

APPLICATION - PERMIT
ON-SITE WASTEWATER SYSTEM



(Please Type or Print Legibly)

OWNER'S NAME: Jen Holdco 24, LLC PHONE: (212) 755-4300

ADDRESS: 680 Fifth Avenue, 25th Floor, New York City, NY 10019

PROJECT LOCATION: Shingle Point Road, Milton, DE 19968

TAX/MAP #: 235-25.00-39.00

APPLICATION PREPARER: ALAN M. DECKTOR DNREC LICENSE #: 5912

PREPARER'S ADDRESS: 18072 Davidson Drive, Milton, DE 19968

PHONE: 302-684-6231, 302-684-8030

I hereby affirm that the information provided on this document is accurate and complete.

Preparer's Signature: [Handwritten Signature] Date: 4/8/2016

By signing this permit application, the preparer further certifies they were physically present at the site.



-SEPTIC DESIGN CRITERIA-

(Please check all boxes that apply)

System Type: (CF = Cap & Fill / FD = Full Depth)

- Gravities, Pressure Doses, Pipe types, Holding Tanks, and other system options with checkboxes.

- Bed or Trench, Gravelless Chamber, Stone/Gravel, Tire Chips, Sand-lined options.

Existing System Malfunctioning Yes No N/A

- Pre-Treatment Units: Septic Tank, Other

Central Water Available Yes No (If yes, please state Utility Name:)

Type of Construction:

- Replacement, New Construction, Component Replacement, Repair to Existing System, Reason:

Authorization to Use Existing System Permit #: Present Condition: Structure to be connected:

of Bedrooms: N/A Avg. Percolation Rate: N/A Gallons Per Day Flow: * Minimum Sq. Ft. Req'd: * Sq. Ft. Proposed: N/A

*See Calculation sheet attached to this packet.

Four Winds Subdivision

Pump and Haul Contract Requirements

Pump and haul necessitated as power for wastewater Pump Station is not operational.

1. Per DNREC requirements, a valid pump and haul contract is required with an approved wastewater haul Contractor.
2. A manhole in the wastewater collection system from which it is planned to pump from has been identified as Manhole No 2. Top of bench (elev. 15.31) shall be considered as zero elevation for storage purposes.
3. Manhole No 1 shall be plugged on the upstream side to facilitate storage of wastewater in the collection system or isolation valve down stream of MH 1 can be closed with the approval of Artesian. Plug may have to be propped to reduce the risk of being blown out.
4. Install a monitor in the discharge manhole (No 2) to monitor flow and head/ depth in the manhole. communication antenna to be linked with Hauler/ owner. To ensure that the risk of flooding is mitigated.
5. As the size of the hauler is not known the following table lists depth in manhole vs volume stored and the length of collection system impacted by flooding.

Top of bench in MH 2 selected as Zero storage, allowing for bench obstruction: 1 Foot 2.64 Gal: 1 ft MH 35 linear ft pipe. (94 gal)

Computations in attached spreadsheet

Depth stored WW in MH (Ft)	Length of sewer flood impact (Ft)	Volume WW stored (Gal)
0	240	0
1	514	1,612
2	1,228	3,984
3	2,035	6,865
4	3,106	10,887
5	4,177	15,063
6	5,284	19,400
7	6,319	23,824

6. On completion of the pump and haul contract the impacted sewers shall be flushed and cleaned. Lines shall be verified as clean by CCTV of the impacted lines, to the satisfaction of Artesian Wastewater Management Inc.



**Clean
Delaware
Inc.**

P.O. Box 123 · Milton · DE 19968
1.888.637.1517 · 302.684.4221 · Fax: 302.684.1850

www.cleandelaware.com

PUMP AND HAUL SEWAGE MAINTENANCE CONTRACT

PROPERTY OWNER: JEN HOLDCO 24 LLC BILLING ADDRESS: Four Winds
680 Fifth Ave, 1285 Drummers Lane
25th Floor Wayne, PA 19087
New York, NY 10019 david.steele@lennar.com

TELEPHONE: 302-258-7271 TAX MAP NUMBER: 2-35 25.00 39.00

PROPERTY LOCATION: Four Winds Farm (Lennar Homes)
(Pump Station manhole)
East of Shingle Point Rd. @ Black Lane intersection
Milton, DE

HOLDING TANK SIZE: 9,000 gallons DISPOSAL SITE: Clean Delaware, LLC
Route 30
Milton, DE 19968

CONTRACT EXPIRES: March 31, 2026

TERMS OF CONTRACT:

1. Pumping frequency will be such that the waste level is maintained to prevent overflowing.
2. Pumping will be scheduled to maintain low levels. A high-level alarm will also be installed.
3. Duration of the contract is one year or that part of, until expiration date.
4. A fleet of vacuum trucks ranging from 4000 to 7000 gallons is available for emergency response.

Gerry Desmond
Clean Delaware, LLC

December 2, 2025

Date

Property Owner/Agent

12/2/25

Date

Environmental Pumping + Complete Septic Service
Grease Trap Pumping + Portable Toilet Rentals
Residential + Commercial + Industrial

PARID: 235-25.00-39.00
 JEN HOLDCO 24 LLC

Property Information

Property Location:

Unit:
 City:
 State:
 Zip:

Class: R-Residential
 Use Code (LUC): 100-Residential - Vacant Land
 Town: 00-None
 Tax District: 235 - BROAD KILL
 School District: 6 - CAPE HENLOPEN
 Fire District: 85-Milton
 Deeded Acres: 167.2000
 Frontage: 0
 Depth: .000
 Irr Lot:
 Plot Book Page: /PB
 100% Land Value: \$1,627,200
 100% Improvement Value: \$0
 100% Total Value: \$1,627,200

Legal

Legal Description: FOUR WINDS FARM
 OPEN SPACE A THRU N

Owners

Owner	Co-owner	Address	City	State	Zip
JEN HOLDCO 24 LLC		680 FIFTH AVE 25TH	NEW YORK	NY	10019

Sales

Sale Date	Book/Page	Sale Price	Stamp Value	Parcels Sold	Grantee/Buyer
08/09/2024	6150/114	\$6,724,553.00			JEN HOLDCO 24 LLC
09/12/2022	5771/244				SPRING GARDEN LLC
09/05/2018	4943/264				SPRING GARDEN LLC

Owner History

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2025	JEN HOLDCO 24 LLC		680 FIFTH AVE 25TH	NEW YORK	NY	10019	6150/114
2024	JEN HOLDCO 24 LLC		680 FIFTH AVE 25TH	NEW YORK	NY	10019	6150/114
2024	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	5771/244
2023	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	5771/244
2022	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	5771/244
2022	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	4943/264
2021	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	4943/264
2020	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	4943/264
2019	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	4943/264
2018	SPRING GARDEN LLC		16793 ISLAND FARM LN	MILTON	DE	19968	4943/264
2018	TRIPLE C FARMS LLC		16793 ISLAND FARM LN	MILTON	DE	19968	3802/133
2017	TRIPLE C FARMS LLC		16793 ISLAND FARM LN	MILTON	DE	19968	3802/133
2011	TRIPLE C FARMS LLC		16793 ISLAND FARM LN	MILTON	DE	19968	3802/133



