SITE DATA TABLE: . TAX MAP NUMBER: 234-11.00-103.00 & 234-11.00-103.01 DEED REFERENCE D.B. 2175 PG. 112 3. OWNER NAME: WARINGTON ALTON F. HEIRS 31160 EDGEWATER DRIVE 4. DEVELOPER NAME RIBERA DEVELOPMENT LLC 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108 30558 HOLLYMOUNT ROAD 5. SITE ADDRESS: HARBESON, DE 19951 HUNDRED/ COUNTY INDIAN RIVER, SUSSEX COUNTY . PRESENT ZONING AR-1 (AGRICULTURAL RESIDENTIAL) PRESENT USE: DETACHED SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS PROPOSED USE: [106 PROPOSED INDIVIDUAL LOTS] 2 EXISTING . EXISTING LOTS: 106 PROPOSED RESIDENTIAL LOTS PROPOSED LOTS: 10. PLUS NUMBER 2022-04-01 1. REQUIRED SETBACKS (B.R.L.): AR-1 CLUSTER DEVELOPMENT FRONT: 25 FEET 15 FEET CORNER: 10 FEET AR-1 (115-25 B-2) REQUIRED LOT AREAS: MINIMUM LOT WIDTH MAXIMUM LOT AREA 16,144 S.F. MINIMUM LOT AREA 7,514 S.F AVERAGE LOT AREA 8,555 S.F. 3. DWELLING UNIT CALCULATIONS: 53.54 ± AC GROSS AREA: AR-1 ZONING MINIMUM AREA: 7,500 S.F.. MIN. LOT AREA/UNITS: PERMITTED DENSITY (115-25 B3): AR-1 ZONING MAXIMUM DENSITY: 2 UNIT/ ACRE (107 UNITS) 106 SINGLE FAMILY DETACHED UNITS: 1.97± UNITS/ ACRE PROPOSED DENSITY: 14. BUILDING HEIGHT: 42' MAX. ALLOWED 15. WATER SUPPLY: PUBLIC - ARTESIAN WATER COMPANY, INC. A. SUBJECT PROPERTY IS WITHIN AN AREA OF "FAIR" GROUND SOURCE WATER PROTECTION: B. SUBJECT PROPERTY IS NOT LOCATED IN A WELLHEAD PROTECTION AREA 16. SEWER SUPPLY PUBLIC - ARTESIAN WASTEWATER MANAGEMENT, INC. (SUSSEX COUNTY TIER 3 - COORDINATED CPCN AREA) 17. STREETS: PRIVATE STREETS DEDICATED TO PUBLIC USE (99-18 D & E.) 18. REQUIRED PARKING: REQUIRED: (106x2) = 212 SPACES PROVIDED: 212 SPACES (DRIVEWAY AND GARAGE) CLUBHOUSE: 1 PER 200 SQUARE FEET OF FLOOR AREA REQUIRED: (1600/200) = 8 SPACES 19. LATITUDE AND LONGITUDE BENCHMARK 1 LONGITUDE: W 075° 12' 51.2308" LATITUDE: N 038° 40' 27.9617" STATE PLANE COORDINATES: LOW DENISTY FUTURE LAND USE MAP (2019): . POSTED SPEED LIMIT (HOLLYMOUNT ROAD) 23. PROPOSED DISCHARGE LOCATION HOLLYMOUNT ROAD 10.77 AC PARCEL 234-17.00-3.00 0.01 AC 24. WATERSHED: LOVE CREEK-REHOBOTH BAY HUC 8-02040303, HUC 10-0204030301 25. SITE AREA AND ACREAGE: GROSS ACREAGE: 53.54 ± AC. LOT AREA IMPERVIOUS: 4.71 ± AC OPEN SPACE: 26. IMPERVIOUS AREA: IMPERVIOUS - ROAD 2.99 ± AC. (5.6%) 27. FORESTED AREA: $29.55 \pm AC$. 28. OPEN SPACE AREA BREAKDOWN: PROPOSED 20' - 30' WIDE LANSCAPE/ FORESTED BUFFER: PASSIVE & ACTIVE RECREATION SPACE: 23.26 ± AC. REQUIRED OPEN SPACE: 21.49 ± AC. (40.0%) TOTAL REQUIRED ADJACENT OPEN SPACE TO EXISTING AGRICULTURAL FARMLAND/ WOODLAND (115 - 25, F-3-A-3-II) 30% OF REQUIRED OPEN SPACE: 30%(21.49 AC) = 6.45 AC PROPOSED OPEN SPACE "A": 11.33 AC. (21.2%) PROPOSED OPEN SPACE "C": 9.85 AC. (18.40%) (REFER TO OPEN SPACE AREA BREAK DOWN ON SHEET PP1001) 29. DATUM HORIZONTAL = NORTH AMERICAN DATUM 1983 (NAD83\2011): VERTICAL = NORTH AMERICAN VERTICAL DATUM 1988(NAVD88) 30. FLOOD ZONE: THIS PROPERTY IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 10005C0340K, MAP REVISED MARCH 16, 2015. AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED) FEDERALLY REGULATED NONTIDAL WETLAND AREA $0.00 \pm AC$. STATE REGULATED TIDAL WETLAND AREA: $0.00 \pm AC$. 32. HENLOPEN TID: 33. LOCAL GOVERNMENT RESPONSIBLE SUSSEX COUNTY FOR LAND USE APPROVAL: RIGHT OF WAYS: NOT INCLUDED PREPARED BY: PENNONI ASSOCIATES INC.

18072 Davidson Drive

Milton, DE 19968

T 302.684.8030

F 302.684.8054

/Pennoni/

BALLENGER SUBDIVISION RECORD PLAN

(2022-26)

234-11.00-103.00 & 234-11.00-103.01

INDIAN RIVER HUNDRED

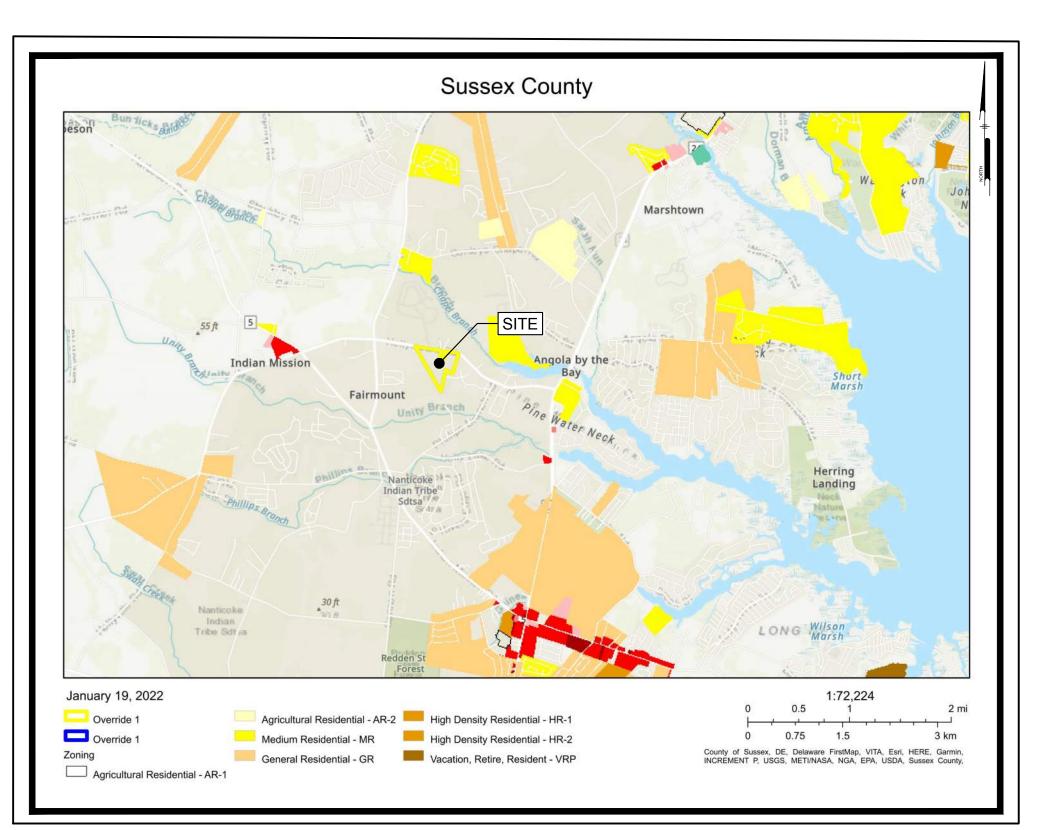
SUSSEX COUNTY, DE

PREPARED FOR: OWNER/DEVELOPER

RIBERA DEVELOPMENT, LLC

8684 VETERANS HIGHWAY, SUITE 203 **MILLERSVILLE, MD 21108**

(443) 871-0486



ZONING MAP Scale: 1" = 5000'

CALL BEFORE YOU DIG

Call Miss Utility of Delmarva

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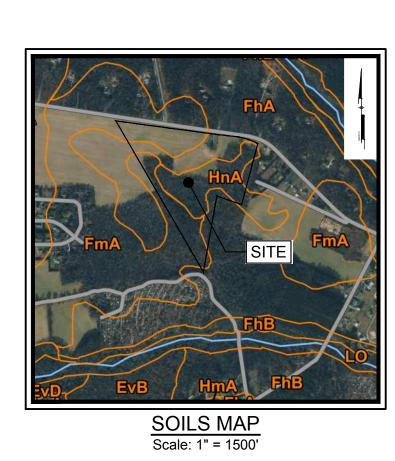
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231451052

231451054

231451056

800-282-8555



	SOILS	
TYPE	DESCRIPTION	HYDROLOGIC SOIL
FmA	FORT MOTT LOAMY SAND, 0 TO 2 PERCENT SLOPES	А
FhA	FORT MOTT-HENLOPEN COMPLEX, 0 TO 2 PERCENT SLOPES	А
FhB	FORT MOTT-HENLOPEN COMPLEX, 2 TO 5 PERCENT SLOPES	А
HnA	HAMMONTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	В
BASED ON F	EDERAL EMERGENCY MANAGEMENT AGENC	Y (FEMA) FLOOD

AN AREA DETERMINED TO LIE OUTSIDE THE 500 YEAR FLOODPLAIN.

31160 EDGEWATER DRIVE

DEVELOPER
RIBERA DEVELOPMENT, LLC

MILLERSVILLE, MD 21108

ENGINEER/ PLANNER PENNONI ASSOCIATES INC.

SURVEYOR PENNONI ASSOCIATES, INC.

18072 DAVIDSON DRIVE MILTON, DE 19968

18072 DAVIDSON DRIVE

MILTON, DE 19968

(302) 684-8030

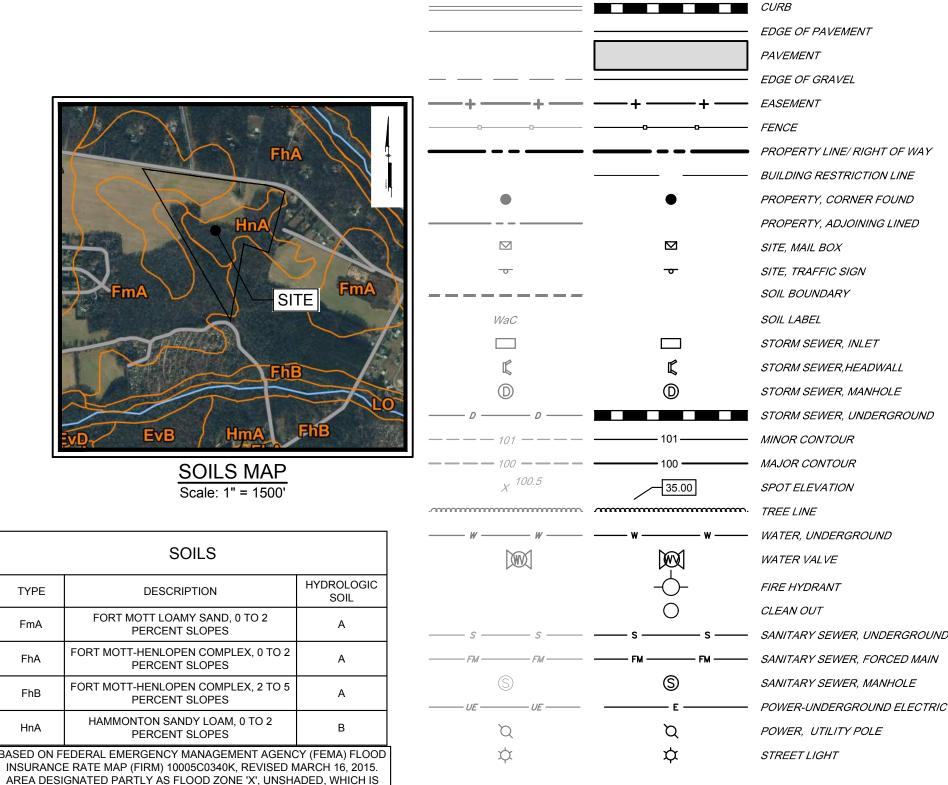
(302) 684-8030

FIRE DIST

SEWER L

8684 VETERAN'S HIGHWAY, SUITE 203

LEWES, DE 19958



LEGEND

NOTES:

THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE ISSUANCE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED. THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE RELEASE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED. THE CONSTRUCTION OF THE FULL MOVEMENT HAMMERHEAD SITE ENTRANCE SHALL BEGIN AND SHALL BE SUBSTANTIALLY COMPLETE. AS DEFINED PER THE DEPARTMENT'S AND SHALL BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 5TH BUILDING PERMIT. THE REMAINING CONSTRUCTION OF THE FULL MOVEMENT SITE ENTRANCE AND ALL ASSOCIATED ROADWAY AND PEDESTRIAN IMPROVEMENTS, AS DEPICTED IN THE DELDOT-APPROVED PLANS, SHALL BEGIN PRIOR TO THE ISSUANCE OF THE 6TH BUILDING PERMIT AND BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 26TH BUILDING ARTESIAN WATER COMPANY INC. & ARTESIAN WASTEWATER MANAGEMENT INC ARE

HERE BY GRANTED UNINTERRUPTED AND PERPETUAL EASEMENT WITHIN THE PRIVATE

	Sheet List Table							
Sheet # Drawing # Sheet Title								
1	RP0001	COVER SHEET						
2	RP1000	RECORD PLAN NOTES & DETAILS						
3	RP1001	RECORD PLAN KEY SHEET						
4	RP1002	RECORD PLAN						
5	RP1003	RECORD PLAN						
6	RP1004	RECORD PLAN						
7	RP1005	RECORD PLAN PARCEL CURVE DATA						
8	RP1006	RECORD PLAN R.O.W. CURVE DATA						

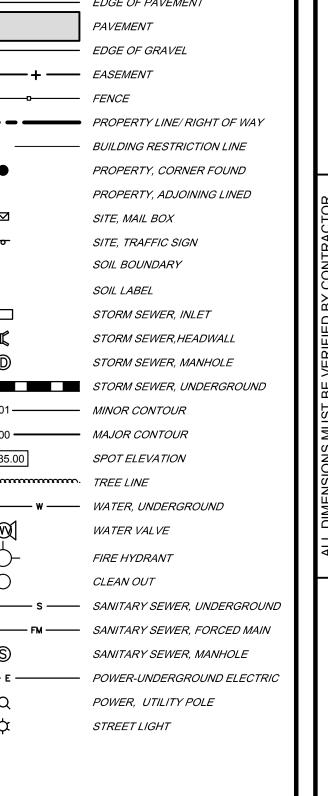
ALAN DECKTOR, PE (DE PE#17771)

PENNONI ASSOCIATÈS, INC 18072 DAVIDSON DRIVE

REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STRICT		1	RP0001	COVER SHEET	
RIVER FIRE CO. (80)		2	RP1000	RECORD PLAN NOTES & DETAILS	
<u>DISTRICT</u> RIVER		3	RP1001	RECORD PLAN KEY SHEET	
		4	RP1002	RECORD PLAN	
UTILITY - ARTESIAN WATER COMPANY INC		5	RP1003	RECORD PLAN	
UTILITY		6	RP1004	RECORD PLAN	
- ARTESIAN WASTEWATER MANAGEMENT INC.		7	RP1005	RECORD PLAN PARCEL CURVE DATA	
	J	8	RP1006	RECORD PLAN R.O.W. CURVE DATA	
				EER CERTIFICATION: REBY CERTIFIED THAT I AM A REGISTERED ENGINEER IN TI	HE STATE
			OF DEL PREPAI COMPL	AWARE, THAT THE INFORMATION SHOWN HEREON HAS BEI RED UNDER MY SUPERVISION, AND TO MY BEST KNOWLEDO IES WITH APPLICABLE STATE AND LOCAL REGULATIONS AN ANCES. THE DESIGN REPRESENTS GOOD ENGINEERING PR	EN GE ID

	MILTON, DE 19968 OFFICE (302) 684-8030 - FAX (302) 684-8054 ADECKTOR@PENNONI.COM
APPROVED BY	OWNER CERTIFICATION: I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE
CHAIRMAN OR SECRETARY OF PLANNING & ZONING COMMISSION DATE	LAWS AND REGULATIONS.
PRESIDENT OF SUSSEX COUNTY COUNCIL DATE (2022-26)	WARRINGTON ALTON F. HEIRS 31160 EDGEWATER DRIVE LEWES, DE 19958
SUSSEX CONSERVATION DISTRICT	DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AS SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE RECORDED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
NAME DATE	RIBERA DEVELOPMENT, LLC C/O JOHN STAMATO 8684 VETERANS HIGHWAY, SUITE 203 MILLERSVILLE, MD 21108 (443) 871-0486 JOHNSTAMATO@RIBERADEV.COM



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATE ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTE TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS (THE EXTENSIONS OF THE PROJECT OR ON ANY OTHE PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATI OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL IDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATI ARISING OUT OF OR RESULTING THEREFROM.

RIBER21006 AS SHOWN

THE SUBJECT PROPERTY.

WETLANDS CERTIFICATION: I, MICHAEL A. MARRA, PWS, DO HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION CONTAINED I THE PLANS SPECIFICATIONS AND REPORTS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENVIRONMENTAL PRACTICES, IS TRUE AND CORRECT. AND IS IN CONFORMANCE WITH THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM. THERE ARE NO KNOWN WETLANDS ON

