



SHORELINE AND WATERWAY MANAGEMENT SECTION Coastal Construction Application

Public Notice No. WSS20250464 Date: 12/24/2025

Application Submitted: **12/15/2025**

To Construct an Elevator Seaward of the Building Line

on Lot(s) 2 , Block(s) 1, South Bethany Corporation , in Sussex County, Delaware

Tax Map # **134-17.20-156.00**

Applicant Information

Name: Amanda Tesoro

Property Type: Residential: Single Family

Activities:

- Accessory structures
 - Elevators : Seaward

Site Work:

Will there be any lot clearing or excavation at the site?

No

Will any sand be removed from the site?

Will sand or fill be added to the site?

No

What will be the reason for placement of sand or fill?

How much sand will be added?

What will be the source of the sand/fill?

What method will be used to deposit the sand/fill?

Do you know who will be conducting the work?

Contractor Name

Contractor Phone number

Landscaping:

Will there be any landscaping?

No

Will you bring in topsoil or mulch?

Are there any structures including irrigation systems proposed in your landscape design?

No

What type of structures being proposed?

Other structure description:

Flood Zone Information:

In which NFIP Flood Zone(s) is the property located?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

In which NFIP Flood Zone(s) is the proposed construction taking place?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

What is the Base Flood Elevation (NAVD88)?

12

What is the effective/revised date of the FIRM panel used for flood zone determination?

03/16/2015

Will any enclosures, such as entrances, storage areas, elevators, showers, skirting, utilities etc., be constructed below the first living floor?

Yes

Will any concrete, brick or asphalt be used? This could be for flooring, driveways, sidewalks, patios etc.

No

Where will the concrete, brick or asphalt be used?

Dune Preservation Information:

What mitigating measures will be taken to prevent disturbance and damage to the dune during construction?

Sand/silt Fence marking the location of the Building Line, Keeping all equipment personnel and supplies off the dune

Other measure(s) description:

Wetlands:

Will any work be occurring on regulated wetlands located on this lot?

No

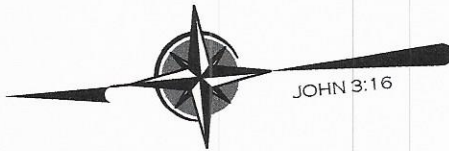
Septic:

Is there a septic system on the lot?

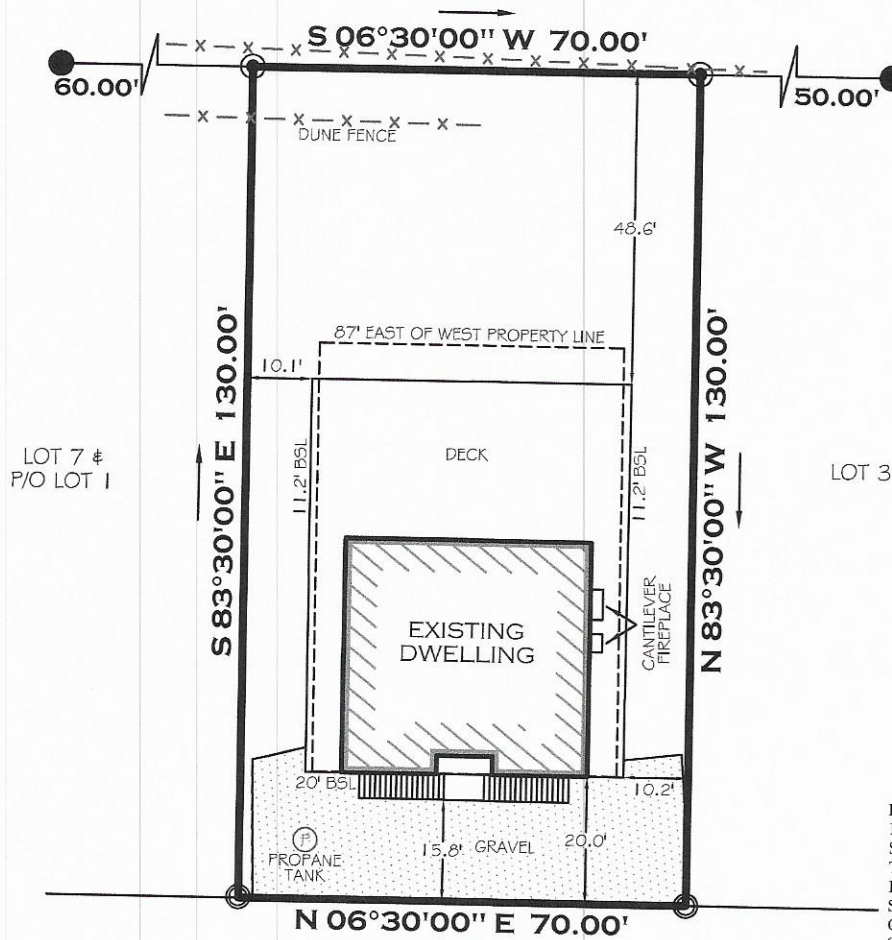
No

What is the Septic Permit # of the system (optional)?