SCADA Made Simple

1-877-993-1911

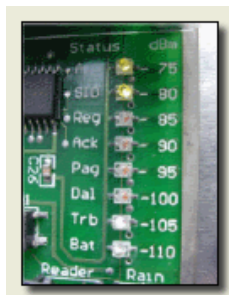
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Products



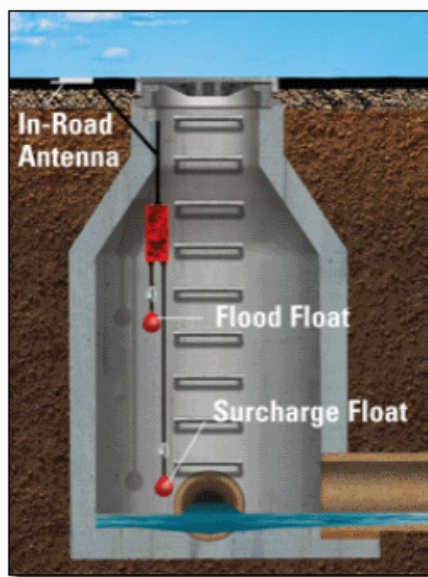
MISSION's high reliability RTU circuitry comes in a wide variety of packages to suit the installation requirements.

MISSION Model 80 In-Sewer Sewer Overflow Detector

The *MISSION* Model 80 is complete overflow condition transmitter designed to be installed in [Combined Sewer Overflow \(CSO\)](#) and [Sanitary Sewer Overflow \(SSO\)](#) locations. It uses third-generation cellular service to track conditions and send alarms to personnel regarding the time and duration of manhole surcharges and overflows. The complete package includes M80 sealed transmitter with 5-year sealed battery, two floats, and proprietary in-road antenna.



A typical M80 installation is shown below. The M80 is simply hung from a convenient area near the manhole (no confined-space entry is required). The floats hang down to levels in the manhole, one at a "surcharge" level and one at a pre-flood levels. Flows exceeding system capacity tip the float and the M80 transmits an alarm message using the in-road antenna. Notifications are then sent out to the selected call-out list.



Feature	Benefit
Wireless SSO/CSO reporting system	No power or phone lines to install
Installs from the surface	Confined-space-entry permit not required
Electronics, radio and battery are conformal coated, sealed, and UL approved. Exposed hardware is 316 stainless steel	Corrosion resistant, "set it and forget it"
Includes level floats and 5-year battery	Nothing else to buy
Test messages sent every 3 days.	Documents cellular channel signal strength and battery level

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CONSTRUCTION PHASING DATA				
PHASE	# OF LOTS	LOT #	ACRES	ROADWAY FOOTAGE
1A	24	LOT 1-14, 137-146	19.14	2,164
1B	0	DELOT ROAD IMPROVEMENT	6.03	3,102
2	23	LOT 15-21, 124-136, 180-182	19.17	1,407
3A	AMENITY AREA	POOL AND CLUBHOUSE	2.09	0
3B	62	LOT 22-47, 147-156, 163-179, 183-191	19.05	2,442
4	59	LOT 110-123, 212-233, 241-263	16.64	2,360
5	16	LOT 101-109, 234-240	8.71	501
6	63	LOT 48-54, 157-162, 192-211, 232-252	20.56	2,751
7	34	LOT 85-100, 224-231, 293-297, 306-314	12.95	2,011
8	55	LOT 85-84, 268-272, 296-305, 315-336	15.55	2,247
TOTAL	336		139.89	19005

- NOTES:**
- THE DEVELOPER/CONTRACTOR SHOULD BE AWARE THAT THE RELEASE OF BUILDING PERMITS BY THE LAND USE AGENCY FOR THIS PROJECT IS BEING PHASED. THE CONSTRUCTION OF THE FULL MOVEMENT HAMMERHEAD SITE ENTRANCE SHALL BEGIN AND SHALL BE SUBSTANTIALLY COMPLETE, AS DEFINED PER THE DEPARTMENT'S STANDARD SPECIFICATIONS, PRIOR TO THE ISSUANCE OF THE 1ST BUILDING PERMIT AND SHALL BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 5TH BUILDING PERMIT. THE REMAINING CONSTRUCTION OF THE FULL MOVEMENT SITE ENTRANCE AND ALL ASSOCIATED ROADWAY AND PEDESTRIAN IMPROVEMENTS, AS DEPICTED IN THE DELOT-APPROVED PLANS, SHALL BEGIN PRIOR TO THE ISSUANCE OF THE 6TH BUILDING PERMIT AND BE COMPLETE, INCLUDING ACCEPTANCE BY THE DEPARTMENT, PRIOR TO THE ISSUANCE OF THE 24TH BUILDING PERMIT.
 - PER CONDITION M, THERE SHALL BE ON SITE RECREATIONAL AMENITIES INCLUDING A CLUBHOUSE, OUTDOOR POOL AND DECK, A BATHHOUSE AND STORAGE BUILDING, A TOT LOT, AND PICKLEBALL COURTS. THE SIZE AND DIMENSIONS OF THE CLUBHOUSE, POOL, AND DECK SHALL BE INCLUDED ON THE FINAL SITE PLAN. THESE AMENITIES SHALL BE COMPLETED AND OPEN TO USE PRIOR TO THE ISSUANCE OF THE 14TH RESIDENTIAL BUILDING PERMIT.
 - UTILITY LATERALS FOR THE CLUBHOUSE WILL BE INSTALLED IN PHASE 1A BUT THE CLUBHOUSE ITSELF WONT BE CONSTRUCTED UNTIL PHASE 3A.

Pennoni
PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Millersville, DE 19968
 T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR. OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

ALAN M. DECKTOR
 LICENSE
 No. 17771
 PROFESSIONAL ENGINEER

FOUR WINDS FARM SUBDIVISION
 TAX ID 235-25-00-39-00
 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE

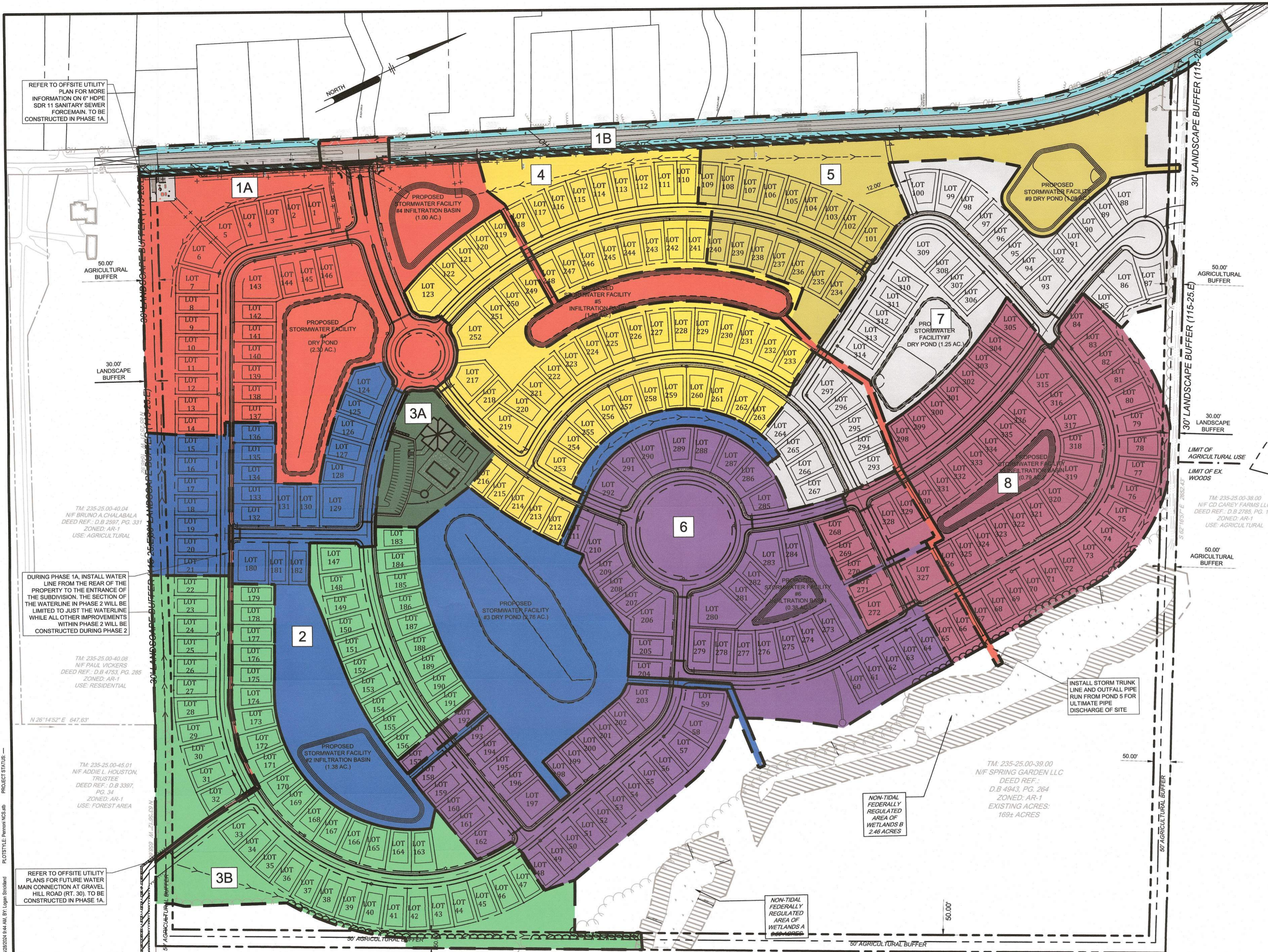
PHASING PLAN
 RIBERA DEVELOPMENT, LLC
 8884 VETERANS HIGHWAY, SUITE 403
 MILLERSVILLE, MD 21108

NO.	DATE	REVISIONS	BY
4	2024-05-09	REVISED PER SDCD COMMENTS	LFS
3	2024-05-23	REVISED PER SDCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AVM COMMENTS	LFS

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE WITHOUT WRITTEN VERIFICATION SHALL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: RIBER21001
 DATE: 2023-06-8
 DRAWING SCALE: AS SHOWN
 DRAWN BY: LM/EW
 APPROVED BY: AMD

CS0901
 SHEET 3 OF 95



REFER TO OFFSITE UTILITY PLAN FOR MORE INFORMATION ON 6" HDPE SDR 11 SANITARY SEWER FORCEMAIN, TO BE CONSTRUCTED IN PHASE 1A.

DURING PHASE 1A, INSTALL WATER LINE FROM THE REAR OF THE PROPERTY TO THE ENTRANCE OF THE SUBDIVISION. THE SECTION OF THE WATERLINE IN PHASE 2 WILL BE LIMITED TO JUST THE WATERLINE WHILE ALL OTHER IMPROVEMENTS WITHIN PHASE 2 WILL BE CONSTRUCTED DURING PHASE 2

REFER TO OFFSITE UTILITY PLANS FOR FUTURE WATER MAIN CONNECTION AT GRAVEL HILL ROAD (RT. 30), TO BE CONSTRUCTED IN PHASE 1A.

CONFIRMED COPY
 Document # 202400022557 BK. 429 PG. 46
 On 7/11/2024 at 3:22:27 PM
 SUSSEX COUNTY
 RECORDED OF DEEDS Alexandr Reed Baker
 County
 Consideration: \$0.00

APPROVED
 J. Dickinson
 6/28/2024
 Sussex County
 Engineering Department

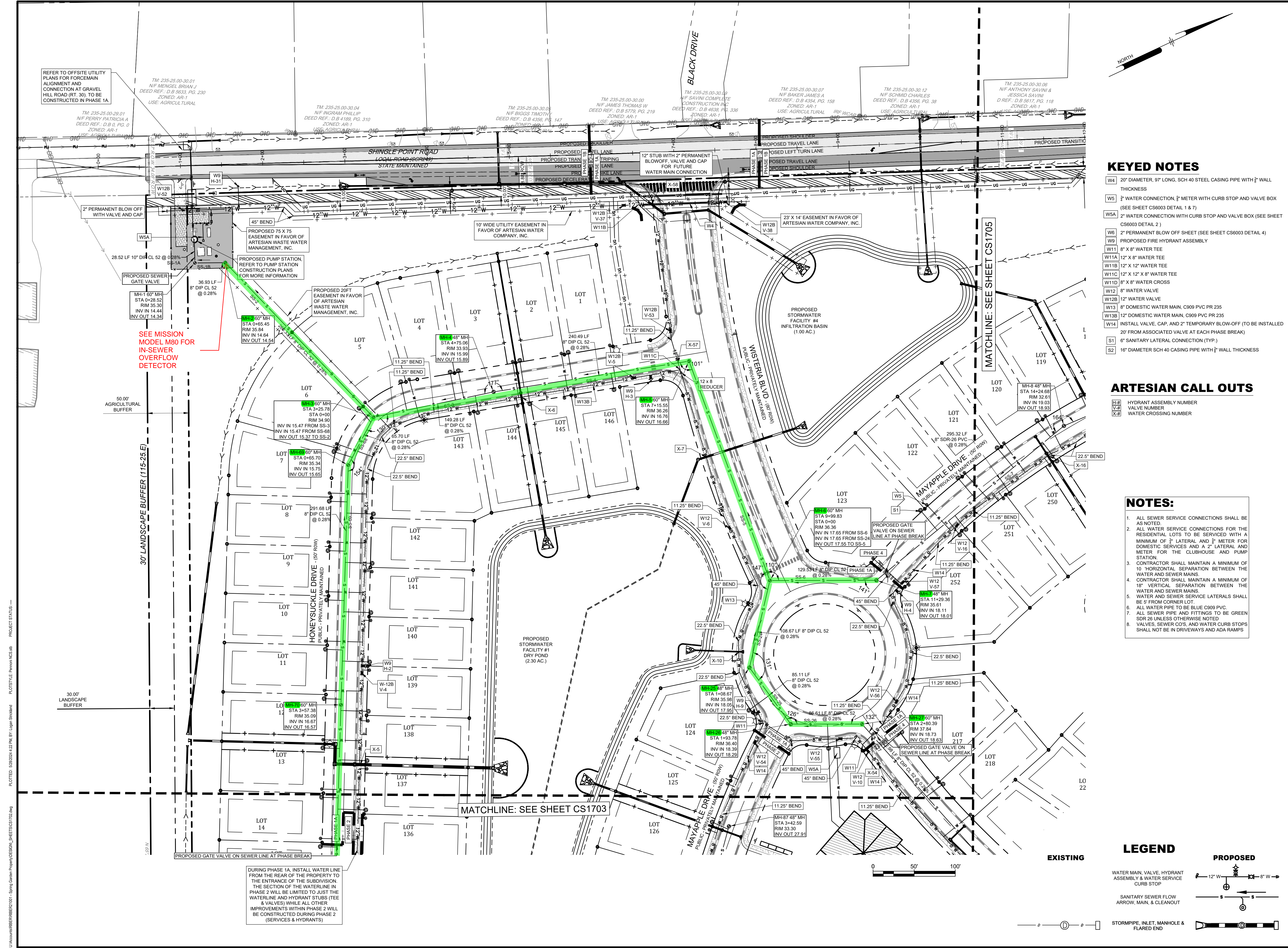
TM: 235-25-00-40-04
 NF BRUNO A CHALABALA
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 ZONED: AR-1
 USE: AGRICULTURAL