MICHAEL A. MARRA, PWS # 3557 18072 DAVIDSON DRIVE MILTON, DE 19968

OFFICE (302) 684-8030 - FAX (302) 684-8054

MARRÀ@PENNONI.COM

PENNONI ASSOCIATES, INC

GENERAL NOTES: DELDOT RECORD/SITE PLAN NOTES (REVISED TRAFFIC GENERATION - HOLLYMOUNT ROAD (SCR 048) ALL PROPOSED ROADS SHOWN ARE PRIVATE AND ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN 3/21/2019): (FULL MOVEMENT) PROVIDE FOR SAID MAINTENANCE. THE STATE AND COUNTY ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS. STORMWATER SHALL BE HANDLED THROUGH THE DESIGN OF WET POND THAT WILL BE LOCATED ON SITE. THE MAINTENANCE OF ALL STORMWATER ROAD TRAFFIC DATA: MANAGEMENT FACILITIES CONSTRUCTED WITHIN THIS SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNER 1. ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT FUNCTIONAL CLASSIFICATION - S048 (HOLLYMOUNT ROAD) -COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL. ASSOCIATION CAN PROVIDE FOR SAID MAINTENANCE MAJOR COLLECTOR BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 10005C0340K, MAP REVISED MARCH 15, 2015. POSTED SPEED LIMIT - 45 MPH NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE AREA DESIGNATED PARTLY AS FLOOD ZONE 'X', UNSHADED. AADT = 2,469 TRIPS (FROM 2023 DELDOT TRAFFIC SUMMARY) 0.00 + AC FEDERALLY REGULATED NON-TIDAL WETLANDS EXIST ON THIS SITE 10 YEAR PROJECTED AADT= 1.16 x 2,469 TRIPS = 2,864 TRIPS ALL SUBDIVISION LOTS SHALL HAVE FIVE-FOOT-WIDE PUBLIC UTILITY EASEMENTS ALONG LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER TRAFFIC PATTERN GROUP = 5 (FROM 2023 DELDOT TRAFFIC SUMMARY) (10) FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN (10) FEET IN PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY. NO BUILDING, STRUCTURE OR OTHER PERMANENT OBSTRUCTION SHALL BE PLACED ON ANY **PEAK HOUR - 11.40%** THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN TRUCK VOLUME - N/A ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED DIRECTIONAL DISTRIBUTION = 57.60% / 42.40% THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, OR MODIFY ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE. DEEM NECESSARY. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOP SOILED (6" MINIMUM), FERTILIZED AND SEEDED. UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND THE PROPOSED ENTRANCES/EXITS ARE PROPOSED ONLY, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE DELAWARE DEPARTMENT OF 1.432 SITE TRAFFIC DATA: PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES. THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED _ 266 (10) [33] {25%} TRANSPORTATION BEFORE A CONSTRUCTION PERMIT IS ISSUED. WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION² A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION. PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION. 266 (10) [33] {25%} CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL. EXISTING LAND USE: VACANT FIELD VACANT LAND - FARM FIELD WITH OLD FARM HOUSE ALL SIGNING FOR MAINTENANCE OF TRAFFIC IS THE CONTRACTORS RESPONSIBILITY. AND SHALL FOLLOW THE GUIDELINES SHOWN IN LATEST EDITION HOLLYMOUNT ROAD OF DE MUTCD PRIVATE STREETS CONSTRUCTED WITHIN THIS SUBDIVISION SHALL BE MAINTAINED BY THE DEVELOPER, THE PROPERTY OWNERS PROPOSED LAND USE: 106 DWELLINGS - SINGLE FAMILY DETACHED HOUSING (ITE 210) DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DE MUTCD. WITHIN THIS SUBDIVISION OR BOTH (TITLE 17 §131). DELDOT ASSUMES NO RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF NO BUILDING PERMIT SHALL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED. CONSTRUCTED. OR PLACED FOR THE LOT .n(T)=0.92 Ln(X) +2.68 = 1,065 TRIPS (WEEKDAY) (532 ENTER / 533 EXIT) FOR WHICH THE PERMIT WILL BE ISSUED IN A MANNER ACCEPTABLE BY THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE FOR THE SIDEWALK. PEAK HOUR OF ADJACENT STREET TRAFFIC: ALL PROPOSED FOREST BUFFERS ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS A HOMEOWNERS ASSOCIATION CAN PROVIDE FOR AM: Ln(T)=0.91Ln(X)+0.12 = 79 TRIPS (WEEKDAY) [25% / 75%] (20 / 59) ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET PM: Ln(T)=0.94Ln(X)+0.27 = 105 TRIPS (WEEKDAY) [63% / 37%] (66 / 39) ALL UNITS TO HAVE ACCESS FROM INTERNAL SUBDIVISION STREETS AND THAT NO DIRECT ACCESS FROM SCR #048 WILL BE PERMITTED. TRAFFIC GENERATION DIAGRAM ALL FIRE LANES. FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE 8 DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS. PREVENTION REGULATIONS 6 TO AND FROM THE EAST (532 TRIPS) (10)[33] ENTER & (29)[19] EXIT ADT PEAK HOUR (A.M.), ADT PEAK HOUR [P.M.], DISTRIBUTION {%} ALL SINGLE FAMILY DWELLINGS TO BE WOOD FRAME CONSTRUCTION WITH A MAXIMUM BUILDING HEIGHT OF THREE STORIES, NOT TO EXCEED 42' AND 9. TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE 50% TO AND FROM THE WEST (533 TRIPS) (10)[33] ENTER & (30)[20] EXIT WILL NOT HAVE SPRINKLERS CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT TOTAL NEW TRIPS = 1,065 ADT COMMON AREA: AN AREA OWNED AND USED IN COMMON BY RESIDENTS OF THE SUBDIVISION FOR RECREATION, LANDSCAPING AN STORM WATER WITH SIDEWALK ACCESS AND CLARENCE ² DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL SITE TRUCK TRAFFIC = 53 TRIPS (5%) MANAGEMENT THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING 10. DEVELOPMENT COORDINATION MANUAL DESIGN VEHICLE = WB-40 & SU-30 JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE THE CONTRACTOR SHALL NOTIFY THE FOLLOWING, TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION: FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. - THE OWNER RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS - SUSSEX CONSERVATION DISTRICT TRAFFIC GENERATION - HOLLYMOUNT ROAD (SCR 048) - PHASE 1 AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL MEASURES TO PROTECT STOCKPILE AREAS AND STORAGE AREAS. ALL AREAS USED BY THE (FULL MOVEMENT) CONTRACTOR FOR STAGING OPERATIONS SHALL BE FULLY RESTORED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT. IF THE STAGING AREA IS PAVED, IT SHALL BE RESTORED TO ITS ORIGINAL CONDITION. IF THE STAGING AREA IS UNPAVED, IT SHALL BE RE-GRADED, TOP SOILED, SEEDED CONDITIONS OF APPROVAL: ROAD TRAFFIC DATA: AND MULCHED TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH RESTORATION OF THE STAGING AREA SHALL BE AT THE CONTRACTOR'S EXPENSE. IF THE ENGINEER DETERMINES THAT A SATISFACTORY STAND OF GRASS DOES NOT EXIST AT THE TIME OF FINAL INSPECTION, FUNCTIONAL CLASSIFICATION - S048 (HOLLYMOUNT ROAD) -PRELIMINARY APPROVAL WAS GRANTED BY SUSSEX COUNTY PLANNING COMMISSION AT THEIR MEETING ON JANUARY 3, 2024 ALL COSTS ASSOCIATED WITH RE-ESTABLISHING A SATISFACTORY STAND OF GRASS SHALL BE AT THE CONTRACTOR'S EXPENSE. MAJOR COLLECTOR SUBJECT TO THE FOLLOWING CONDITIONS: EQUIPMENT AND/OR STOCKPILE MATERIAL SHALL NOT BE STORED IN THE DRIP LINE AREA OF ANY TREE. POSTED SPEED LIMIT - 45 MPH A. THERE SHALL BE NO MORE THAN 106 LOTS WITHIN THE SUBDIVISION. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT THE DEVELOPER SHALL ESTABLISH A HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR MAINTENANCE OF THE STREETS, AADT = 2.469 TRIPS (FROM 2023 DELDOT TRAFFIC SUMMARY) GUARANTEED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST 10 YEAR PROJECTED AADT= 1.16 x 2,469 TRIPS = 2,864 TRIPS BUFFERS, STORMWATER MANAGEMENT FACILITIES, AND OTHER COMMON AREAS. ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN TRAFFIC PATTERN GROUP = 5 (FROM 2023 DELDOT TRAFFIC SUMMARY) AS SHOWN ON THE PRELIMINARY SITE PLAN, APPROXIMATELY 28 TOTAL ACRES OR 52% OF THE SITE SHALL REMAIN AS WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT **PEAK HOUR - 11 40%** OPEN SPACE. THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE TRUCK VOLUME - N/A THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY AND IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTORS EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, DIRECTIONAL DISTRIBUTION = 57.60% / 42.40% THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT. THE SYSTEM SHALL BE THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA. MAINTAINED AND OPERATED USING BEST MANAGEMENT PRACTICES. NO FASEMENTS WERE VERIFIED PER THIS PLAT THERE SHALL BE A FORESTED AND/OR VEGETATED BUFFER STRIP THAT IS AT LEAST 30 FEET WIDE ALONG THE PERIMETER THE CONTRACTOR SHALL TAKE PRECAUTIONS TO LOCATE PROPERTY LINES AND RIGHT OF WAY LINES PRIOR TO CONSTRUCTION AND AVOID OF THE SUBDIVISION. THIS BUFFER SHALL UTILIZE EXISTING FOREST OR SIMILAR VEGETATION WHERE IT EXISTS IN THE 1.432 SITE TRAFFIC DATA: - 73 (3) [9] {25%} CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY AND/OR RIGHTS OF WAYS WHERE SAID CONSTRUCTION IS PROHIBITED. THE CONTRACTOR MAY BUFFER AREA. WHERE TREES CURRENTLY EXIST IN THE BUFFER AREA, STUMP REMOVAL OR CONSTRUCTION ACTIVITIES CONDUCT CONSTRUCTION ACTIVITIES ON PRIVATE PROPERTY PROVIDED IF HE HAS OBTAINED PRIOR WRITTEN PERMISSION FROM THE PROPERTY SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION² THAT DISTURB THE EXISTING GRADE OF THE AREA WITHIN THE BUFFER SHALL BE PROHIBITED. ALL SILT FENCING SHALL OWNER AND HAS SUBMITTED A COPY OF SAID WRITTEN PERMISSION TO THE OWNER. 73 (2) [9] {25%} BE LOCATED ALONG THE INTERIOR LIMIT OF THE BUFFER AREA (THE EDGE OF THE BUFFER NEAREST THE INTERIOR ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER. THESE INSPECTIONS DO NOT RELIEVE THE CONTRACTOR XISTING LAND USE: VACANT FIELD DEVELOPMENT) AND THE FINAL SITE PLAN SHALL IDENTIFY THE "LIMIT OF DISTURBANCE" TO PREVENT DISTURBANCE OF FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING ALL WORK IN STRICT ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND **HOLLYMOUNT ROAD** VACANT LAND - FARM FIELD WITH OLD FARM HOUSE THE BUFFER AREA. CONSTRUCTION DOCUMENTS. THE DEVELOPMENT SHALL COMPLY WITH DELDOT ENTRANCE ROADWAY IMPROVEMENT REQUIREMENTS ON FINAL SET OF APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. FAILURE TO COMPLY WITH DWELLINGS - SINGLE FAMILY DETACHED HOUSING (ITE 210) STREET DESIGN SHALL MEET OR EXCEED SUSSEX COUNTY STANDARDS. THIS PROVISION SHALL BE CONSIDERED CAUSE TO STOP THE WORK. .n(T)=0.92 Ln(X) +2.68 = 292 TRIPS (WEEKDAY) (146 ENTER / 146 EXIT) THE SUBDIVISION SHALL BE SERVED BY CENTRAL SEWER AND CENTRAL WATER. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF CONTRACT DRAWINGS ON WHICH HE SHALL NOTE, IN RED, THE ALIGNMENTS AND INVERTS SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL INTERNAL STREETS. S OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED DURING THE PROSECUTION OF THE WORK. ALL DISCREPANCIES BETWEEN THE PLAN PEAK HOUR OF ADJACENT STREET TRAFFIC CONSTRUCTION, SITE WORK, AND DELIVERIES SHALL ONLY OCCUR ON THE SITE BETWEEN THE HOURS OF 7:00A.M. AND LOCATIONS AND ELEVATIONS OF BOTH THE EXISTING AND PROPOSED UTILITIES SHALL BE SHOWN ON THE AS-BUILT DRAWINGS TO BE MAINTAINED BY AM: Ln(T)=0.91Ln(X)+0.12 = 22 TRIPS (WEEKDAY) [25% / 75%] (5 / 17) 6:00P.M. MONDAY THROUGH SATURDAY. NO SUNDAY HOURS ARE PERMITTED. A 24 INCH BY 36 INCH "NOTICE" SIGN PM: Ln(T)=0.94Ln(X)+0.27 = 28 TRIPS (WEEKDAY) [63% / 37%] (18 / 10) CONFIRMING THESE HOURS IN ENGLISH AND SPANISH SHALL BE PROMINENTLY DISPLAYED AT THE SITE ENTRANCE THE CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH OR ACCESS PITS WHICH CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH TRAFFIC GENERATION DIAGRAM DURING CONSTRUCTION. DURING SITEWORK AND INITIAL CONSTRUCTION, ALL DUMPSTERS AND ROLL-OFF CONTAINERS WORKING DAY. STEEL PLATES SHALL BE USED ON ANY TRENCH OR ACCESS PITS WHICH MUST REMAIN OPEN OVERNIGHT. THIS REQUIREMENT DOES <u>DIRECTIONAL DISTRIBUTION:</u> 50% TO AND FROM THE EAST (146 TRIPS) (2)[9] ENTER & (8)[5] EXIT SHALL BE COVERED TO PREVENT CONSTRUCTION MATERIALS AND DEBRIS FROM BLOWING ACROSS THE SITE OR ONTO NOT APPLY TO AREAS COMPLETELY CLOSED AND SECURE FROM VEHICULAR OR PEDESTRIAN TRAFFIC. ADT PEAK HOUR (A.M.), ADT PEAK HOUR [P.M.], DISTRIBUTION {%} NEIGHBORING PROPERTIES. \Box THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE 50% TO AND FROM THE WEST (146 TRIPS) (3)[9] ENTER & (9)[5] EXIT THE APPLICANT SHALL COORDINATE WITH THE LOCAL SCHOOL DISTRICT FOR A SCHOOL BUS STOP WITHIN THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE INTENDED WORK. DIRECTIONAL DISTRIBUTION PROVIDED BY DELDOT TOTAL NEW TRIPS = 292 ADT SUBDIVISION. IF REQUIRED BY THE SCHOOL DISTRICT, THE LOCATION OF THE BUS STOP AREA SHALL BE SHOWN ON THE THE PROPOSED DEVELOPMENT SIGN IS NOT APPROVED AS PART OF THIS SITE PLAN. A SEPARATE SUSSEX COUNTY PERMIT IS REQUIRED. 2 DIRECTIONAL DISTRIBUTION PROVIDED BY ITE MANUAL SITE TRUCK TRAFFIC = 15 TRIPS (5%) FINAL SITE PLAN DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE PERFORMED IN COMPLIANCE WITH THE THERE SHALL BE ON-SITE ACTIVE AND PASSIVE AMENITIES INCLUDING A PLAYGROUND, CLUBHOUSE, SWIMMING POOL AND OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT DESIGN VEHICLE = WB-40 & SU-30 WALKING TRAIL. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE AS REQUIRED BY SECTION 99-21E OF THE ALL OPEN SPACE AREAS ON SITE ARE INTENDED FOR LANDSCAPE, RECREATION AND STORMWATER MANAGEMENT PRACTICES AND ARE THE SUBDIVISION CODE RESPONSIBILITY OF THE DEVELOPER UNTIL A HOMEOWNER'S ASSOCIATION CAN ASSUME OWNERSHIP AND RESPONSIBILITY FOR THE OPEN SPACE. THERE SHALL BE AT LEAST 13 ACRES (OR 44%) OF THE EXISTING FOREST PRESERVED WITHIN THIS DEVELOPMENT. THE THIS PROJECT IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA PER CHAPTER 89 "SOURCE WATER PROTECTION" OF SUSSEX COUNTY CODE FINAL SITE PLAN SHALL INCLUDE A LANDSCAPE PLAN DEPICTING ALL LANDSCAPING TO BE PROVIDED AND ALL OF THE FORESTED AREAS THAT WILL BE PRESERVED. THE LANDSCAPE PLAN SHALL ALSO IDENTIFY ALL "LIMITS OF DISTURBANCE" THE STREET LIGHTS ARE SHOWN GRAPHICALLY, THE DEVELOPER WILL COORDINATE WITH THE ELECTRIC COMPANY TO INSTALL THE STREET LIGHTS WITHIN THE SITE THE TYPICAL LIGHT APPLICATION USED IS THE COLONIAL LIGHT, 18' IN HEIGHT. THE FINAL SITE PLAN SHALL INCLUDE A GRADING PLAN FOR THE SITE. NO BUILDING PERMIT SHALL BE ISSUED FOR ALL SECURITY LIGHTING (IF NECESSARY) SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS. INDIVIDUAL LOTS UNTIL AN INDIVIDUAL LOT GRADING PLAN HAS BEEN SUPPLIED TO AND APPROVED BY SUSSEX COUNTY. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEED AND MULCH FOR ALL AREAS WHERE SOIL IS EXPOSED AND SILT FENCE IS NOT SPECIFIED, BY THE CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A GRADING CERTIFICATE IS SUBMITTED TO THE BUILDING CODE DEPARTMENT DEMONSTRATING GENERAL CONFORMITY WITH THE INDIVIDUAL SITE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN PUBLIC ROADS AND STREETS IN A BROOM SWEPT CONDITION AT ALL TIMES. O. A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THESE CONDITIONS MUST BE SUBMITTED TO THE DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. OFFICE OF PLANNING AND ZONING. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY P. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION 1.5% SLOPE (2% MAX) DISCARDED, ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATION SIGNS SHALL REMAIN TOPSOIL AND SEED EXTEND STONE 6" — FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. 1" COMPACTED GRANITE DUST THE BOUNDARY INFORMATION & TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM DOCUMENTS OF PUBLIC RECORD AND IS ALSO THE RESULT OF — EXTEND STONE 6" (ROLLED INTO GRADED AN ACTUAL FIELD SURVEY BY PENNONI ASSOCIATES, INC. DURING FEBRUARY 2022. REMOVE AND AGGREGATE) THIS PROPERTY IS LOCATED IN THE VICINITY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES UPON WHICH NORMAL AGRICULTURAL USES STOCKPILE TOPSOIL PROOF ROLLED AND COMPACTED ITEM 401005 - SUPERPAVE TYPE C, PG 64-22 CR-6 (6" MIN.) -AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES SUBGRADE TO 95% OF ASTM D1557 MAY NOW OR IN THE FUTURE INVOLVE DUST NOISE MANURE AND OTHER ODORS. THE USE OF AGRICULTURAL CHEMICALS, AND NIGHTTIME FARM ITEM 401014 - SUPERPAVE TYPE B, PG 64-22 OPERATIONS. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE ON ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM ANY SUCH AGRICULTURAL USES AND ACTIVITIES. **DETAIL-**TYPICAL JOGGING/WALKING PATH SECTION ITEM 301001 - GRADED AGGREGATE BASE COURSE, TYPE B AREA WIDE STUDY FEE AND OFF-SITE IMPROVEMENTS PER DELDOT MEMO DATED DECEMBER 6, 2023. 43.1. THE PROPOSED DEVELOPMENT CONSISTS OF 106 DWELLING UNITS OF SINGLE-FAMILY DETACHED HOUSING. BASED ON OUR REVIEW, USING LAND NOT TO SCALE ITEM 908004 - TOPSOIL, 6" DEPTH OR USE CODE 210 OF THE 11TH EDITION OF THE INSTITUTE OF TRANSPORTATION ENGINEERS' (ITE) TRIP GENERATION MANUAL. THE PROPOSED RP1000 ITEM 908010 - TOPSOILING, 6" DEPTH DEVELOPMENT WOULD GENERATE 1,065 AVERAGE VEHICLE DAILY TRIPS (ADT) AND 105 VEHICLE TRIPS DURING THE P.M. PEAK HOUR. THE FEE IS ITEM 908014 - PERMANENT GRASS SEEDING, DRY GROUND CALCULATED AT TEN DOLLARS PER DAILY TRIP. FOR THE PROPOSED DEVELOPMENT, THE FEE WOULD BE \$10.650. THE DEVELOPER SHALL IMPROVE THE STATE-MAINTAINED ROAD(S) ON WHICH THEY FRONT, WITHIN THE LIMITS OF THEIR FRONTAGE, TO MEET 50.00 ROW ITEM 501001 - PORTLAND CEMENT CONCRETE DELDOT'S STANDARDS FOR THEIR FUNCTIONAL CLASSIFICATION AS FOUND IN SECTION 1.1 OF THE DEVELOPMENT COORDINATION MANUAL AND ELSEWHERE THEREIN. THE IMPROVEMENTS SHALL INCLUDE BOTH DIRECTIONS OF TRAVEL, REGARDLESS OF WHETHER THE DEVELOPER'S LANDS ITEM 908020 - EROSION CONTROL BLANKET MULCH, TYPE 3 FOR 1 ROLL WITH MINIMUM PROPOSED ARE ON ONE OR BOTH SIDES OF THE ROAD FRONTAGE IS DEFINED IN SECTION 1 OF THE DEVELOPMENT COORDINATION MANUAL. WHICH STATES 6' OF WIDTH CONSTRUCTION "THIS LENGTH INCLUDES THE LENGTH OF ROADWAY PERPENDICULAR TO LINES CREATED BY THE PROJECTION OF THE OUTSIDE PARCEL CORNERS & R/W BASELINE TTHE ROADWAY."QUESTIONS ON OR APPEALS OF THIS REQUIREMENT SHOULD BE DIRECTED TO THE DELDOT SUBDIVISION REVIEW COORDINATOR PROOF ROLLED AND COMPACTED SUBGRADE TO 95% OF ASTM D1557 IN WHOSE AREA THE DEVELOPMENT IS LOCATED 10' UTILITY/DRAINAGE 10' UTILITY/DRAINAGE SECTION 2.2.2.2 OF THE DEVELOPMENT COORDINATION MANUAL ALLOWS DELDOT TO ACCEPT THE AWSF IN LIEU OF A TIS, BUT ONLY IF THE LOCAL 4' GRASS FASEMENT ITEM 701010 - INTEGRAL PCC CURB AND GUTTER- TYPE 2 LAND USE AGENCY DOES NOT REQUIRE A TIS. IF THE COUNTY REQUIRES A TIS FOR THIS DEVELOPMENT, DELDOT WILL SUPPORT THAT 5' SIDEWALK 'SIDFWALK REQUIREMENT AND WILL NOT ACCEPT THE AWSF 43.4. THE DEVELOPER SHALL ENTER INTO A TRAFFIC SIGNAL AGREEMENT FOR THE INTERSECTION OF DELAWARE ROUTE 24/JOHN J. WILLIAMS HIGHWAY (SUSSEX ROAD 24) AND HOLLYMOUNT ROAD (SUSSEX ROAD 48). OR THE DEVELOPER MAY CONTRIBUTE TO THE TRAFFIC SIGNAL REVOLVING FUND (TSRF) IN THE AMOUNT OF \$8,017.62. THE DEVELOPER SHOULD COORDINATE WITH THE DELDOT SUBDIVISION SECTION TO EXECUTE THE TRAFFIC 2.00% SIGNAL AGREEMENT OR THE TSRF AGREEMENT AND PAY THE TSRF AMOUNT. ARTESIAN WATER COMPANY, INC. AND ARTESIAN WASTEWATER MANAGEMENT, INC. ARE HEREBY GRANTED UNINTERRUPTED PERPETUAL EASEMENT WITHIN THE PRIVATE COMMUNITY STREET RIGHT-OF-WAY AND SPECIFIC OPEN SPACE AREAS AS SHOWN ON THIS PLAN. **DETAIL-** TYPICAL ROAD AND SIDEWALK SECTION 478' MEASURED ALONG CENTER OF THE NEAR TRAVEL LANE 588' MEASURED ALONG CENTER OF THE NEAR TRAVEL LANE 154' TO RESIDENTIAL ENTRANCE XISTING RIGHT TURN LANE 430' TO RESIDENTIAL ENTRANCE ```-->-->-->-->-->--DRAWN BY **DETAIL-**SIGHT DISTANCE TRIANGLE **RP1000**