Structural survey plan document



ATLANTIC OCEAN



SOUTH OCEAN DRIVE

NOTES

1. CLASSIFICATION OF SURVEY: URBAN

2. ZONE: R - 1

3. BUILDING SETBACK LINES (BSL)

FRONT 20'

SIDE 8' MINIMUM / 22.4' AGGREGATE (CALCULATED FOR A 70' WIDE LOT)

REAR NO STRUCTURE MORE THAN 87 FEET EAST OF WEST SIDE OF PROPERTY LINE.

ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER TOWN OF SOUTH BETHANY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.

4. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.

I, BRADLEY A. ABSHER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

BRADLEY A. ABSHER, DE PLS # 735
DATE 11.8.24

LEGEND

- IRON PIPE FOUND
- IRON ROD W/ CAP FOUND
- IRON ROD W/ CAP SET

TRUE NORTH



LAND SURVEYING

35322 BAYARD ROAD
FRANKFORD, DE 19945
302-539-2488

BOUNDARY SURVEY PLAN

LOT 2 & SOUTHERLY 20' OF LOT 1
SOUTH BETHANY CORPORATION
BLOCK 1

FOR
PAETRUS BANMILLER & LAURA BANMILLER

6 SOUTH OCEAN DRIVE, BETHANY BEACH, DE 19930

TAX MAP	1-34 - 17.20 - 156.00
STATE	DELAWARE
COUNTY	SUSSEX
HUNDRED	BALTIMORE
TOWN	SOUTH BETHANY
AREA	9,100 ± SQ. FT.
DEED REF.	4556 / 174
PLAT REF.	2 / 51
DRAWN BY	JMH
DATE	11 / 08 / 2024
SCALE	1" = 30'
SURVEY #	DE - 10752

Foundation Pile/Layout Plan

BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930



① FRONT LEFT VIEW



② FRONT RIGHT VIEW

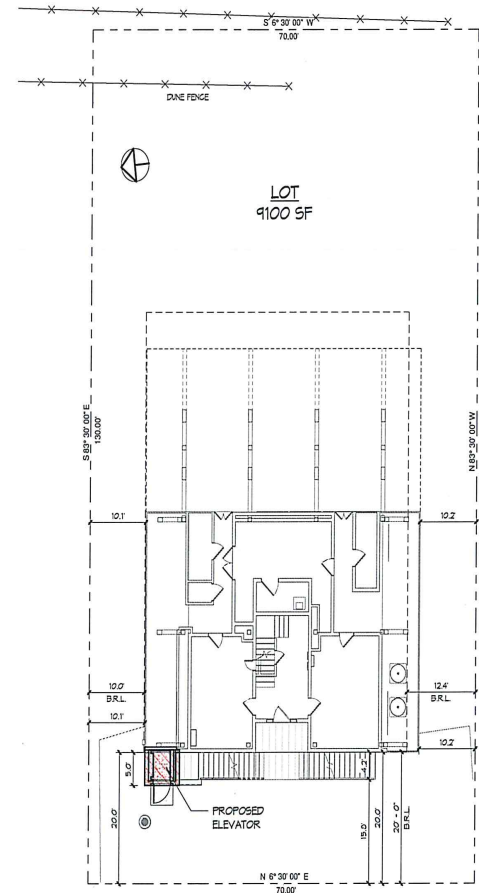
BUILDING CODE ANALYSIS DATA

CODE OFFICIAL CONTACTS:	TOWN OF SOUTH BETHANY			
APPLICABLE CODES:	IRC 2021			
CONSTRUCTION TYPE:	V-B (SINGLE FAMILY HOME)			
BUILDING HEIGHT:	PROPOSED NEW CONSTRUCTION: TO MATCH EXISTING HEIGHT			
BUILDING SETBACKS:	REQUIRED:	FRONT 15'	REAR N/A	SIDE 10'
	PROPOSED:	*PER APPROVED VARIANCE 11.01.25, FILED 11.13.25 SEE REFERENCE LETTER		

ARCHITECTURAL SITE PLAN NOTES:

- THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE.
- THIS SITE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT TO THE ARCHITECT. THIS SURVEY WAS CONDUCTED BY TRUE NORTH, DATED 11/8/24.

ATLANTIC OCEAN



③ SITE PLAN
1" = 10'-0"

SOUTH OCEAN DRIVE

REV.	DATE	DESCRIPTION	BY

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2ND FLOOR
LAWES, DE 19959
302.645.0777
www.elementnj.com

JILL M. KULPINSKI
LICENSED PROFESSIONAL ENGINEER
NO. 10089
11/11/25

SHEET LIST	
NO.	NAME
A001	COVERSHEET
A002	NOTES & SYMBOLS
A101	EXISTING/PROPOSED FLOOR PLANS & ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	SECTIONS
B001	STRUCTURAL NOTES & DETAILS
B201	FRAMING PLANS

DSN	DRN	CHKD
DDN	DDN	BB
SCALE: As indicated		
JOB No. e25031		
ISSUE DATE: 12.08.2025		

COVERSHEET

A001

CONSTRUCTION NOTES:

GENERAL:

- ALL EXTERIOR WALLS DIMENSIONED 1 1/4" U.N.O. AND ALL INTERIOR WALL DIMENSIONED 3 1/2" U.N.O.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN ACCORDANCE IV IRC 314. CARBON MONOXIDE & SMOKE DETECTORS INSTALLED IN ACCORDANCE IV IRC 315.