TM: 235-25-00-40-08
 NF PAUL VICKERS
 DEED REF: D.B. 4733, PG. 285
 ZONED: AR-1
 USE: RESIDENTIAL

TM: 235-25-00-45-01
 NF ADDIE L. HOUSTON, TRUSTEE
 DEED REF: D.B. 3397, PG. 34
 ZONED: AR-1
 USE: FOREST AREA

TM: 235-25-00-39-00
 NF SPRING GARDEN LLC
 DEED REF: D.B. 4943, PG. 264
 ZONED: AR-1
 EXISTING ACRES: 169.2 ACRES

TM: 235-25-00-48-00
 NF TRIPLE C FARMS LLC
 DEED REF: D.B. 3802, PG. 133
 ZONED: AR-1
 USE: AGRICULTURAL



KEYED NOTES

- W4 20" DIAMETER, 9' LONG, SCH 40 STEEL CASING PIPE WITH 1/2" WALL THICKNESS
- WS 3/4" WATER CONNECTION, 3/4" METER WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 1 & 7)
- WSA 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
- W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11A 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W11C 12" X 12" X 8" WATER TEE
- W11D 8" X 8" WATER CROSS
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 6" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

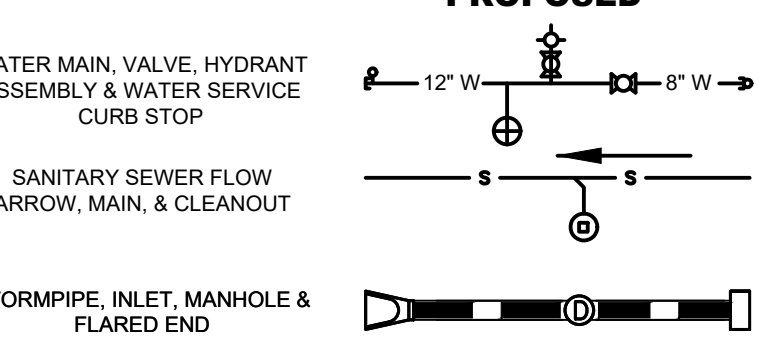
ARTESIAN CALL OUTS

- H-# HYDRANT ASSEMBLY NUMBER
- V-# VALVE NUMBER
- X-# WATER CROSSING NUMBER

NOTES:

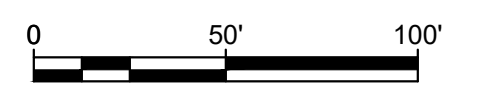
1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 3/4" LATERAL AND 3/4" METER FOR DOMESTIC SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

LEGEND



EXISTING

PROPOSED



DURING PHASE 1A, INSTALL WATER LINE FROM THE REAR OF THE PROPERTY TO THE ENTRANCE OF THE SUBDIVISION. THE SECTION OF THE WATERLINE IN PHASE 2 WILL BE LIMITED TO JUST THE WATERLINE AND HYDRANT STUBS (TEE & VALVES) WHILE ALL OTHER IMPROVEMENTS WITHIN PHASE 2 WILL BE CONSTRUCTED DURING PHASE 2 (SERVICES & HYDRANTS)

SEE MISSION MODEL M80 FOR IN-SEWER OVERFLOW DETECTOR

PENNONI ASSOCIATES INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.9030 F 302.684.8054

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FOUR WINDS FARM SUBDIVISION
TAX ID 235-25-00-39.00
SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE

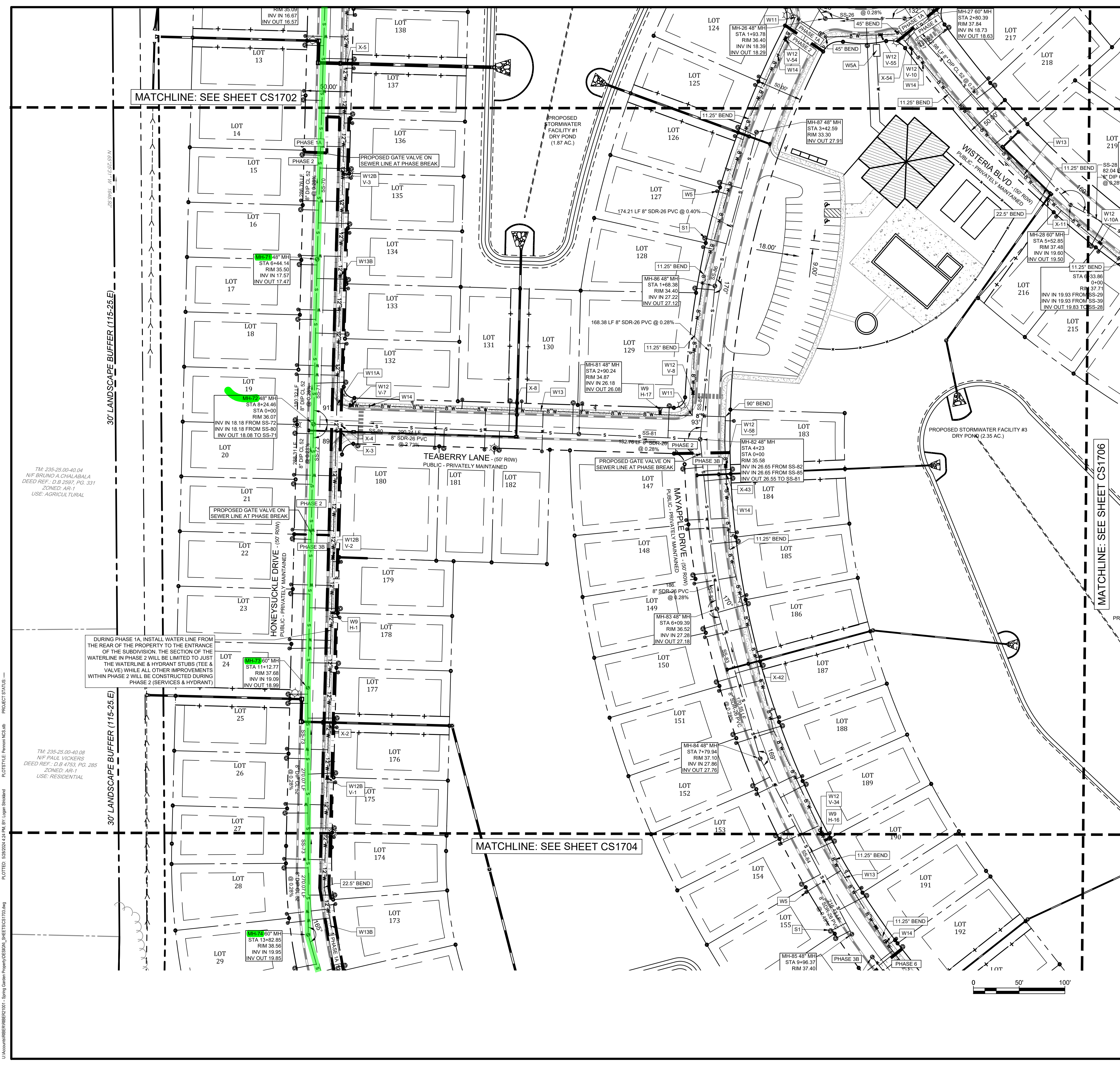
UTILITY PLAN
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

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1	2023-12-18	REVISED PER AWC & AWWI COMMENTS	VFL

PROJECT: RIBER21001
DATE: 2023-11-27
DRAWING SCALE: 1" = 50'
DRAWN BY: LME/WVL
APPROVED BY: AMD

CS1702
SHEET 18 OF 95

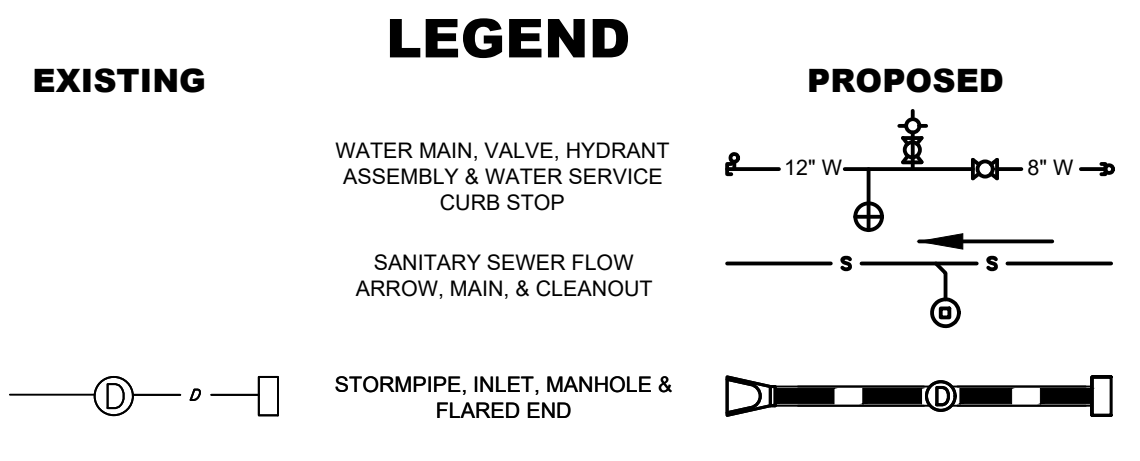
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- ### KEYED NOTES
- W4 20" DIAMETER, 97' LONG, SCH 40 STEEL CASING PIPE WITH 3/8" WALL THICKNESS
 - W5 3/4" WATER CONNECTION, 3/4" METER WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 1 & 7)
 - W5A 2" WATER CONNECTION WITH CURB STOP AND VALVE BOX (SEE SHEET CS6003 DETAIL 2)
 - W6 2" PERMANENT BLOW OFF SHEET (SEE SHEET CS6003 DETAIL 4)
 - W9 PROPOSED FIRE HYDRANT ASSEMBLY
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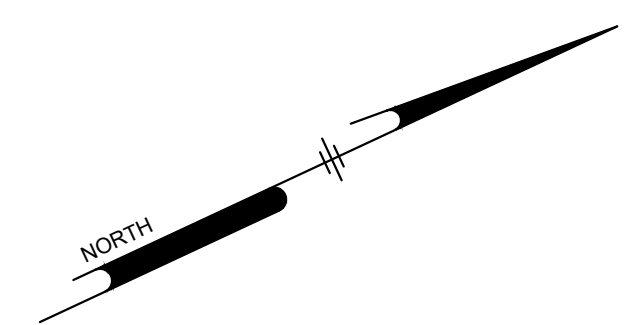
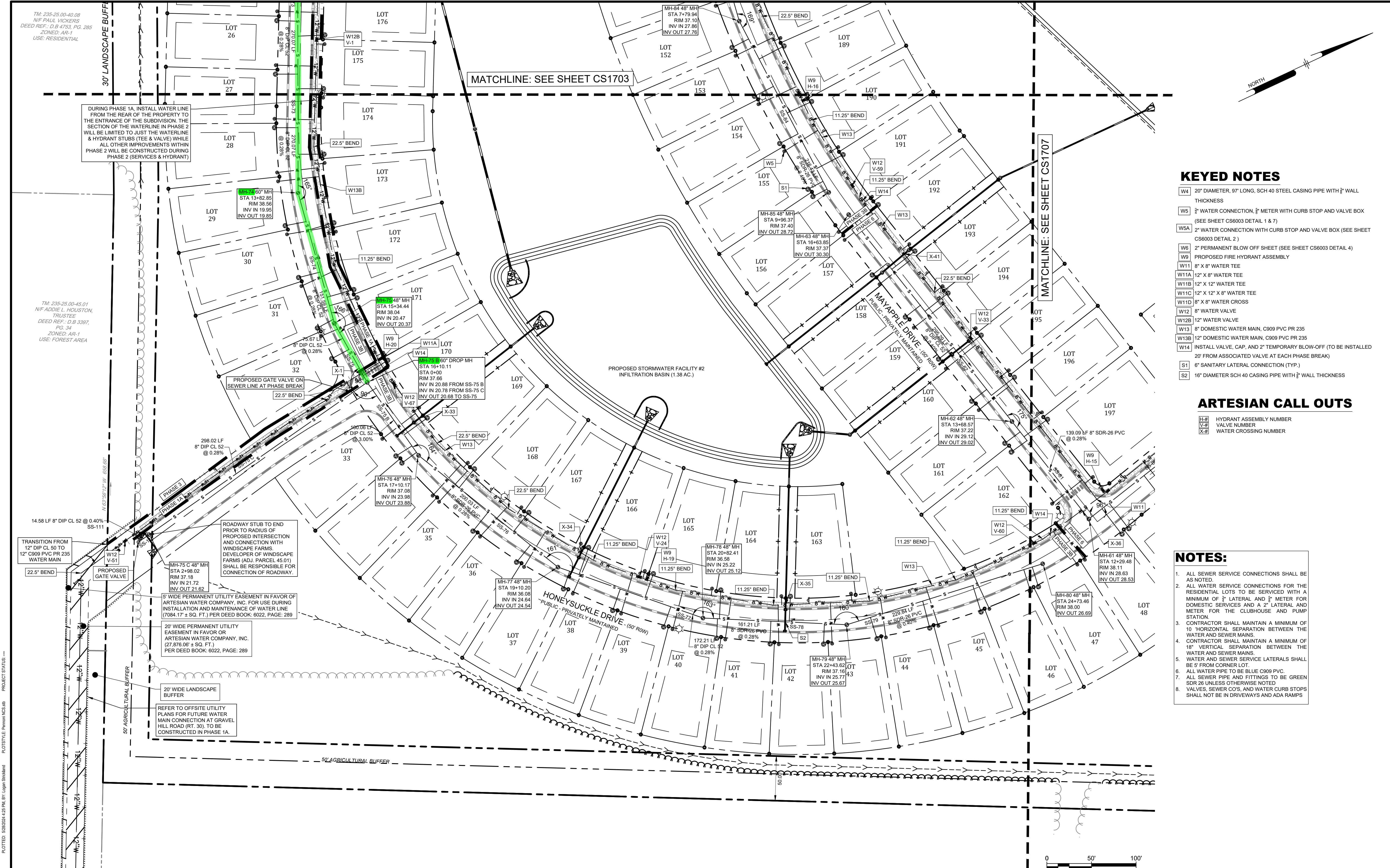
CS1703