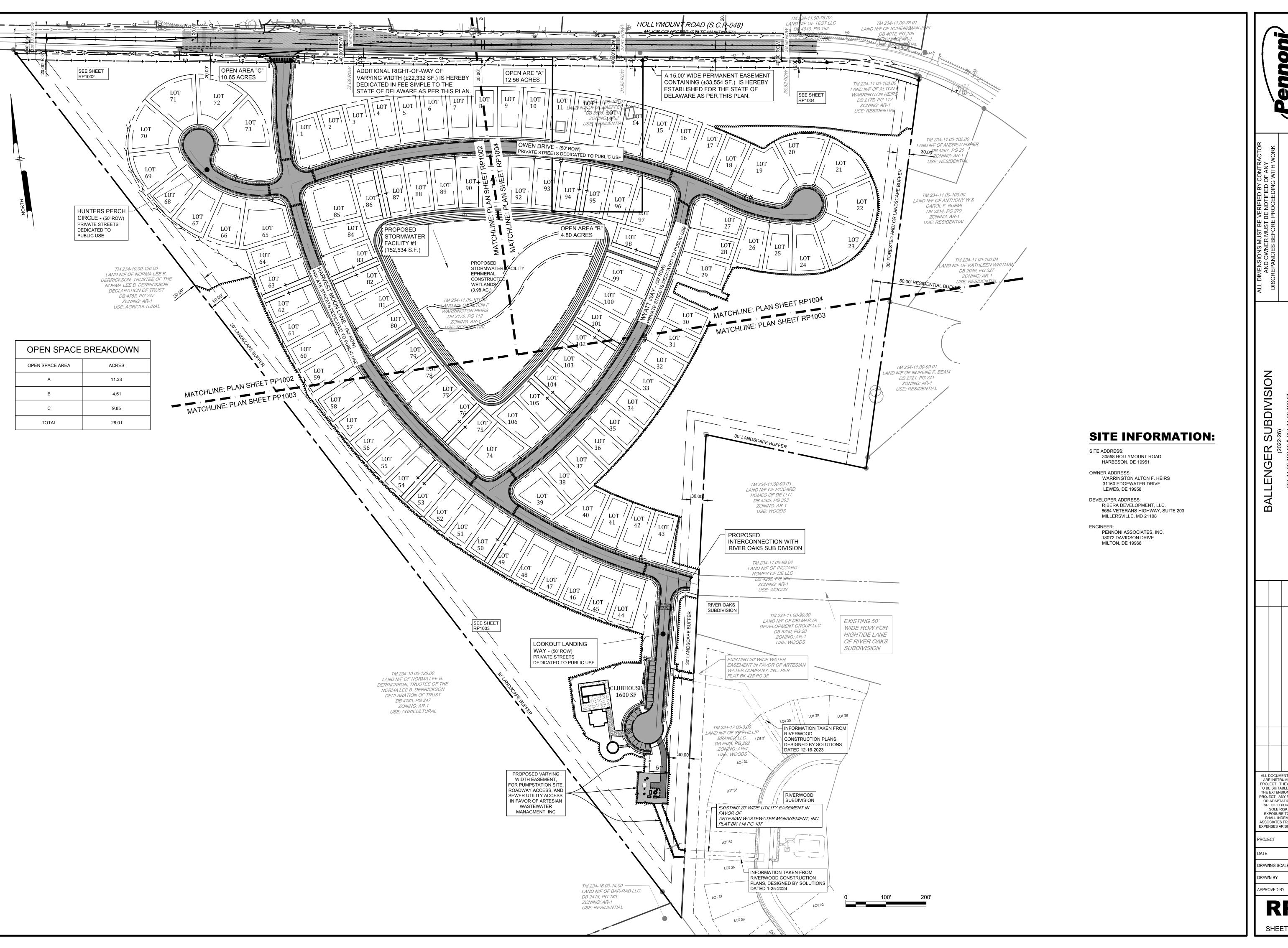
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ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATE ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE ROJECT. THEY ARE NOT INTENDED OR REPRESENT O BE SUITABLE FOR REUSE BY OWNER OR OTHERS THE EXTENSIONS OF THE PROJECT OR ON ANY OTHE PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS

SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI SSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AI XPENSES ARISING OUT OF OR RESULTING THEREFRO

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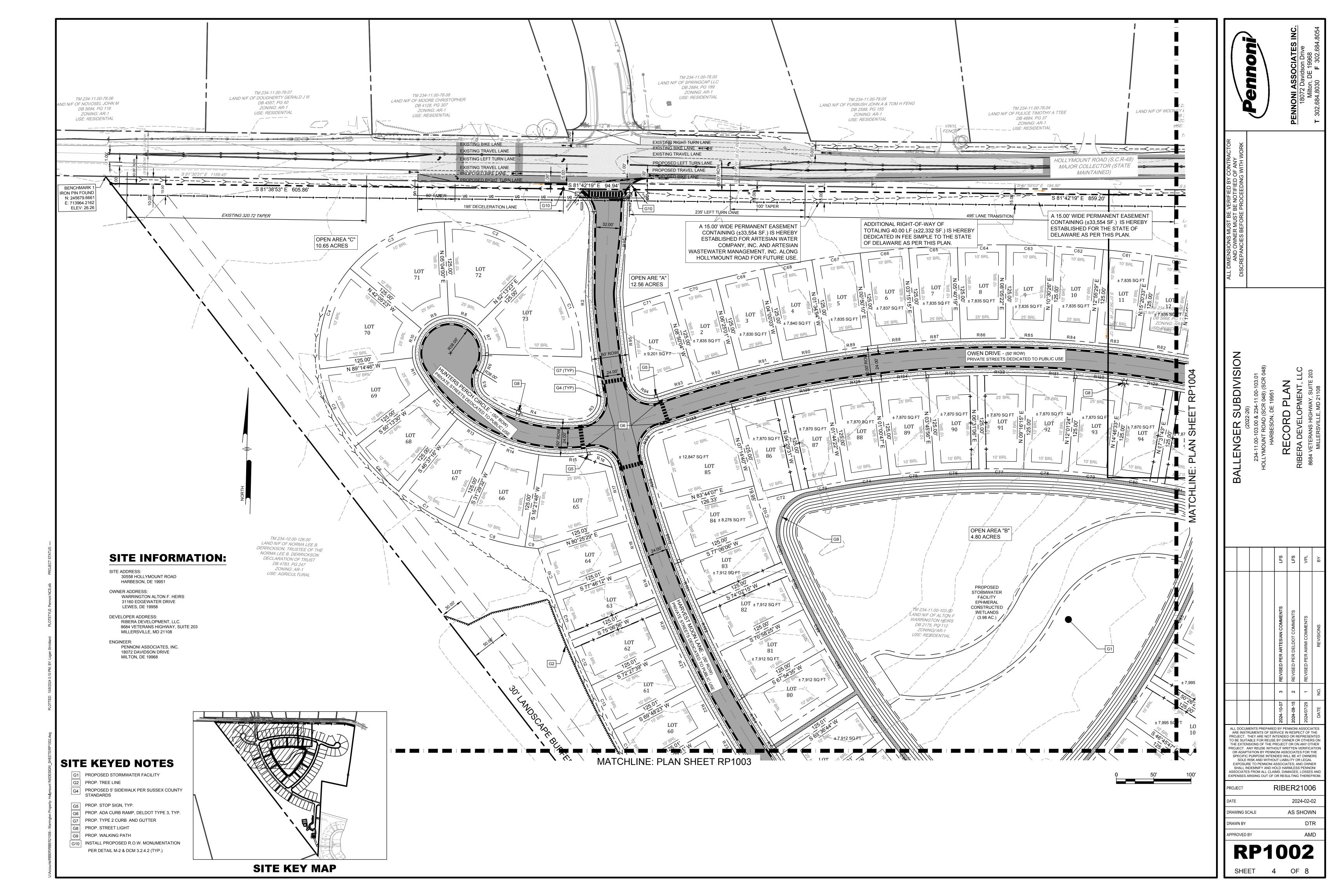
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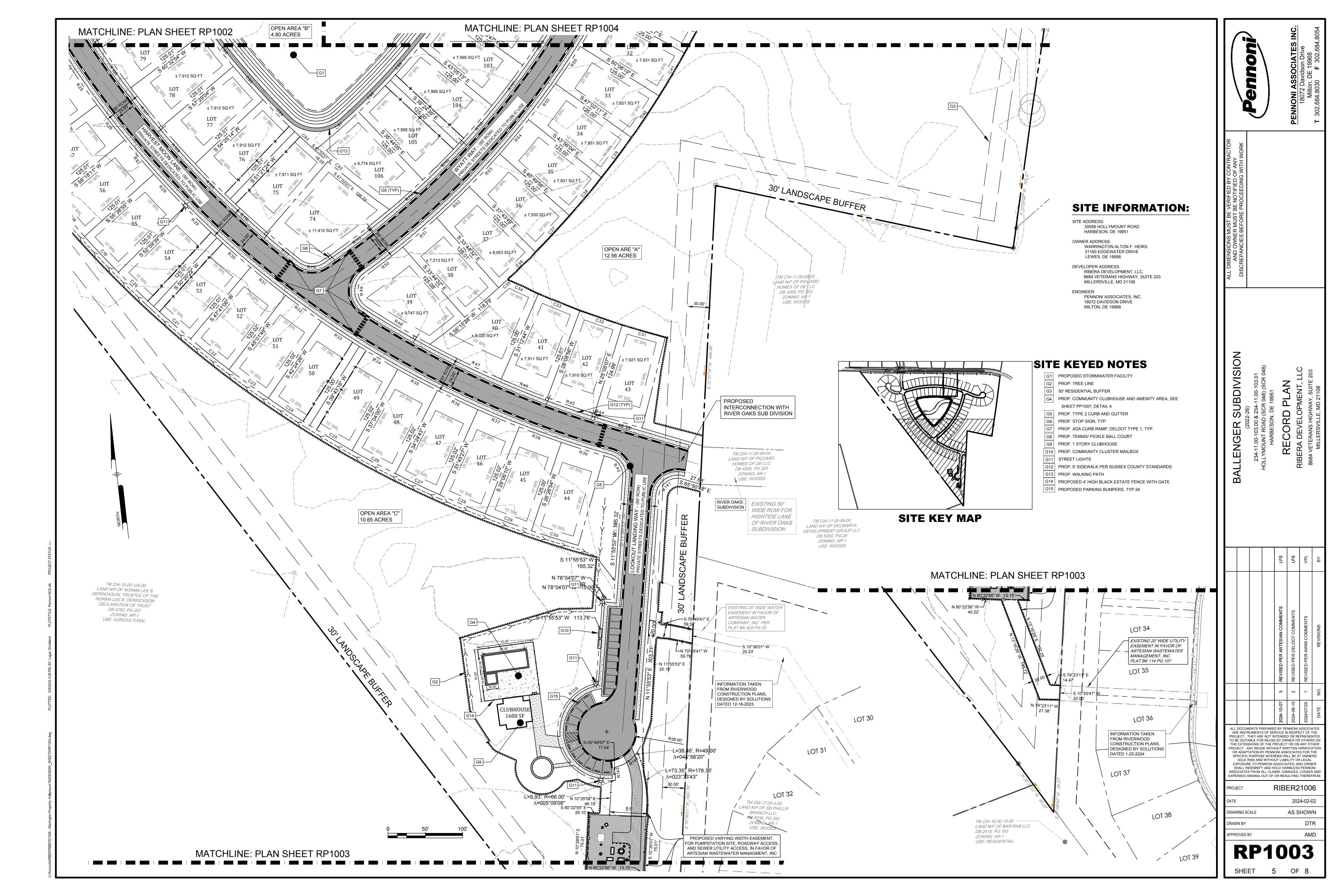
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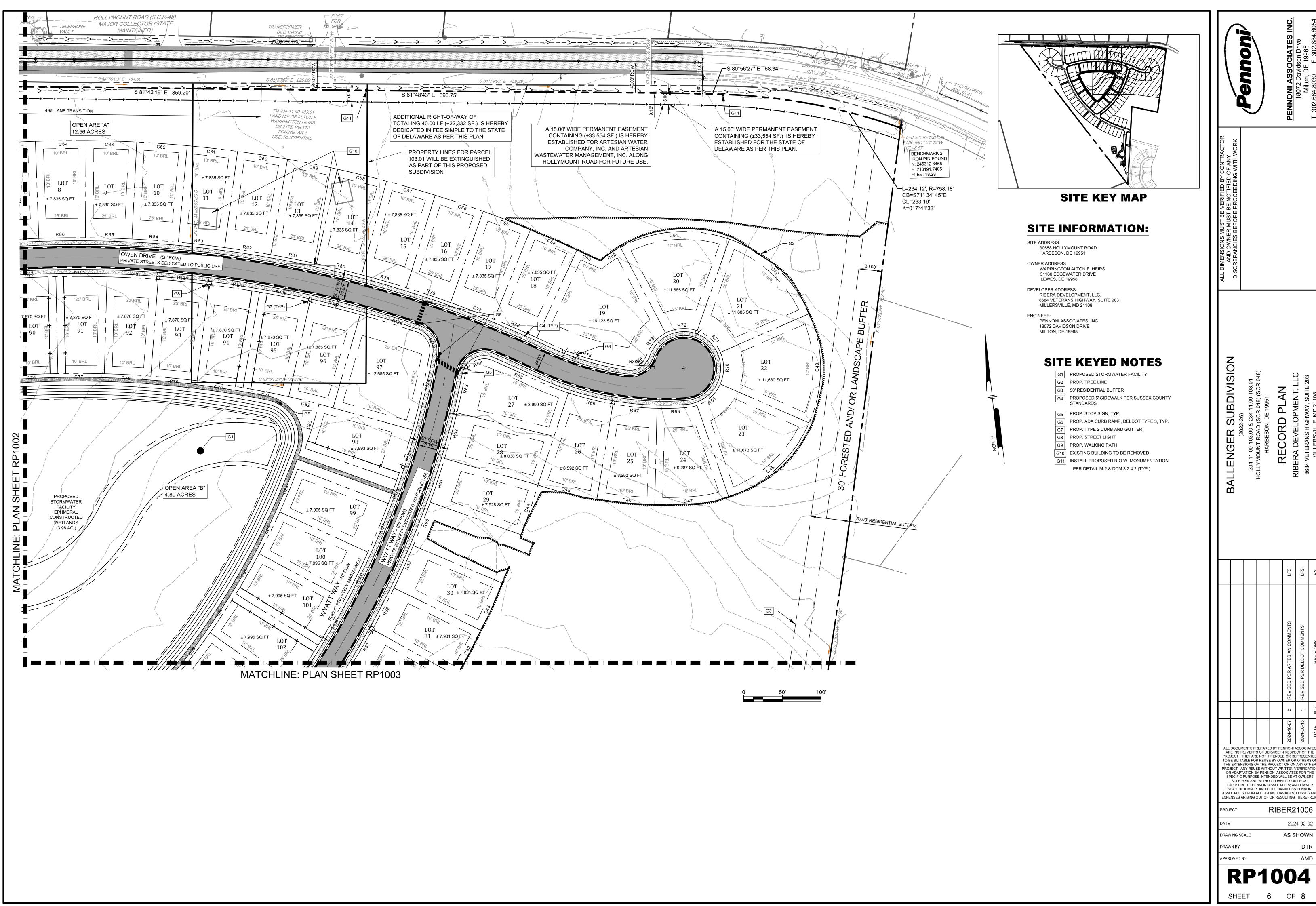
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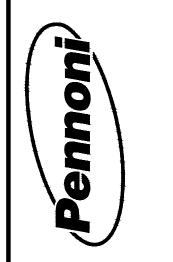