STAIR HANDRAILS:

- HANDRAILS SHALL PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 34" HEIGHT, MEASURED VERTICALLY TO THE SLOPED PLANE ADJOINING THE TREAD NOSING OF THE STAIR, AND A MAXIMUM OF 36".
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT OF STAIRS.
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND HANDRAIL.

GUARDS:

- LOCATE GUARDS ALONG ALL WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE ADJACENT GRADE OR FLOOR BELOW.
- GUARDS SHALL BE MINIMUM OF 36" IN HEIGHT, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

FIRE PROTECTION:

- ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- FIRE SEPARATIONS FROM THE RESIDENCE AND ATTICS TO THE GARAGE SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- SEPARATIONS FROM ALL HABITABLE ROOMS ABOVE THE GARAGE SHALL HAVE MIN. 5/8" TYPE X GYPSUM BOARD.
- STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIREMENTS SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT SHALL HAVE MIN. 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

FIREBLOCKING:

PROVIDE FIREBLOCKING IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURSED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, AND COVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

FIREBLOCKING MATERIALS CAN INCLUDE:

- 2X10 INCH NOMINAL LUMBER.
- 2X THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD.
- ONE-HALF INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT-BASED MILLBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.

GENERAL NOTES

- THIS STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES SET FORTH BY THE AUTHORITY HAVING JURISDICTION. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH IRC 2021.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ONLY MOST RECENT SIGNED & SEALED PLANS SHALL BE USED FOR BIDDING CONSTRUCTION PURPOSES. IF IN DOUBT OF MOST RECENT PLAN SET, CONTACT ELEMENT DESIGN GROUP.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER AND ARCHITECT.
- THERE SHALL BE NO DEVIATION FROM CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL GLAZING (BOTH SIDES) AND ALL HORIZONTAL AND VERTICAL SURFACES.
- PROVIDE ALL O & M MANUALS FOR ALL INSTALLED EQUIPMENT, FIXTURES, AND SYSTEMS TO OWNER.

PERMITTING AND APPROVALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, LICENSES, AND INSPECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER'S REVIEW REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO START OF CONSTRUCTION ACTIVITIES.

EXISTING CONDITIONS GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE NEW WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, FLOOR TO FLOOR HEIGHTS, WINDOW LOCATIONS, WINDOW OPENINGS, AND ROOF PITCHES.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR.
- THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
- COORDINATE PLANS FOR NEW CONSTRUCTION IV DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.










DEMOLITION NOTES:

- ALL DASHED LINES INDICATE ITEMS TO BE REMOVED.
- GO TO EXECUTE ALL DEMOLITION WORK.
- GO TO EXECUTE ALL CUT AND REPAIR WORK OF EXISTING CONSTRUCTION.
- LIMIT SELECT DEMOLITION TO SMALLEST AREA POSSIBLE TO ACCOMMODATE NEW WORK IN ORDER TO ELIMINATE EXCESSIVE PATCHING AND DAMAGE TO EXIST. FINISHES TO REMAIN.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE WORK TO MINIMIZE SELECT DEMOLITION. GO TO EXECUTE ALL CUT AND REPAIR.
- PROVIDE TEMPORARY BRACING AND SHORING FOR ANY UNSECURED SECTIONS OF WALL CONSTRUCTION, FLOOR AND WALL FRAMING FOR SELECT DEMOLITION.
- NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT WITH THE DESIGN INTENT OF CONSTRUCTION DOCUMENTS.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER TERMINATION OF EXISTING UTILITIES AS REQUIRED BY THE PROPOSED CONSTRUCTION.
- GO TO PROVIDE PROTECTION OF EXISTING ELEMENTS THAT ARE TO REMAIN.

CONSTRUCTION BELOW FLOOD:

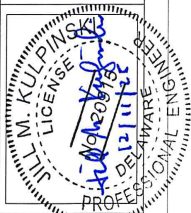
- CONTRACTOR TO VERIFY ALL LOCATIONS OF MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES. ALL MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES SHALL BE ABOVE FLOOD. EXISTING INTREATED WOOD STUD WALLS SHALL REMAIN. CONTRACTOR TO VERIFY INSULATION MATERIAL. WHERE APPLICABLE WALLS BELOW FREEBOARD SHALL BE INSULATED IV CLOSED CELL SPRAY FOAM.
- CONTRACTOR TO VERIFY MATERIAL OF ALL INTERIOR FINISHES BELOW FLOOD. ALL INTERIOR FINISHES BELOW FLOOD SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO VERIFY MATERIAL OF EXTERIOR SHEATHING AND FINISHES BELOW FLOOD. ALL EXTERIOR SHEATHING AND FINISHES SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO INSTALL NEW INSULATED FLOOD VENTS IN EXISTING WALLS PER DRAWING 2/5201.
- ALL NEW TRIM SHALL BE FLOOD RESISTANT.
- ALL NEW DOORS AND WINDOWS SHALL BE FLOOD RESISTANT.