SHEET 19 OF 95

TM: 235-25-00-40.04
N/F BRUNO A CHALABALA
DEED REF.: D.B. 4753, PG. 33, 331
ZONED: AR-1
USE: AGRICULTURAL

TM: 235-25-00-40.08
N/F PAUL VICKERS
DEED REF.: D.B. 4753, PG. 285
ZONED: AR-1
USE: RESIDENTIAL

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 PLOTTED: 6/26/2024 1:03 PM BY: [unintelligible] PROJECT: RIBER21001



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- W9 PROPOSED FIRE HYDRANT ASSEMBLY
- W11 8" X 8" WATER TEE
- W11A 12" X 8" WATER TEE
- W11B 12" X 12" WATER TEE
- W11C 12" X 12" X 8" WATER TEE
- W11D 8" X 8" WATER CROSS
- W12 8" WATER VALVE
- W12B 12" WATER VALVE
- W13 8" DOMESTIC WATER MAIN, C909 PVC PR 235
- W13B 12" DOMESTIC WATER MAIN, C909 PVC PR 235
- W14 INSTALL VALVE, CAP, AND 2" TEMPORARY BLOW-OFF (TO BE INSTALLED 20' FROM ASSOCIATED VALVE AT EACH PHASE BREAK)
- S1 8" SANITARY LATERAL CONNECTION (TYP.)
- S2 16" DIAMETER SCH 40 CASING PIPE WITH 1/2" WALL THICKNESS

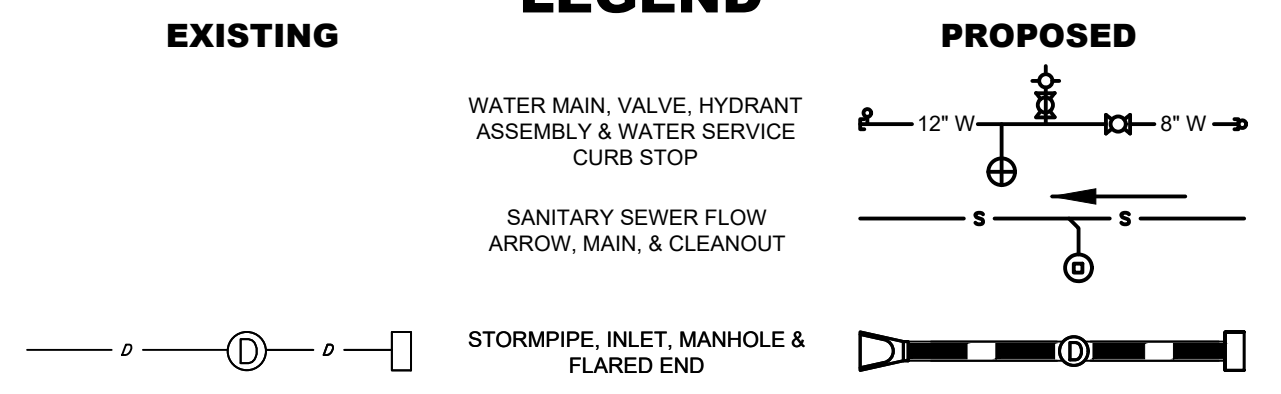
ARTESIAN CALL OUTS

- H# HYDRANT ASSEMBLY NUMBER
- V# VALVE NUMBER
- X# WATER CROSSING NUMBER

NOTES:

1. ALL SEWER SERVICE CONNECTIONS SHALL BE AS NOTED.
2. ALL WATER SERVICE CONNECTIONS FOR THE RESIDENTIAL LOTS TO BE SERVICED WITH A MINIMUM OF 1/2" LATERAL AND 1/2" METER FOR DOMESTIC SERVICES AND A 2" LATERAL AND METER FOR THE CLUBHOUSE AND PUMP STATION.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
5. WATER AND SEWER SERVICE LATERALS SHALL BE 5' FROM CORNER LOT.
6. ALL WATER PIPE TO BE BLUE C909 PVC.
7. ALL SEWER PIPE AND FITTINGS TO BE GREEN SDR 26 UNLESS OTHERWISE NOTED.
8. VALVES, SEWER CO'S, AND WATER CURB STOPS SHALL NOT BE IN DRIVEWAYS AND ADA RAMPS.