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CURVE #	RADIUS	DELTA	ARC LENGTH		CHORD LENGTH	CHORD BEARING	CURVE #	 	DELTA	ARC LENGTH			CHORD BEARING
R44	1244.49'	000°55'58"	20.26'	10.13	20.26'	N 65°23'28" W	R95	1257.40'	004°27'45"	97.94'	48.99	97.91'	N 00°53'56" E
R45	1244.49'	003°04'03"	66.63'	33.32	66.62'	N 63°23'27" W	R96	1257.40'	006°09'54"	135.30'	67.71	135.23'	N 06°12'46" E
R46	1244.49'	003°04'03"	66.63'	33.32	66.62'	N 60°19'24" W	R97	27.58'	056°20'01"	27.12'	14.77	26.04'	N 39°36'31" E
R47	1244.49'	004°53'42"	106.32'	53.19	106.29'	N 56°20'32" W	R98	25.00'	084°29'47"	36.87'	22.71	33.62'	S 36°09'02" W
R48	1244.49'	004°33'36"	99.05'	49.55	99.02'	N 51°36'53" W	R99	1245.96'	003°25'36"	74.51'	37.27	74.50'	S 07°48'39" E
R49	25.00' 1109.32'	111°04'16" 003°15'34"	48.46' 63.11'	36.42	41.22'	N 06°12'03" E N 60°06'24" E	R100	1245.96'	003°22'24"	73.35'	36.69	73.34'	S 11°12'39" E
R50	1109.32	003 15 34 003°06'16"	60.11'	31.56	63.10'		R101 R102	1245.96' 1245.96'	003°03'52" 003°03'52"	66.64' 66.64'	33.33	66.63' 66.63'	S 14°25'47" E
R51 R52	1109.32'	003°06'10"	60.07'	30.06 30.04	60.10'	N 56°55'29" E N 53°49'16" E	R102	1245.96'	003 03 52 003°03'52"	66.64'	33.33	66.63'	S 17°29'38" E S 20°33'30" E
R53	1109.32'	003°06'07"	60.06'	30.04	60.05'	N 50°43'07" E	R104	1245.96'	003 03 32 003°03'52"	66.64'	33.33	66.63'	S 23°37'22" E
R54	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 47°37'00" E	R104	1245.96'	003 03 32 001°14'00"	26.82'	13.41	26.82'	S 25°46'18" E
R55	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 44°30'52" E	R106	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 27°55'15" E
R56	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 41°24'45" E	R107	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 30°59'06" E
R57	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 38°18'37" E	R108	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 34°02'58" E
R58	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 35°12'29" E	R109	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 37°06'50" E
R59	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 32°06'21" E	R110	1245.96'	003°03'51"	66.63'	33.32	66.63'	S 40°10'41" E
R60	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 29°00'13" E	R111	1245.96'	002°39'35"	57.84'	28.92	57.83'	S 43°02'24" E
R61	1109.32'	003°03'05"	59.08'	29.55	59.07'	N 25°55'37" E	R112	25.00'	072°01'11"	31.42'	18.17	29.40'	S 80°22'46" E
R62	1109.32'	002°38'11"	51.05'	25.53	51.04'	N 22°33'59" E	R113	1059.32'	006°06'08"	112.82'	56.46	112.77'	N 60°33'34" E
R63	1109.32'	002°37'12"	50.73'	25.37	50.72'	N 19°56'18" E	R114	1059.32'	003°14'35"	59.96'	29.99	59.95'	N 55°53'12" E
R64	25.00'	101°51'21"	44.44'	30.79	38.82'	N 69°33'22" E	R115	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 52°25'38" E
R65	1180.74'	002°50'31"	58.57'	29.29	58.56'	S 58°05'20" E	R116	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 48°45'04" E
R66	394.67'	008°35'54"	59.23'	29.67	59.17'	S 68°22'04" E	R117	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 45°04'30" E
R67	394.67'	008°17'01"	57.06'	28.58	57.01'	S 76°48'31" E	R118	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 41°23'56" E
R68	394.67'	005°37'11"	38.71'	19.37	38.69'	S 83°45'37" E	R119	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 37°43'22" E
R69	51.00'	047°07'12"	41.94'	22.24	40.77'	N 55°01'54" E	R120	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 34°02'48" E
R70	51.00'	047°10'53"	42.00'	22.27	40.82'	N 07°52'51" E	R121	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 30°22'13" E
R71	51.00'	047°13'36"	42.04'	22.30	40.86'	N 39°19'23" W	R122	1059.32'	001°44'05"	32.07'	16.04	32.07'	N 27°39'54" E
R72	51.00'	047°13'37"	42.04'	22.30	40.86'	N 86°32'59" W	R123	1059.32'	003°40'32"	67.95'	33.99	67.94'	N 24°57'36" E
R73	51.00'	043°06'48"	38.38'	20.15	37.48'	S 48°16'49" W	R124	1059.32'	005°26'41"	100.66'	50.37	100.63'	N 20°23'59" E
R74	23.00'	078°54'18"	31.67'	18.93	29.23'	S 66°10'34" W	R125	25.00'	081°24'02"	35.52'	21.50	32.61'	N 23°01'22" W
R75	344.67'	017°23'33"	104.63'	52.72	104.22'	N 65°40'31" W	R126	1371.70'	003°11'11"	76.29'	38.15	76.28'	N 65°18'59" W
R76	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 58°56'21" W	R127	1371.70'	002°47'35"	66.87'	33.44	66.86'	N 68°18'22" W
R77	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 61°21'24" W	R128	1371.70'	002°45'19"	65.96'	32.99	65.95'	N 71°04'49" W
R78	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 63°46'27" W	R129	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 73°50'08" W
R79	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 66°11'30" W	R130	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 76°35'27" W
R80	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 68°36'34" W	R131	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 79°20'46" W
R81	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 71°01'37" W	R132	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 82°06'05" W
R82	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 73°26'40" W	R133	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 84°51'23" W
R83	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 75°51'44" W	R134	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 87°36'43" W
R84	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 78°16'47" W	R135	1371.70'	002°45'19"	65.96'	32.99	65.96'	S 89°37'59" W
R85	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 80°41'50" W	R136	1371.70'	002°45'19"	65.96'	32.99	65.96'	S 86°52'40" W
R86	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 83°06'54" W	R137	1371.70'	002°45'18"	65.96'	32.99	65.95'	S 84°07'21" W
R87	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 85°31'57" W	R138	1371.70'	004°20'46"	104.05'	52.05	104.02'	S 80°34'19" W
R88	1422.99'	002°25'05"	60.06'	30.03	60.05'	N 87°57'01" W	R139	66.00'	177°50'05"	204.85'	3492.25	131.98'	S 03°43'29" E
R89	1422.99'	002°25'03"	60.04'	30.03	60.04'	S 89°37'54" W	R140	49.00'	094°24'05"	80.73'	52.92	71.91'	N 38°56'58" E
R90	1422.99'	002°25'09" 002°24'58"	60.08'	30.05	60.08'	S 87°12'48" W S 84°47'44" W	R141	25.00'	102°13'19"	44.60'	31.00	38.92'	N 63°02'33" E
R91 R92	1422.99' 1422.99'	002°24'58" 002°25'04"	60.00' 60.04'	30.01 30.03	60.00'	S 84°47'44" W S 82°22'43" W	R143	699.11'	001°23'48"	17.04'	8.52	17.04'	N 00°49'57" E
R92 R93	1422.99	002 25 04 002°12'25"	54.81'	27.41	54.81'	S 82 2243 W S 80°03'59" W							
R93	25.00'	002 12 25 099°40'16"	43.49'	29.62	38.21'	N 51°12'06" W							
N34	25.00	099 40 10	40.48	25.02	JU.Z I	14 01 12 00 VV							