SYMBOLS

	SECTION CUT - INDICATES SECTION OR DETAIL NUMBER/SHEET NUMBER
	ELEVATION HEIGHT MARKER - INDICATES HEIGHT ABOVE FINISH FLOOR & OBJECT
	DRAWING BREAK LINE
	CENTERLINE
	ROOM LABEL
	NORTH ARROW
	WINDOW TAG
	SMOKE DETECTOR, COMBINED CARBON MONOXIDE DETECTOR WHERE REQ'D. BY CODE.
	DOOR CALL OUT: (No. OF UNITS) X'-X" x X'-X" (SIZE) ABR. (TYPE) (No. OF UNITS) X'-X" x X'-X" (SIZE) ABR. (TYPE) EX. 3066 FR = 3'-0" WIDE X 6'-8" TALL FRENCH DOOR PKT: FRENCH DOOR SLDR: SLIDING DOOR

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19380
TAX PARCEL #1-34-17-20-156.00

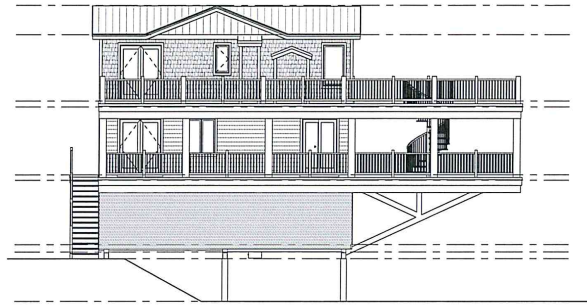
ELEMENT
115 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.445.0777
www.elemently.com



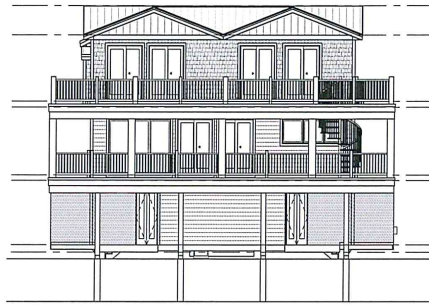
DSN	DRN	CHK'D
DDN	DDN	BB
SCALE:	As indicated	
JOB No.	625031	
ISSUE DATE	12.08.2025	

A002

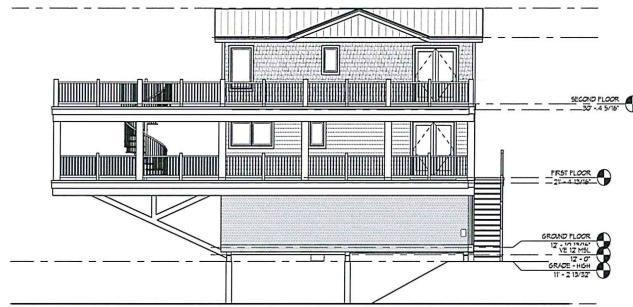
NOTES & SYMBOLS



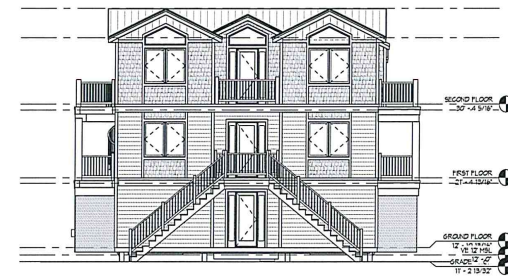
1 RIGHT SIDE ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



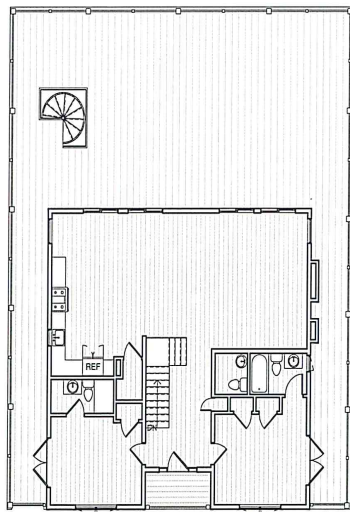
6 REAR ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



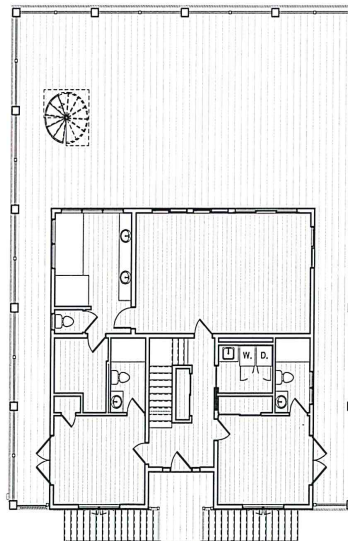
5 LEFT SIDE ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



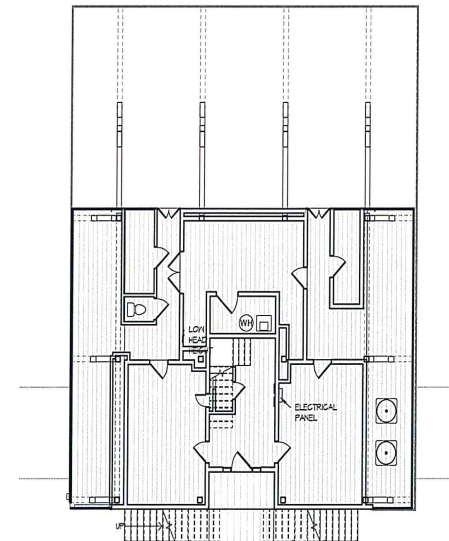
4 FRONT ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