LEGEND



Pennoni
PENNONI ASSOCIATES INC.
 18072 Davidson Drive
 Milton, DE 19968
 T 302.684.9030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

UTILITY PLAN
 RIBERA DEVELOPMENT, LLC
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

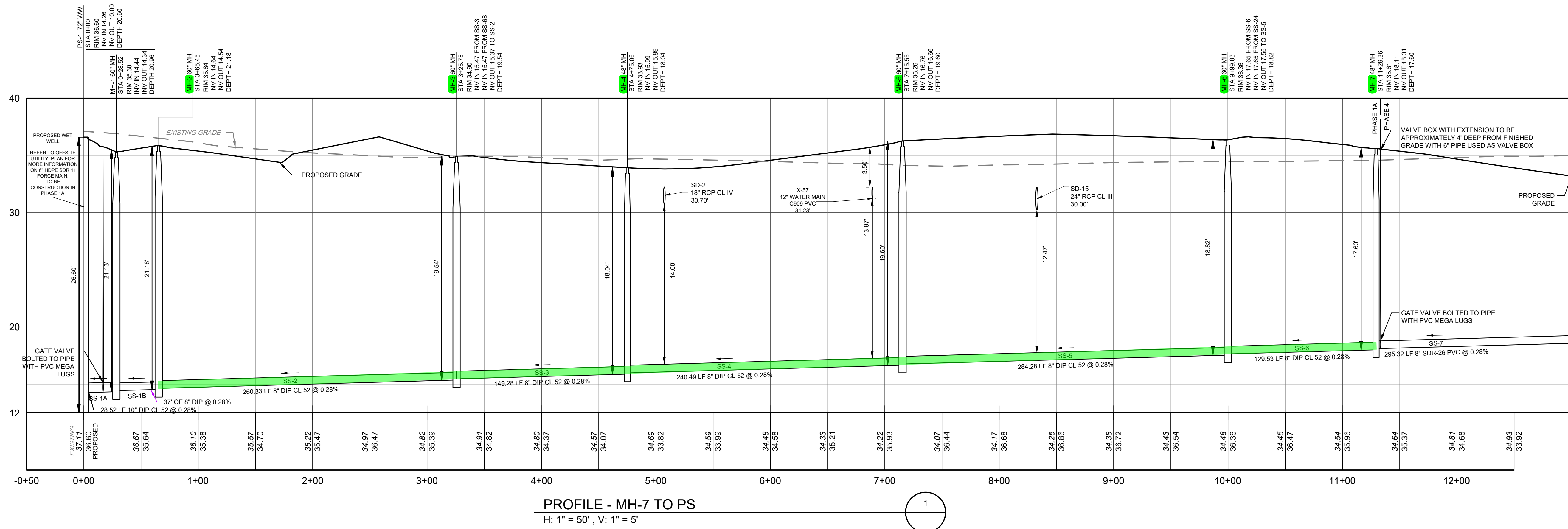
FOUR WINDS FARM SUBDIVISION
 TAX ID 235-25-00-39-00
 SHINGLE POINT ROAD (SCR 248), SUSSEX COUNTY, DE

NO.	DATE	REVISIONS	BY
6	2024-05-28	REVISED PER ARTESIAN COMMENTS	LFS
5	2024-05-09	REVISED PER SDCD COMMENTS	LFS
4	2024-05-03	REVISED PER ARTESIAN COMMENTS	LFS
3	2024-02-23	REVISED PER SDCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AWM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AWM COMMENTS	VL

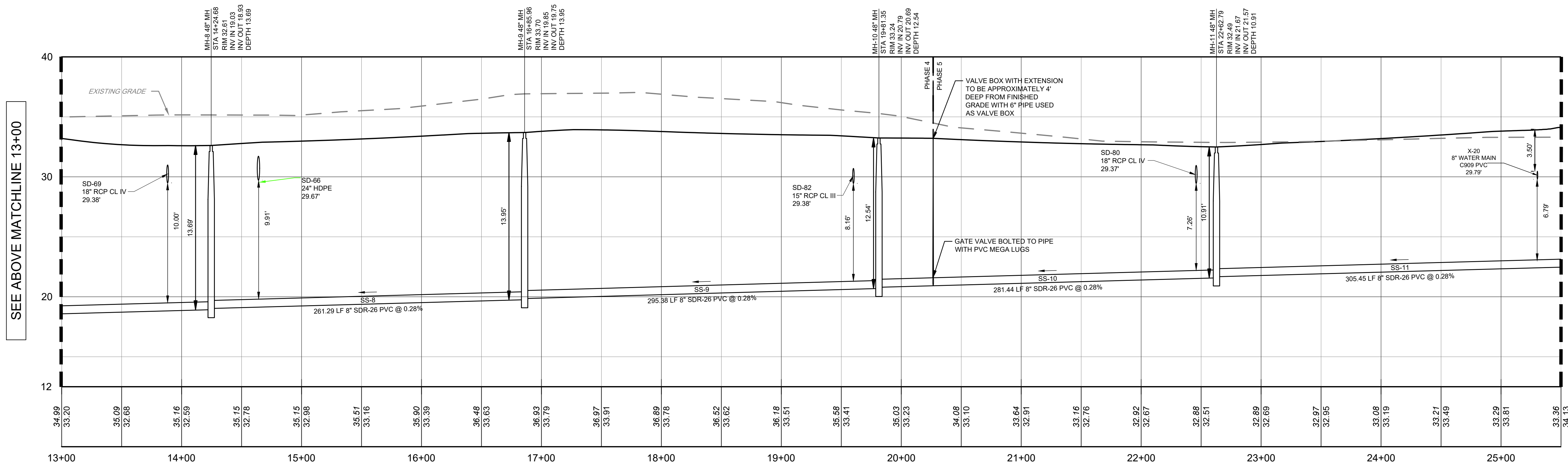
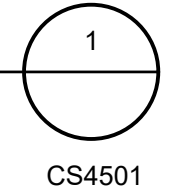
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PROJECT: RIBER21001
 DATE: 2023-11-27
 DRAWING SCALE: 1" = 50'
 DRAWN BY: LMI/EW/VL
 APPROVED BY: AMD

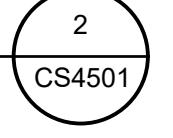
CS1704
 SHEET 20 OF 95



PROFILE - MH-7 TO PS
H: 1" = 50', V: 1" = 5'



PROFILE - MH-12 TO MH-8
H: 1" = 50', V: 1" = 5'



SEE BELOW MATCHLINE 13+00

SEE ABOVE MATCHLINE 13+00

SEE SHEET CS4502 PROFILE 1
MATCHLINE 25+50

FOUR WINDS FARM SUBDIVISION
SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE
SANITARY SEWER PROFILES
TAX ID 235-25-00-39.00
RIBERA DEVELOPMENT, LLC
8684 VETERANS HIGHWAY, SUITE 203
MILLERSVILLE, MD 21108

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ALAN M. DEKOSTER
LICENSED PROFESSIONAL ENGINEER
No. 17771
DELAWARE
Professional Seal

NO.	DATE	REVISIONS	BY
6	2024-05-28	REVISED PER ARTESIAN COMMENTS	LFS
5	2024-05-09	REVISED PER SCD COMMENTS	LFS
4	2024-05-03	REVISED PER ARTESIAN COMMENTS	LFS
3	2024-03-23	REVISED PER SCD COMMENTS	LFS
2	2024-01-29	REVISED PER AWC AND AWM COMMENTS	LFS
1	2023-12-18	REVISED PER AWC & AWM COMMENTS	VPL