				LE	URVE TAB	PARCEL C					3LE	URVE TAB	PARCEL C			
Control Cont	EARIN	CHORD BEAR	IGTH CI				DELTA	RADIUS	CURVE#	CHORD BEARING				DELTA	RADIUS	URVE#
00		+					009°59'47"	176.00'					144.85'	047°09'23"	176.00'	C1
Control Cont				20.31'	10.15	20.31'	000°45'06"	1547.99'		S 61°21'18" E	140.80'	76.81	144.85'	047°09'23"	176.00'	C2
March Marc		S 58°56'22" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C54	N 71°29'18" E	140.80'	76.81	144.85'	047°09'23"	176.00'	C3
10 10 10 10 10 10 10 10		S 61°21'25" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C55	N 24°19'55" E	140.80'	76.81	144.85'	047°09'23"	176.00'	C4
15 15 15 15 15 15 15 15		S 63°46'28" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C56	N 11°03'01" W	72.01'	36.78	72.52'	023°36'29"	176.00'	C5
15 15 15 15 15 15 15 15		S 66°11'32" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C57	N 36°34'42" W	83.83'	42.21	84.03'	013°36'04"	353.96'	C6
19		S 68°36'35" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C58	N 50°56'30" W	93.17'	47.00	93.44'	015°07'33"	353.96'	C7
14 10027378 65.77 32.58 65.18 N. 105807 10027379 10027379 10027379 10027379 10027379 10027379 1002739 10027399 1002739 10027399 100273		S 71°01'38" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C59	N 66°04'03" W	93.17'	47.00	93.45'	015°07'34"	353.96'	C8
142 1002/2017 10 10 10 10 10 10 10		S 73°26'41" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C60	N 75°03'59" W	17.74'	8.87	17.74'	002°52'17"	353.96'	C9
1-1 100 200 100		S 75°51'45" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C61	N 10°55'01" W	65.16'	32.59	65.17'	002°37'39"	1421.14'	C10
14		S 78°16'48" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C62	N 13°33'29" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C11
1.4 00279917 6.5.85		S 80°41'51" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C63	N 16°12'45" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C12
1.4 0227919 0.58 0.58 0.240 0.58 0.147109 0.08 1547.07 0.027500 0.527 0.08 0.0.37 0.037		S 83°06'55" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C64	N 18°52'02" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C13
1-1- 1-1-		S 85°31'58" E	S	65.31'	32.66	65.32'	002°25'03"	1547.99'	C65	N 21°31'18" W	65.84'	32.93	65.85'	002°39'17"	1421.14'	C14
1-1-		S 87°57'03" E	S	65.33'	32.67	65.33'	002°25'05"	1547.99'	C66	N 24°10'34" W	65.83'	32.93	65.84'	002°39'16"	1421.14'	C15
1.		N 89°37'53" E	N	65.31'	32.66	65.32'	002°25'03"	1547.99'	C67	N 27°42'56" W	65.83'	32.93	65.84'	002°39'16"	1421.14'	C16
14		N 87°12'46" E	N i	65.36'	32.69	65.36'	002°25'09"	1547.99'	C68	N 30°22'12" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C17
144 00273976		N 84°47'43" E	N	65.27'	32.64	65.28'	002°24'58"	1547.99'	C69	N 33°01'29" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C18
1.44 002/39/167 06.84* 32.93 06.84* N. 40/99/16* M. 72 1246.70 002/45/20 59.96* 29.88 59.96* N. 89/37/16* E. 1.		N 82°22'42" E	N	65.31'	32.66	65.32'	002°25'04"	1547.99'	C70	N 35°40'45" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C19
144 002'39'16' 06584' 32.93 06584' N.43'35'34'W C73 1248.70' 002'45'20' 58.86' 28.86 58.85' N.85'32'3'E 140 002'412'' 56.505' 32.53 55.04' N.46'156'31'W C74 1248.70' 002'45'20' 59.86' 28.98 58.95' N.85'32'3'E 141 002'412'' 66.54' 32.93 06.85' N.46'156'31'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.67'36'3'E 141 002'412'' 66.54' 32.93 06.84' N.51'36'23'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.67'36'3'E 142 002'39''6' 66.54' 32.93 06.84' N.51'36'23'W C76 1246.70' 002'45'20' 59.96' 29.86 59.99' S.67'36'3'E 143 002'39''6' 66.54' 32.93 06.84' N.51'36'23'W C76 1246.70' 002'45'20' 59.96' 29.86 59.99' S.62'50'3'E 144 002'39''6' 66.54' 32.93 06.84' N.51'36'3'W C77 1246.70' 002'45'20' 59.96' 29.86 59.99' S.62'50'3'E 145 002'39''6' 66.54' 32.93 06.84' N.51'36'3'W C77 1246.70' 002'45'20' 59.96' 29.86 59.99' S.73'50'3'E 146 002'39''6' 65.54' 32.93 06.84' N.51'40'0'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.73'50'3'E 147 002'39''6' 59.54' 32.93 06.84' N.51'40'0'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.73'50'3'E 148 002'39''6' 59.54' 32.93 06.84' N.51'40'0'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.73'50'3'E 149 002'30''6' 59.54' 32.95 06.84' N.55'50'0'W C76 1246.70' 002'45'20' 59.96' 29.86 59.95' S.73'50'3'E 140 003'30''6' 59.94' 39.94' 39.94' 39.94' 39.94' 39.95' 29.86 59.95' S.73'50'3'E 141 003'30''6' 59.94' 29.98 59.94' S.65'20''8' C62 1246.70' 002'45'20' 59.96' 29.86 59.95' S.73'50'3'E 140 003'30''6' 59.94' 39.94' 39.94' 39.94' 39.95' 29.86 59.95' S.73'50''8' 141 003'30''6' 59.94' 39.94' 39.94' 39.94' 39.95' 39.94' S.73'50''8' 142 002''90''6' 59.94' 39.94' 39.94' 39.94' 39.95' 39.96' 39.94' S.73'50''8' 143 003''90''6' 59.94' 39.94' 39.94' 39.94' 39.95' 39.96' 39.99' S.73'50''8' 144 002''90''6' 59.94' 39.94' 39.94' 39.95' 39.95' 39.96' 39.99' S.73'50''8' 145 003''90''6' 59.94' 39.94' 39.94' 39.94' 39.95' 39.96' 39.99' S.73'50''8' 146 003''90''6' 59.94' 39.94' 39.94' 39.94' 39.95' 39.96' 39.99' S.74'20''8' 147 003''90''6' 59.94' 39.94' 39.94' 39.94' 39.9		N 79°59'05" E	N.	64.01'	32.01	64.01'	002°22'10"	1547.99'	C71	N 38°20'02" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C20
1-44 002*37*2** 65.05* 32.53 65.04** N 46*16*53* W 1.74 1248 770 002*45*20** 59.86** 29.98 59.95** N 89*37*57* E 1.44 002*38*16** 65.84** 33.32 66.85** N 89*37*37* W 1.75 1248 770 002*45*20** 59.86** 29.98 59.95** S 87*3843* E 1.44 002*38*16** 65.84** 32.23 65.84** N 54*15*07* W 1.77 1248 70** 002*45*20** 59.86** 29.98 59.95** S 82*26603* E 1.44 002*38*16** 65.84** 32.23 65.84** N 54*15*07* W 1.77 1248 70** 002*45*20** 59.86** 29.98 59.95** S 82*26603* E 1.44 002*38*16** 65.84** 32.23 65.84** N 54*15*07* W 1.77 1248 70** 002*45*20** 59.86** 29.98 59.95** S 82*26603* E 1.44 002*38*16** 65.84** 32.23 65.84** N 56*15*05* W 1.77 1248 70** 002*45*20** 59.86** 29.98 59.95** S 82*26603* E 1.44 002*38*16** 65.84** 32.93 65.84** N 56*15*05* W 1.79 1248 70** 002*45*20** 59.96** 29.98 59.95** S 82*26603* E 1.44 002*38*16** 65.84** 19.32 38.64** N 56*15*05* W 1.79 1248 70** 002*45*20** 59.96** 29.98 59.95** S 87*395*23* E 1.44 002*38*17** 65.85** 32.93 65.84** N 56*15*24* W 1.79 1248 70** 002*45*20** 59.96** 29.98 59.95** S 77*10*44* E 1.44 002*38*17** 65.85** 32.93 65.84** N 56*15*24* W 1.79 1248 70** 002*45*20** 59.96** 29.98 59.95** S 77*10*44* E 1.44 002*38*17** 59.94** 29.98 59.94** S 80*2730* E 1.24 002*45*20** 59.96** 29.98 59.94** S 80*2730* W 1.44 002*38*17** 59.94** 29.99 59.94** S 80*2730* E 1.42 002*45*20** 59.94** 29.98 59.94** S 80*2730* W 1.44 002*38*17** 59.94** 29.99 59.94** S 80*2730* W 1.44 002*38*18** 59.94** 29.99 59.94** S 80*2730* W 1.44 002*38*18** 59.94** 29.99 59.94** S 80*2730* W 1.44 002*38** 59.94** S 80*2730* W 1		N 84°07'18" E	N	59.95'	29.98	59.95'	002°45'19"	1246.70'	C72	N 40°59'18" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C21
1.44 002'491'12 66.64		N 86°52'37" E	N	59.95'	29.98	59.96'	002°45'20"	1246.70'	C73	N 43°38'34" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C22
1.44 0.02*39*16* 0.6.84* 32.93 0.6.84* N.51*39*2*1W C78 1.246.70* 0.02*4520* 59.96* 29.96* 59.96		N 89°37'57" E	N	59.95'	29.98	59.96'	002°45'20"	1246.70'	C74	N 46°16'53" W	65.04'	32.53	65.05'	002°37'21"	1421.14'	C23
1.4 002*9916* 65.84* 32.93 65.84* N.54*1540*W C77 1246.70* 002*4520* 59.96* 29.98 59.95* S.82*0603*E 1.4 002*3916* 65.84* 32.93 65.84* N.56*1458*W C78 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0603*E 1.4 002*3916* 65.84* 32.93 65.84* N.56*1458*W C78 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0603*E 1.4 002*3917* 65.85* 32.93 65.84* N.56*1458*W C81 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0603*E 1.4 002*3917* 65.85* 32.93 65.84* N.56*2458*W C81 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0603*E 1.4 002*3917* 65.85* 32.93 65.84* N.56*2458*W C81 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0603*E 1.4 002*3917* 65.85* 32.93 65.84* N.56*2458*W C81 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0644*E 1.4 002*3917* 65.85* 32.93 65.84* N.56*2458*W C81 1246.70* 002*4520* 59.96* 29.98 59.95* S.77*0644*E 1.3 002*3917* 65.85* 32.93 65.94* S.66*2648*E C82 1246.70* 002*4520* 59.96* 29.98 59.93* S.77*0644*E 1.4 002*3917* 65.85* 32.93 65.94* S.66*23302*E C83 934.22* 003*4024* 59.95* 29.98 59.93* S.77*375*W 1.4 002*3917* 65.94* 29.98 59.94* S.60*2302*E C85 934.22* 003*4024* 59.95* 29.98 59.94* S.47*275*W 1.4 002*3917* 62.66* 32.34* 22.60* 45.33 S.77*375*E C85 934.22* 003*4024* 59.95* 29.98 59.94* S.47*22*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C87 934.22* 003*4024* 59.95* 29.98 59.94* S.47*22*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.47*230*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.47*230*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.48*120*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.48*120*W 1.4 002*2577* 52.16* 26.09 52.16* S.52*250*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.48*120*W 1.4 002*2577* 52.16* 66.83* 33.42* 66.82* S.47*252*W C88 934.22* 003*4024* 59.95* 29.98 59.94* S.48*120*W 1.4 002*2577* 52.16* 66.83* 33.42* 66.82* S.47*252*W C88 934.22* 003*4024* 59.95* 29.98 59.95* N.50*95*		S 87°36'43" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C75	N 48°56'09" W	66.63'	33.32	66.64'	002°41'12"	1421.14'	C24
1.14 002*39*16*		S 84°51'23" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C76	N 51°36'23" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C25
1.4 0.02*39*16* 6.6.84* 32.93 6.6.84* N.69*34*12* W C70 1246.70* 0.02*45*20* 59.96* 29.98 59.96* S.78*35*23* E		S 82°06'03" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C77	N 54°15'40" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C26
1.4 001'3328		S 79°20'43" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C78	N 56°54'56" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C27
1.4 022'39'17 66.85 32.93 66.84' N 64'62'46' W C81 1246.70' 002'4520' 59.96' 29.98 59.95' \$71'0444' E 3.1' 003'03'46' 59.94' 29.98 59.94' \$6'26'9' E C82 1246.70' 001'60'52' 40.21' 20.11 40.21' \$68'45'35' E 3.1' 003'03'46' 59.94' 29.98 59.94' \$6'26'9' E C83 93.4.32' 003'40'32' 59.94' 29.98 59.93' \$2.95' \$3.00'21'31' W 3.1' 003'03'46' 59.94' 29.98 \$59.94' \$6'26'9' E C84 934.32' 003'40'34' 59.95' 29.98 59.94' \$3.00'21'31' W 3.1' 003'03'46' 59.94' 29.98 \$59.94' \$6'10' N 55'04'37' E C86 934.32' 003'40'34' 59.95' 29.98 59.94' \$3.00'24'31' W 3.2' 002'25'17' 52.16' 26.09 52.16' \$5'3'25'04' W C87 934.32' 003'40'34' 59.95' 29.98 59.94' \$3.4'22' W 3.2' 003'06'06' 66.83' 33.42 66.82' \$5'4'37'00' W C88 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'3'3'00' W C88 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'3'3'00' W C88 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'3'3'00' W C88 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'3'3'00' W C89 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'3'3'00' W C89 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$4'1'2'45' W C90 934'32' 59.95' 29.98 59.94' \$4'0'4' W A4'2'27' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'8'18'3' W C91 139.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'25' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'8'18'3' W C91 1120.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'525' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'8'18'3' W C91 1120.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'525' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'8'18'3' W C91 1120.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'525' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'5'12'29' W C93 1120.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'525' W 3.2' 003'06'08' 66.83' 33.42 66.82' \$3'5'12'29' W C93 1120.96' 003'03'2' 59.95' 29.98 59.95' N 39'3'525' W 3.2' 003'06'08' 66.83' 33.42 66		S 76°35'23" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C79	N 59°34'12" W	65.84'	32.93	65.84'	002°39'16"	1421.14'	C28