3 SECOND FLOOR (EXISTING/DEMO)
1/8" = 1'-0"



2 FIRST FLOOR (EXISTING/DEMO)
1/8" = 1'-0"



1 GROUND FLOOR (EXISTING/DEMO)
1/8" = 1'-0"

EXISTING/DEMO FLOOR PLANS & ELEVATIONS

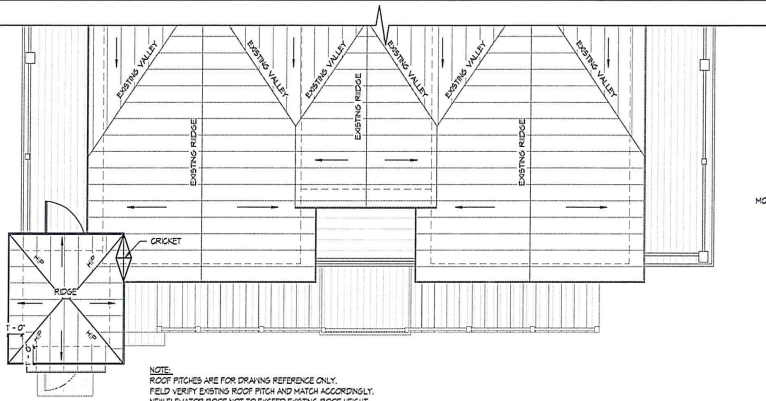
REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2ND FLOOR
RENO, DE 19901
302.645.0777
www.elemently.com

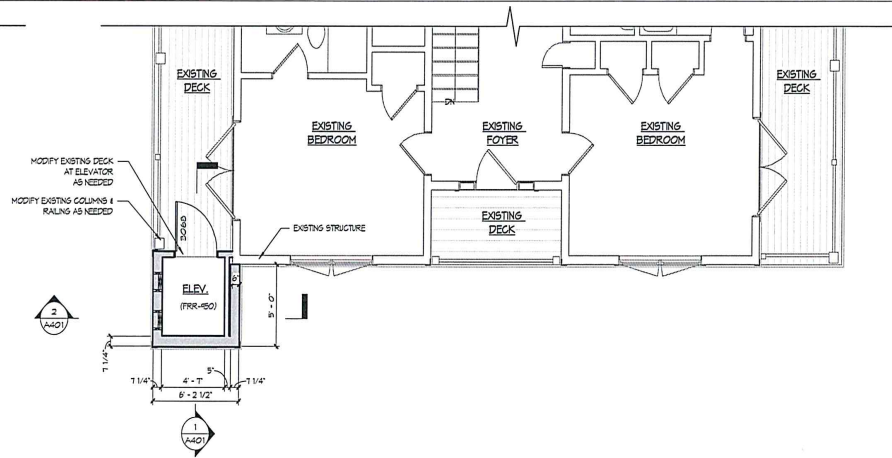


DSN	DRN	CHKD
DDN	DDN	BB
SCALE: 1/8" = 1'-0"		
JOB No.	e25031	
ISSUE DATE	12.08.2025	

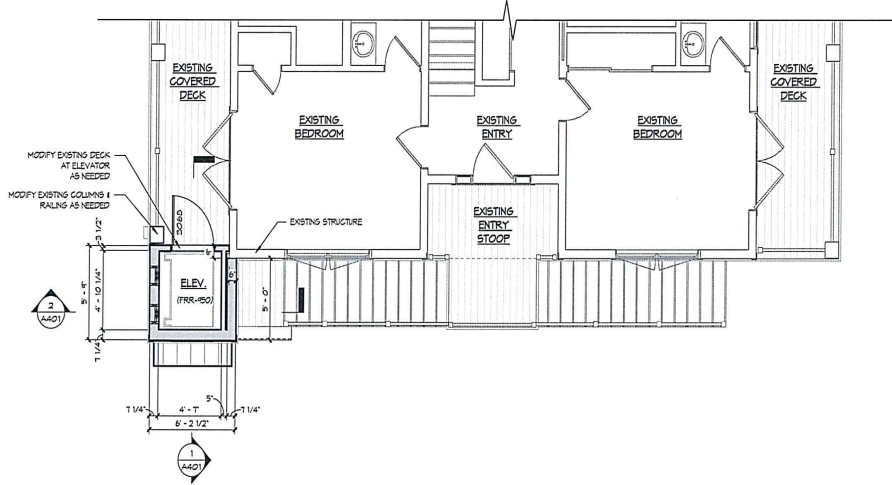


NOTE:
ROOF PITCHES ARE FOR DRAWING REFERENCE ONLY.
FIELD VERIFY EXISTING ROOF PITCH AND MATCH ACCORDINGLY.
NEW ELEVATOR ROOF NOT TO EXCEED EXISTING ROOF HEIGHT.