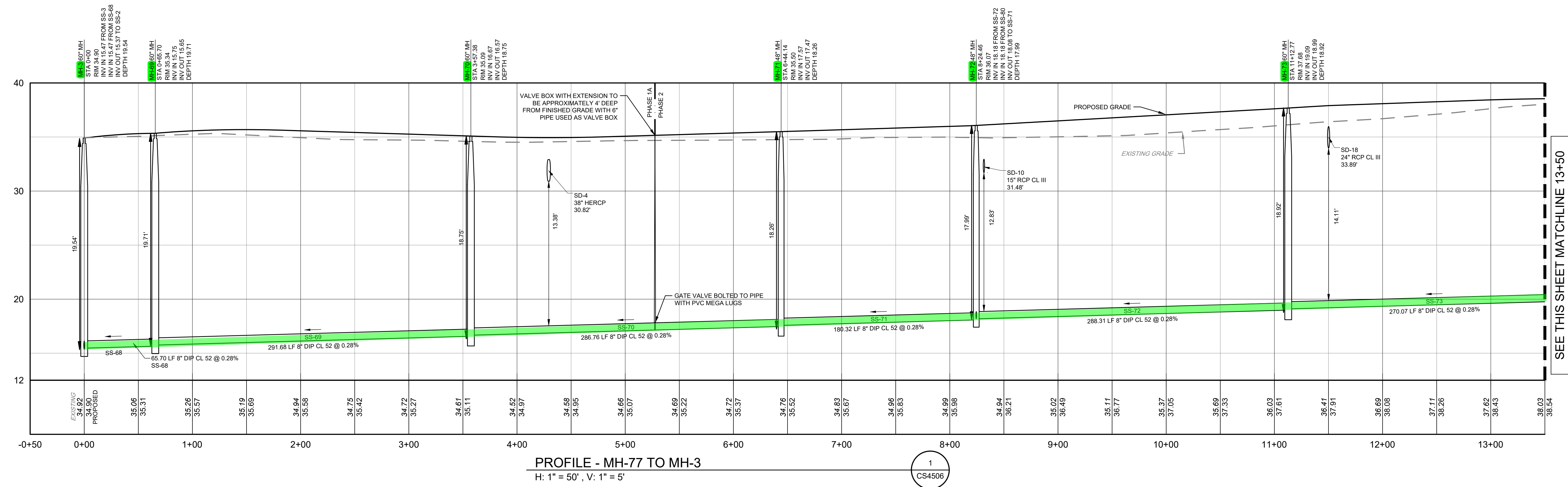
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PROJECT: RIBER21001
DATE: 2023-11-27
DRAWING SCALE: AS SHOWN
DRAWN BY: VPL/VL/MEW
APPROVED BY: AMD

CS4501
SHEET 78 OF 95

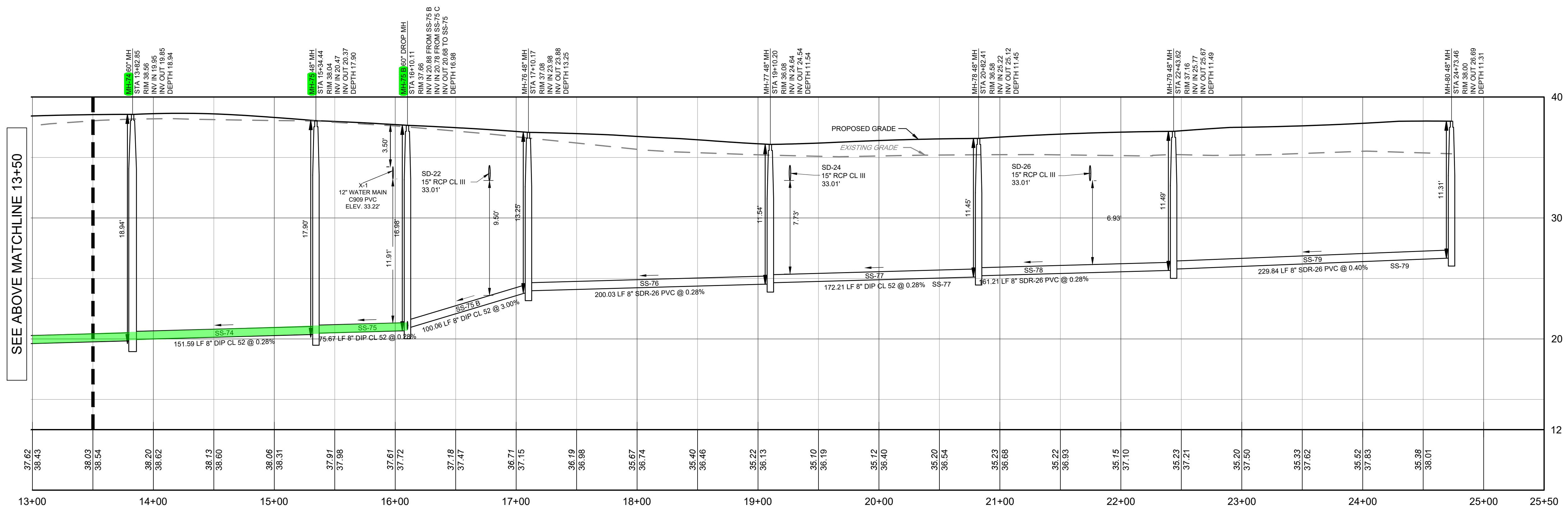
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PROFILE - MH-77 TO MH-3
H: 1" = 50', V: 1" = 5'

SEE THIS SHEET MATCHLINE 13+50



PROFILE - MH-84 TO MH-78
H: 1" = 50', V: 1" = 5'

SEE ABOVE MATCHLINE 13+50

Pennoni
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ALAN M. DECKTOR
 LICENSE No. 17771
 DELAWARE PROFESSIONAL ENGINEER

FOUR WINDS FARM SUBDIVISION
 TAX ID 235-25-00-39.00
 SHINGLE POINT ROAD (SCR 249), SUSSEX COUNTY, DE
SANITARY SEWER PROFILES

RIBERA DEVELOPMENT, LLC
 8684 VETERANS HIGHWAY, SUITE 203
 MILLERSVILLE, MD 21108

DATE	NO.	REVISIONS	BY
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2024-05-09	5	REVISED PER S/CED COMMENTS	LFS
2024-05-03	4	REVISED PER ARTESIAN COMMENTS	LFS
2024-03-23	3	REVISED PER S/CED COMMENTS	LFS
	2	REVISED PER AWC AND AWWI COMMENTS	LFS
2023-12-18	1	REVISED PER AWC & AWWI COMMENTS	VPL

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PROJECT: RIBER21001
 DATE: 2023-11-27
 DRAWING SCALE: AS SHOWN
 DRAWN BY: VPL/LM/EW
 APPROVED BY: AMD

CS4506
 SHEET 83 OF 95