31' 033'03'46' 59.94' 29.98 59.94' \$ 6632' 33.42 66.82' \$ 44'30'52' W C90 93.432' 033'40'34' 59.95' 29.98 59.94' \$ 86'32'5' W C91 93.432' 033'40'34' 59.95' 29.98 59.94' \$ 86'32'5' W C91 93.432' 033'40'34' 59.95' 29.98 59.94' \$ 86'32'5' W C91 93.432' 033'40'34' 59.95' 29.98 59.94' \$ 86'32'5' W C91 93.432' 033'40'34' 59.95' 29.98 59.94' \$ 83'02'13' W C91 120.96' 03'05'05' 66.83' 33.42 66.82' \$ 82'062'1' W C94 1120.96' 03'05'52' 59.95' 29.98 59.95' N 37'05'1' W C97 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C93 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C93 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C96 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C96 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C96 1120.96' 03'05'32' 59.95' 29.98 59.95' N 32'37'22' W C97 1120.96' 03'05'32' 59.95' 29.98 59.95' N		S 73°50'03" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C80	N 61°40'35" W	38.64'	19.32	38.64'	001°33'28"	1421.14'	C29
31' 003'03'66' 59.94' 29.98 59.94' \$63'23'02' E C83 934.32' 003'40'32' 59.94' 29.98 59.93' \$24'57'36' W 31' 002'03'46' 59.94' 29.98 59.94' \$60'19'16' E C84 934.32' 003'40'34' 59.95' 29.98 59.94' \$30'22'13' W 48' 000'46'15' 16.61' 8.30 16.61' \$55'04'37' E C86 934.32' 003'40'34' 59.95' 29.98 59.94' \$34'02'48' W 32' 002'25'17' 52.16' 26.09 52.16' \$53'28'50' W C87 934.32' 003'40'34' 59.95' 29.98 59.94' \$41'23'56' W 32' 003'06'07' 66.83' 33.42 66.82' \$50'43'07' W C88 934.32' 003'40'34' 59.95' 29.98 59.94' \$45'04' W 32' 003'06'08' 66.83' 33.42 66.82' \$41'30'52' W C90 934.32' 003'40'34' 59.95' 29.98 59.94' \$48'45'04' W 32' 003'06'08' 66.83' 33.42 66.82' \$41'30'52' W C90 934.32' 003'40'34' 59.95' 29.98 59.94' \$55'25'38' W 32' 003'06'08' 66.83' 33.42 66.82' \$41'30'52' W C90 934.32' 003'40'34' 59.95' 29.98 59.94' \$55'25'38' W 32' 003'06'08' 66.83' 33.42 66.82' \$41'24'45' W C91 934.32' 004'46'50' 77.96' 39.00 77.94' \$56'39'20' W 32' 003'06'08' 66.83' 33.42 66.82' \$36'12'29' W C93 1120.96' 001'53'17' 36.94' 114.84' \$		S 71°04'44" E	S	59.95'	29.98	59.96'	002°45'20"	1246.70'	C81	N 64°52'46" W	65.84'	32.93	65.85'	002°39'17"	1421.14'	C30
3.1 03°03′46° 59.94′ 29.98 59.94′ S 60°19′16° E C84 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 30°22′13° W 3.1 002°18′59° 45.34′ 22.67 45.33′ S 57°37′53° E C85 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 34°02′48° W 4.8 000°46′16° 16.61′ 8.30 16.61′ N 55°04′37° E C86 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 37°43′22′ W 3.2 003°06′07° 66.83′ 33.42 66.82′ S 50°430′° W C87 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 45°04′30′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 44°33′00′ W C89 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 45°43′04′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 44°30′52′ W C90 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 56°32′20′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 44°24′45′ W C91 934.32′ 003°40′34° 59.95′ 29.98 59.94′ S 56°32′20′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 38°18′37′ W C92 1120.96′ 005°21′38° 104.88′ 52.48 104.84′ N 44°23′27′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 35°12′20′ W C93 1120.96′ 001′53′17′ 36.94′ 18.47′ 36.94′ N 39°35′25′ W 3.2 003°06′08° 66.83′ 33.42 66.82′ S 32°06′21′ W C94 1120.96′ 003°03′52′ 59.95′ 29.98 59.95′ N 30°59′07′ W 5.5 008°37′38° 78.25′ 39.20 78.17′ N 68°21′12′ W C96 1120.96′ 003°03′52′ 59.95′ 29.98 59.95′ N 30°59′07′ W 6.7 008°37′11′ 50.97′ 25.51′ 50.95′ N 83°45′37′ W C99 1120.96′ 003°03′52′ 59.95′ 29.98 59.95′ N 23°33′0′ W		S 68°46'38" E	S	40.21'	20.11	40.21'	001°50'52"	1246.70'	C82	S 66°26'49" E	59.94'	29.98	59.94'	003°03'46"	1121.31'	C31
3.1' 002'18'59' 45.34' 22.67 45.33' \$57'37'53' E \$ \$ \$ \$ 93.42' 003'40'34' \$ 9.95' \$ 29.98 \$ 9.94' \$ \$ \$ 34'02'48' W \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	V	S 24°57'36" W	S	59.93'	29.98	59.94'	003°40'32"	934.32'	C83	S 63°23'02" E	59.94'	29.98	59.94'	003°03'46"	1121.31'	C32
.48	٧	S 30°22'13" W	s	59.94'	29.98	59.95'	003°40'34"	934.32'	C84	S 60°19'16" E	59.94'	29.98	59.94'	003°03'46"	1121.31'	C33
32' 002"25'17" 52.16' 26.09 52.16' \$53"28'50" W C87 934.32' 003"40"34" 59.95' 29.98 59.94' \$41"23'56" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$47"37'00" W C89 934.32' 003"40"34" 59.95' 29.98 59.94' \$45"04" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$47"37'00" W C89 934.32' 003"40"34" 59.95' 29.98 59.94' \$52"25'38" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$44"3052" W C90 934.32' 003"40"34" 59.95' 29.98 59.94' \$52"25'38" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$41"24'45" W C91 934.32' 004"46'50" 77.96' 39.00 77.94' \$56"39'20" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$38"18'37" W C92 1120.96' 005"21'38" 104.88' 52.48 104.84' N44"23'27" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$35"12'29" W C93 1120.96' 001"53'17" 36.94' 18.47 36.94' N39"35'25" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$32"06'21" W C94 1120.96' 003"03'52" 59.95' 29.98 59.95' N37"06'51" W 3.32' 003"06'08" 66.83' 33.42 66.82' \$32"06'21" W C94 1120.96' 003"03'52" 59.95' 29.98 59.95' N34"02'59" W 5.51' 003"08'25" 67.77' 33.89 67.76' \$25"52'52" W C95 1120.96' 003"03'52" 59.95' 29.98 59.95' N34"02'59" W 5.51' 005"37" W 5.513' 37.63 75.07' N76"48'31" W C97 1120.96' 003"03'52" 59.95' 29.98 59.95' N30"59'07" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11' 50.97' 25.51 50.95' N35"45'37" W C98 1120.96' 003"03'52" 59.95' 29.98 59.95' N2"35'72'2" W 5.51' 005"37'11	٧	S 34°02'48" W	s	59.94'	29.98	59.95'	003°40'34"	934.32'	C85	S 57°37'53" E	45.33'	22.67	45.34'	002°18'59"	1121.31'	C34
1.32 002°2517° 52.16° 26.09 52.16° S 53°28'50° W C87 934.32° 003°40'34° 59.95° 29.98 59.94° S 41°23'56° W	٧	S 37°43'22" W	s	59.94'	29.98	59.95'	003°40'34"	934.32'	C86	N 55°04'37" E	16.61'	8.30	16.61'	000°46'15"	1234.48'	C35
.32	٧	S 41°23'56" W	S	59.94'	29.98	59.95'	003°40'34"	934.32'	C87	S 53°28'50" W	52.16'	26.09	52.16'	002°25'17"	1234.32'	C36
32' 003''06'08" 66.83' 33.42 66.82' S.47''37''00'' W C89 934.32' 003''40''34" 59.95' 29.98 59.94' S.48''450'4' W	٧	S 45°04'30" W	S	59.94'	29.98	59.95'	003°40'34"	934.32'	C88	S 50°43'07" W	66.82'	33.42	66.83'	003°06'07"	1234.32'	C37
32' 003°06′08" 66.83' 33.42 66.82' S 41°24′45" W C91 934.32' 004°46′50" 77.96' 39.00 77.94' S 56°39′20" W 32' 003°06′08" 66.83' 33.42 66.82' S 38°18′37" W C92 1120.96' 005°21′38" 104.88' 52.48 104.84' N 44°23′27" W 32' 003°06′08" 66.83' 33.42 66.82' S 35°12′29" W C93 1120.96' 001°53′17" 36.94' 18.47 36.94' N 39°35′25" W 32' 003°06′08" 66.83' 33.42 66.82' S 32°06′21" W C94 1120.96' 003°03′52" 59.95' 29.98 59.95' N 37°06′51" W 33' 003°08′25" 67.77' 33.89 67.76' S 25°52′52" W C95 1120.96' 003°03′52" 59.95' 29.98 59.95' N 30°59′07" W 467' 008°37′38" 78.25' 39.20 78.17' N 68°21′12" W C96 1120.96' 003°03′52" 59.95' 29.98 59.95' N 30°59′07" W 467' 008°37′11" 50.97' 25.51 50.95' N 83°45′37" W C98 1120.96' 003°03′52" 59.95' 29.98 59.95' N 23°37′22" W 467' 005°37′11" 50.97' 25.51 50.95' N 83°45′37" W C98 1120.96' 003°03′52" 59.95' 29.98 59.95' N 23°37′22" W 467' 047°08′45" 144.82' 76.79 140.77' S 54°58′36" W C99 1120.96' 003°03′52" 59.95' 29.98 59.95' N 20°33′30" W	٧	S 48°45'04" W	S	59.94'	29.98	59.95'	003°40'34"	934.32'	C89	S 47°37'00" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C38
32' 003°06'08" 66.83' 33.42 66.82' \$38°18'37" W C92 1120.96' 005°21'38" 104.88' 52.48 104.84' N 44°23'27" W C93 1120.96' 001°53'17" 36.94' 18.47 36.94' N 39°35'25" W C93 1120.96' 003°03'52" 59.95' 29.98 59.95' N 37°06'51" W C94 1120.96' 003°03'52" 59.95' 29.98 59.95' N 34°02'59" W C95 1120.96' 003°03'52" 59.95' 29.98 59.95' N 30°5907" W C95 003°03'52" 59.95' 29.98 59.95' N 30°5907" W C97 008°37'38" 78.25' 39.20 78.17' N 68°21'12" W C96 1120.96' 003°03'52" 59.95' 29.98 59.95' N 30°5907" W C97 008°17'01" 75.13' 37.63 75.07' N 76°48'31" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 27°55'15" W C96 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W C97 004°08'45" 144.82' 76.79 140.77' \$54°58'36" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C90 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C90 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C90 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C90 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C90 1120.9	٧	S 52°25'38" W	S	59.94'	29.98	59.95'	003°40'34"	934.32'	C90	S 44°30'52" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C39
120.96 003°06′08" 66.83 33.42 66.82 \$38°18'37" W C92 1120.96 005°21'38" 104.88 52.48 104.84 N 44°23'27" W	٧	S 56°39'20" W	S	77.94'	39.00	77.96'	004°46'50"	934.32'	C91	S 41°24'45" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C40
120.96 1	V	N 44°23'27" W	N 4	104.84'	52.48	104.88'	005°21'38"	1120.96'	C92	S 38°18'37" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C41
1.51' 003°08'25" 67.77' 33.89 67.76' \$ 25°52'52" W C95 1120.96' 003°03'52" 59.95' 29.98 59.95' N 34°02'59" W C96 1120.96' 003°03'52" 59.95' 29.98 59.95' N 30°59'07" W C96 1120.96' 003°03'52" 59.95' 29.98 59.95' N 30°59'07" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 27°55'15" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 27°55'15" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W C98 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W C98 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W C99 1120.96' 003°03'52"	V	N 39°35'25" W	N:	36.94'	18.47	36.94'	001°53'17"	1120.96'	C93	S 35°12'29" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C42
6.51' 003°08'25" 67.77' 33.89 67.76' \$ 25°52'52" W C95 1120.96' 003°03'52" 59.95' 29.98 59.95' N 34°02'59" W DF 66' 008°37'38" 78.25' 39.20 78.17' N 68°21'12" W C96 1120.96' 003°03'52" 59.95' 29.98 59.95' N 30°59'07" W 66' 008°17'01" 75.13' 37.63 75.07' N 76°48'31" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 27°55'15" W 66' 005°37'11" 50.97' 25.51 50.95' N 83°45'37" W C98 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W AF 00' 047°08'45" 144.82' 76.79 140.77' \$ 54°58'36" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W	V	N 37°06'51" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C94	S 32°06'21" W	66.82'	33.42	66.83'	003°06'08"	1234.32'	C43
1.67 008 37 38 78.25 39.20 78.17 N 68 21 12 W C96 1120.96 003 03 52 59.95 29.98 59.95 N 30 3907 W 1.67 008°17'01" 75.13' 37.63 75.07' N 76°48'31" W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 27°55'15" W 1.67 005°37'11" 50.97' 25.51 50.95' N 83°45'37" W C98 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W 1.68 21 12 W C97 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W 1.69 21 22 23 23 24 24 24 24 24 24 24 24 24 24 24 24 24	V	N 34°02'59" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C95	S 25°52'52" W	67.76'	33.89	67.77'	003°08'25"	1236.51'	C44
67' 005°37'11" 50.97' 25.51 50.95' N 83°45'37" W C98 1120.96' 003°03'52" 59.95' 29.98 59.95' N 23°37'22" W 00' 047°08'45" 144.82' 76.79 140.77' S 54°58'36" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W	V	N 30°59'07" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C96	N 68°21'12" W	78.17'	39.20	78.25'	008°37'38"	519.67'	C45
00' 047°08'45" 144.82' 76.79 140.77' S 54°58'36" W C99 1120.96' 003°03'52" 59.95' 29.98 59.95' N 20°33'30" W	V	N 27°55'15" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C97	N 76°48'31" W	75.07'	37.63	75.13'	008°17'01"	519.67'	C46
	V	N 23°37'22" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C98	N 83°45'37" W	50.95'	25.51	50.97'	005°37'11"	519.67'	C47
00' 047°09'49" 144.88' 76.83 140.82' \$ 07°49'19" W C100 1120.96' 003°03'52" 59.95' 29.98 59.95' N 17°29'38" W	V	N 20°33'30" W	N:	59.95'	29.98	59.95'	003°03'52"	1120.96'	C99	S 54°58'36" W	140.77'	76.79	144.82'	047°08'45"	176.00'	C48
	V	N 17°29'38" W	N	59.95'	29.98	59.95'	003°03'52"	1120.96'	C100	S 07°49'19" W	140.82'	76.83	144.88'	047°09'49"	176.00'	C49
	V	N 11°54'14" W	N	38.87'	19.44	38.87'	001°59'13"	1120.96'	C102	S 86°31'30" E	140.86'	76.85	144.92'	047°10'36"	176.00'	C51