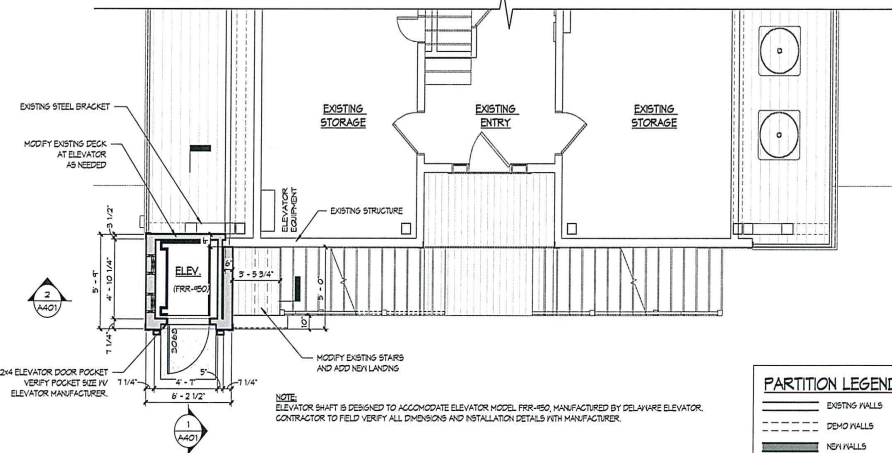
④ ROOF PLAN (PROPOSED)
1/4" = 1'-0"



③ SECOND FLOOR (PROPOSED)
1/4" = 1'-0"



② FIRST FLOOR (PROPOSED)
1/4" = 1'-0"



① GROUND FLOOR (PROPOSED)
1/4" = 1'-0"

PARTITION LEGEND:
— EXISTING WALLS
--- DEMO WALLS
= NEW WALLS

NOTE:
ELEVATOR SHAFT IS DESIGNED TO ACCOMMODATE ELEVATOR MODEL FRR-450, MANUFACTURED BY DELAWARE ELEVATOR.
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND INSTALLATION DETAILS WITH MANUFACTURER.

24" ELEVATOR DOOR POCKET
VERIFY POCKET SIZE W/
ELEVATOR MANUFACTURER.

REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

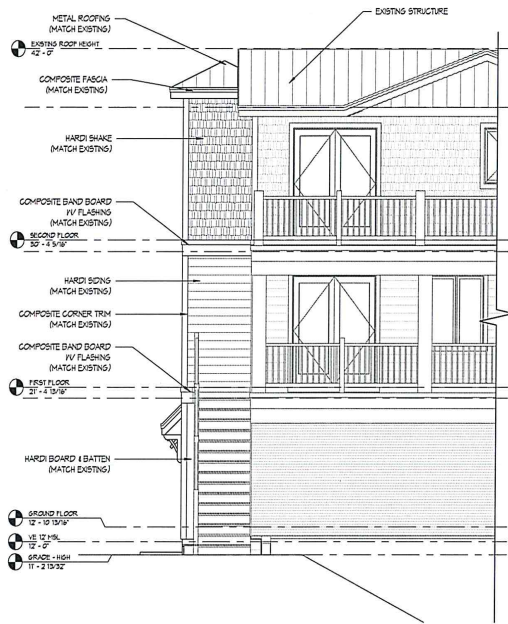
ELEMENT
15 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.645.0777
www.elemently.com



DSN	DRM	CHKD
DDM	DDW	BB
SCALE: 1/4" = 1'-0"		
JOB No. e25031		
ISSUE DATE 12.08.2025		

FLOOR PLANS

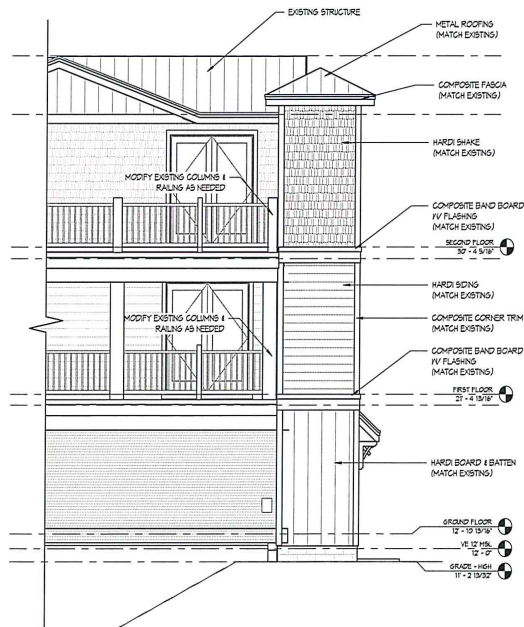
A201



④ RIGHT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



③ REAR ELEVATION (PROPOSED)
1/4" = 1'-0"



② LEFT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



① FRONT ELEVATION (PROPOSED)
1/4" = 1'-0"

