 8

PROJECT STATUS: PLOTTED: 1/8/2024 1:09 PM BY: Lupton, B. PROJECT: 234-11.00-103.01 SHEET: RP1004.DWG