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RIBER21006 PROJECT

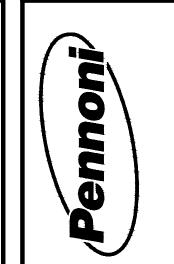
DATE 2024-05-29 DRAWING SCALE AS SHOWN

EOC, RWS DRAWN BY APPROVED BY

			PARCEL C	URVE TAE	 3LE	
CURVE#	RADIUS	DELTA	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
R1	27.14'	085°45'30"	40.63'	25.21	36.94'	S 38°34'02" E
R2	1295.63'	010°55'32"	247.06'	123.90	246.68'	S 03°25'43" W
R3	25.00'	092°39'27"	40.43'	26.19	36.17'	S 44°17'41" W
R4	178.96'	042°02'16"	131.30'	68.76	128.38'	N 68°21'28" W
R5	23.00'	085°21'08"	34.26'	21.21	31.18'	N 04°39'46" W
R6	51.00'	028°38'00"	25.49'	13.02	25.22'	N 23°41'48" E
R7	51.00'	047°09'24"	41.98'	22.26	40.80'	N 14°11'54" W
R8	51.00'	047°09'24"	41.98'	22.26	40.80'	N 61°21'19" W
R9	51.00'	047°09'24"	41.97'	22.26	40.80'	S 71°29'17" W
R10	51.00'	047°09'22"	41.97'	22.26	40.80'	S 24°19'54" W
R11	51.00'	023°36'27"	21.01'	10.66	20.87'	S 11°03'01" E
R12	228.96'	013°35'59"	54.35'	27.30	54.22'	S 36°34'45" E
R13	228.96'	015°07'27"	60.44'	30.40	60.26'	S 50°56'27" E
R14	228.96'	015°07'28"	60.44'	30.40	60.26'	S 66°03'54" E
R15	228.96'	017°39'11"	70.54'	35.55	70.27'	S 82°27'14" E
R16	25.00'	084°54'10"	37.05'	22.87	33.75'	S 48°49'44" E
R17	1293.50'	001°42'45"	38.66'	19.33	38.66'	S 07°14'02" E
R18	1296.14'	002°37'31"	59.39'	29.70	59.38'	S 10°55'05" E
R19	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 13°33'29" E
R20	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 16°12'45" E
R21	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 18°52'02" E
R22	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 21°31'18" E
R23	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 24°10'34" E
R24	1296.14'	000°53'05"	20.02'	10.01	20.02'	S 25°56'45" E
R25	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 27°42'56" E
R26	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 30°22'13" E
R27	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 33°01'29" E
R28	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 35°40'45" E
R29	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 38°20'02" E
R30	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 40°59'18" E
R31	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 43°38'34" E
R32	1296.14'	002°37'21"	59.33'	29.67	59.32'	S 46°16'53" E
R33	1296.14'	002°41'12"	60.78'	30.39	60.77'	S 48°56'09" E
R34	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 51°36'24" E
R35	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 54°15'40" E
R36	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 56°54'56" E
R37	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 59°34'13" E
R38	1296.14'	002°39'16"	60.05'	30.03	60.05'	S 62°13'29" E
R39	1296.14'	002°17'41"	51.91'	25.96	51.91'	S 64°41'57" E
R40	25.00'	077°46'41"	33.94'	20.16	31.39'	S 26°57'27" E

			PARCEL C	UKVE IAE	3LE	
CURVE#	RADIUS	DELTA	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARIN
R44	1244.49'	000°55'58"	20.26'	10.13	20.26'	N 65°23'28" W
R45	1244.49'	003°04'03"	66.63'	33.32	66.62'	N 63°23'27" W
R46	1244.49'	003°04'03"	66.63'	33.32	66.62'	N 60°19'24" W
R47	1244.49'	004°53'42"	106.32'	53.19	106.29'	N 56°20'32" W
R48	1244.49'	004°33'36"	99.05'	49.55	99.02'	N 51°36'53" W
R49	25.00'	111°04'16"	48.46'	36.42	41.22'	N 06°12'03" E
R50	1109.32'	003°15'34"	63.11'	31.56	63.10'	N 60°06'24" E
R51	1109.32'	003°06'16"	60.11'	30.06	60.10'	N 56°55'29" E
R52	1109.32'	003°06'10"	60.07'	30.04	60.07'	N 53°49'16" E
R53	1109.32'	003°06'07"	60.06'	30.04	60.05'	N 50°43'07" E
R54	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 47°37'00" E
R55	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 44°30'52" E
R56	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 41°24'45" E
R57	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 38°18'37" E
R58	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 35°12'29" E
R59	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 32°06'21" E
R60	1109.32'	003°06'08"	60.06'	30.04	60.05'	N 29°00'13" E
R61	1109.32'	003°03'05"	59.08'	29.55	59.07'	N 25°55'37" E
R62	1109.32'	002°38'11"	51.05'	25.53	51.04'	N 22°33'59" E
R63	1109.32'	002°37'12"	50.73'	25.37	50.72'	N 19°56'18" E
R64	25.00'	101°51'21"	44.44'	30.79	38.82'	N 69°33'22" E
R65	1180.74'	002°50'31"	58.57'	29.29	58.56'	S 58°05'20" E
R66	394.67'	008°35'54"	59.23'	29.67	59.17'	S 68°22'04" E
R67	394.67'	008°17'01"	57.06'	28.58	57.01'	S 76°48'31" E
R68	394.67'	005°37'11"	38.71'	19.37	38.69'	S 83°45'37" E
R69	51.00'	047°07'12"	41.94'	22.24	40.77'	N 55°01'54" E
R70	51.00'	047°10'53"	42.00'	22.27	40.82'	N 07°52'51" E
R71	51.00'	047°13'36"	42.04'	22.30	40.86'	N 39°19'23" W
R72	51.00'	047°13'37"	42.04'	22.30	40.86'	N 86°32'59" W
R73	51.00'	043°06'48"	38.38'	20.15	37.48'	S 48°16'49" W
R74	23.00'	078°54'18"	31.67'	18.93	29.23'	S 66°10'34" W
R75	344.67'	017°23'33"	104.63'	52.72	104.22'	N 65°40'31" W
R76	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 58°56'21" W
R77	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 61°21'24" W
R78	1422.99	002°25'03"	60.04'	30.03	60.04'	N 63°46'27" W
R79	1422.99	002°25'03"	60.04'	30.03	60.04'	N 66°11'30" W
R80	1422.99	002°25'03"	60.04'	30.03	60.04'	N 68°36'34" W
R81	1422.99	002°25'03"	60.04'	30.03	60.04'	N 71°01'37" W
R82	1422.99	002 25 03 002°25'03"	60.04'	30.03	60.04'	N 73°26'40" W
R83	1422.99	002 25 03 002°25'03"	60.04'	30.03	60.04'	N 75°51'44" W
R84	1422.99	002 25 03 002°25'03"	60.04'	30.03	60.04'	N 78°16'47" W
	1422.99'	002°25'03"		30.03	60.04'	
R85 R86		002°25'03" 002°25'03"	60.04'			N 80°41'50" W
	1422.99'		60.04'	30.03	60.04'	N 83°06'54" W
R87	1422.99'	002°25'03"	60.04'	30.03	60.04'	N 85°31'57" W
R88	1422.99'	002°25'05"	60.06'	30.03	60.05'	N 87°57'01" W
R89	1422.99'	002°25'03"	60.04'	30.03	60.04'	S 89°37'54" W
R90	1422.99'	002°25'09"	60.08'	30.05	60.08'	S 87°12'48" W
R91	1422.99'	002°24'58"	60.00'	30.01	60.00'	S 84°47'44" W
R92	1422.99'	002°25'04"	60.04'	30.03	60.04'	S 82°22'43" W
R93	1422.99'	002°12'25"	54.81'	27.41	54.81'	S 80°03'59" W

CURVE#	RADIUS	DELTA	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
R95	1257.40'	004°27'45"	97.94'	48.99	97.91'	N 00°53'56" E
R96	1257.40'	006°09'54"	135.30'	67.71	135.23'	N 06°12'46" E
R97	27.58'	056°20'01"	27.12'	14.77	26.04'	N 39°36'31" E
R98	25.00'	084°29'47"	36.87'	22.71	33.62'	S 36°09'02" W
R99	1245.96'	003°25'36"	74.51'	37.27	74.50'	S 07°48'39" E
R100	1245.96'	003°22'24"	73.35'	36.69	73.34'	S 11°12'39" E
R101	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 14°25'47" E
R102	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 17°29'38" E
R103	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 20°33'30" E
R104	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 23°37'22" E
R105	1245.96'	001°14'00"	26.82'	13.41	26.82'	S 25°46'18" E
R106	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 27°55'15" E
R107	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 30°59'06" E
R108	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 34°02'58" E
R109	1245.96'	003°03'52"	66.64'	33.33	66.63'	S 37°06'50" E
R110	1245.96'	003°03'51"	66.63'	33.32	66.63'	S 40°10'41" E
R111	1245.96'	002°39'35"	57.84'	28.92	57.83'	S 43°02'24" E
R112	25.00'	072°01'11"	31.42'	18.17	29.40'	S 80°22'46" E
R113	1059.32'	006°06'08"	112.82'	56.46	112.77'	N 60°33'34" E
R114	1059.32'	003°14'35"	59.96'	29.99	59.95'	N 55°53'12" E
R115	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 52°25'38" E
R116	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 48°45'04" E
R117	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 45°04'30" E
R118	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 41°23'56" E
R119	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 37°43'22" E
R120	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 34°02'48" E
R121	1059.32'	003°40'34"	67.97'	33.99	67.95'	N 30°22'13" E
R122	1059.32'	001°44'05"	32.07'	16.04	32.07'	N 27°39'54" E
R123	1059.32'	003°40'32"	67.95'	33.99	67.94'	N 24°57'36" E
R124	1059.32'	005°26'41"	100.66'	50.37	100.63'	N 20°23'59" E
R125	25.00'	081°24'02"	35.52'	21.50	32.61'	N 23°01'22" W
R126	1371.70'	003°11'11"	76.29'	38.15	76.28'	N 65°18'59" W
R127	1371.70'	002°47'35"	66.87'	33.44	66.86'	N 68°18'22" W
R128	1371.70'	002 47 35 002°45'19"	65.96'	32.99	65.95'	N 71°04'49" W
R129	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 73°50'08" W
R130	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 76°35'27" W
R131	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 79°20'46" W
R132	1371.70'	002°45'19"	65.96'	32.99	65.96'	N 82°06'05" W
R133	1371.70	002°45'19"	65.96'	32.99	65.96'	N 84°51'23" W
R134	1371.70'	002 45 19 002°45'19"	65.96'	32.99	65.96'	N 87°36'43" W
R135	1371.70	002°45'19"	65.96'	32.99	65.96'	S 89°37'59" W
R136	1371.70'	002 45 19 002°45'19"	65.96'	32.99	65.96'	S 86°52'40" W
R136	1371.70	002 45 19 002°45'18"	65.96'	32.99	65.95'	S 84°07'21" W
	 	002°45°18" 004°20'46"				
R138	1371.70'		104.05'	52.05	104.02'	S 80°34'19" W
R139	66.00'	177°50'05"	204.85'	3492.25	131.98'	S 03°43'29" E
R140	49.00'	094°24'05"	80.73'	52.92	71.91'	N 38°56'58" E
R141 R143	25.00' 699.11'	102°13'19" 001°23'48"	44.60' 17.04'	31.00 8.52	38.92' 17.04'	N 63°02'33" E N 00°49'57" E



CORD PLAN R.O.W. CURVE DATA
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108 BALLENGER SUBDIVISION
234-11.00-103.00 & 234-11.00-103.01
HOLLYMOUNT ROAD (SCR 048)
HARBESON, DE 19951

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PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATES; AND OWNER
SHALL INDEMNIFY AND HOLD HARMLESS PENNONI
ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

RIBER21006 PROJECT 2024-02-02

DRAWING SCALE DRAWN BY

> APPROVED BY AMD **RP1006**

AS SHOWN

DTR