REV.	DATE	DESCRIPTION

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

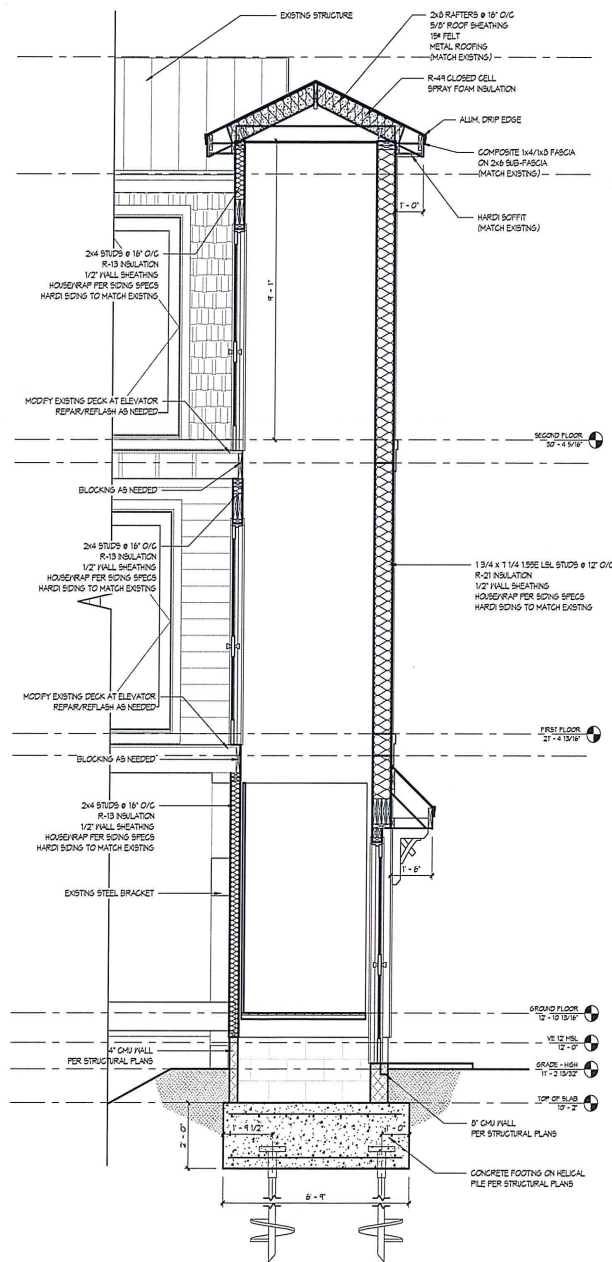
ELEMENT
115 W. MARKET STREET, 2nd floor
TOWNS, DE 19958
302.645.0777
www.elemently.com

W. KULPINSKI
Architect
Professional Engineer
DELAWARE
No. 00875

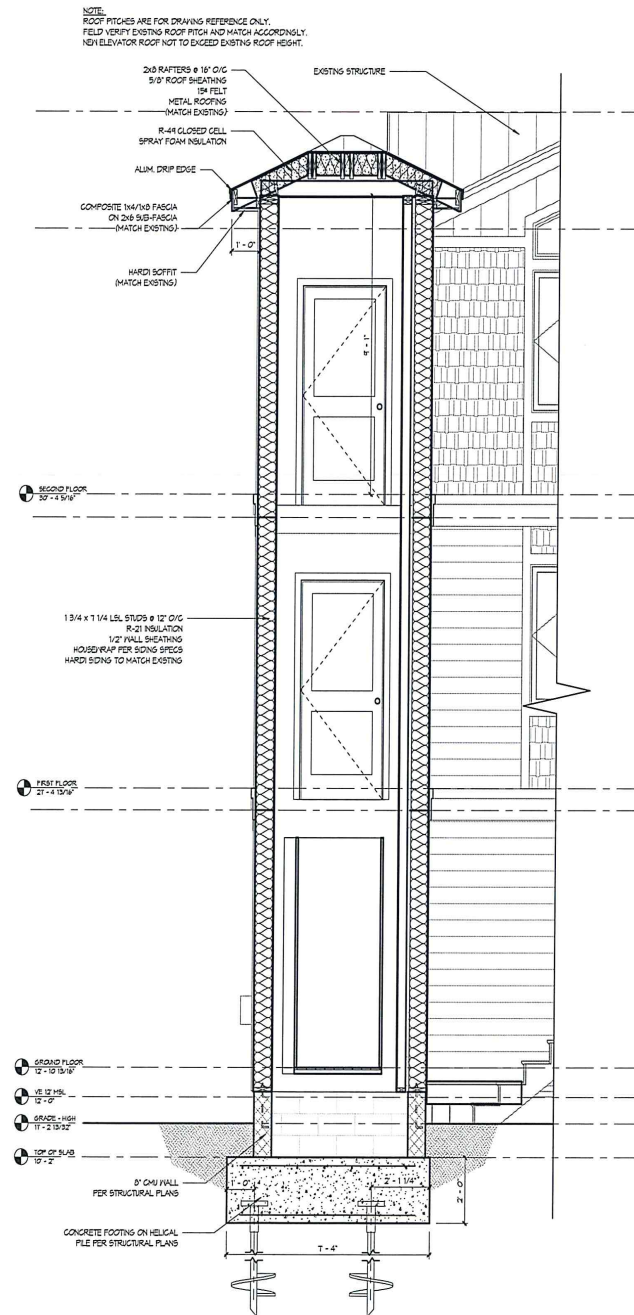
DSN	DRW	CHKD
DDN	DDN	BB
SCALE:	1/4" = 1'-0"	
JOB No.	e25031	
ISSUE DATE	12.06.2025	

ELEVATIONS

A301



① SECTION 2
1/2" = 1'-0"



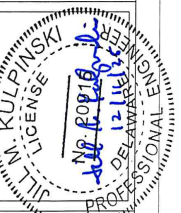
② SECTION 1
1/2" = 1'-0"

NOTE:
ROOF PITCHES ARE FOR DRAWING REFERENCE ONLY.
FIELD VERIFY EXISTING ROOF PITCH AND MATCH ACCORDINGLY.
NEW ELEVATOR ROOF NOT TO EXCEED EXISTING ROOF HEIGHT.

REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.645.0777
www.elementny.com



DSN	DDN	BB
SCALE:	1/2" = 1'-0"	
JOB No.	e25031	
ISSUE DATE	12.08.2025	

STRUCTURAL NOTES

STRUCTURAL DESIGN GENERAL

1. DESIGN LOADS ARE IN ACCORDANCE WITH IRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.

DEAD LOAD	20 PSF
ROOF FLOOR	20 PSF
LIVE LOAD	40 PSF
FLOOR	

2. BUILDING OCCUPANCY CATEGORY II

3. SNOW LOADS:
GROUND SNOW LOAD 20 PSF
FLAT-ROOF SNOW LOAD 20 PSF

4. WIND LOADS:
BASIS WIND SPEED (3 SEC 60/97) 125 MPH
EXPOSURE CATEGORY C

FOUNDATION

1. THE ASSUMED NET ALLOWABLE SOIL BEARING CAPACITY IS 1200 PSF (UNLESS NOTED OTHERWISE). SOIL BEARING PRESSURE SHALL BE VERIFIED AT THE TIME OF EXCAVATION AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IF THE ACTUAL BEARING PRESSURE IS LESS THAN THE DESIGN PRESSURE.

2. BOTTOM OF ALL FOOTINGS SUBJECT TO FROST/THAW CONDITIONS SHALL BE A MINIMUM OF TWO FEET BELOW FINISH GRADE OR TOP OF SLAB ELEVATION, WHICHEVER IS LOWER.

3. FOUNDATION DESIGN IS BASED ON REMOVAL OF ALL ORGANIC MATERIAL AND/OR MATERIAL SUBJECT TO ROT OR CORROSION. BOTTOM OF FOOTING SUBGRADE IS TO BE BEARING ON SUITABLE NATURAL SOILS AND/OR COMPACTED STRUCTURAL FILL.

4. COMPACTED STRUCTURAL FILL BENEATH ALL SLABS ON GRADE, FOUNDATIONS AND ADJACENT TO FOUNDATION WALLS SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

5. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT FLOODING ON SURFACE RUNOFF NEAR THE SURFACES.

6. FOUNDATION WATERPROOFING TO BE (1) COAT OF SPRAY APPLICATION (60 MILS THICK) OF TUFF-N-DRI POLYMER ENHANCED ASPHALT LIQUID APPLIED MEMBRANE OR EQUAL.

HELICAL PILES

1. HELICAL SCREEN PILES SHALL BE MANUFACTURED BY THE A.S. CHANCE CO. OR APPROVED EQUAL.

2. PILES SHALL BE INSTALLED BY THE MANUFACTURER'S AUTHORIZED INSTALLATION CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE INSTALLATION TECHNIQUES.

3. ALL HELICAL PILES SHALL BE HOT-DIP GALVANIZED.

4. INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.

5. HELICAL PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.

6. APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS. CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE MINIMUM SAFETY FACTOR IS 2.0.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318, MOST RECENT EDITION.

2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3500 PSI FOR ALL FOUNDATIONS AND PERS AND 4000 PSI FOR ALL SLABS. SLUMP AT TIME OF PLACEMENT SHALL BE MIN 5 INCHES AND MAXIMUM 8 INCHES.

3. ALL CONCRETE EXPOSED TO THE EXTERIOR SHALL BE AIR-ENTRAINED (8 ± 1%).

4. DO NOT PLACE CONCRETE AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.

5. REINFORCING BARS SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. LAP ALL BARS MIN. 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.

6. REINFORCING FABRIC SHALL BE ASTM A-185 AND/OR ASTM A-181 AND MIN. GRADE 40. IT SHALL BE PROVIDED IN FLAT SHEETS AND LAPPED A MIN. OF 8 INCHES.

7. CONTROL JOINTS IN SLABS ON GRADE SHALL BE LOCATED AT MAX. 10'-0" O.C. PANELS SHALL BE AS SQUARE AS POSSIBLE. LENGTH SHOULD NOT EXCEED 1.5 TIMES THE WIDTH.

MASONRY

1. ALL MASONRY SHALL CONFORM TO ACI 530, LATEST EDITION.

2. ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90, GRADE N, TYPE 1 STANDARD HEIGHT BLOCKS.

3. ALL MORTAR SHALL BE ASTM C270 TYPE M OR S WITH A MIN. COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS.

4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C970 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. GROUT GORES TO BE GROUTED AS NOTICED PER PLANS AND DETAILS.

DRAWING NOTES

1. DESIGN LOADS: (LL) FLOOR LOAD + 40 PSF, STAIR + 40 PSF, ROOF + 20 PSF, DECK + 40 PSF.

2. ALL SAWN LUMBER MEMBERS SHALL BE #2 SPF (Fb = 875 psi, Fv = 135 psi), AND E = 1400 ksi) OR BETTER.

3. ALL LVL BEAMS OR HEADERS SHALL BE GRADE 2 OR MICROLAM LVL (Fb = 2600 psi, Fv = 255 psi), AND E = 2.0 x 10⁶ psi) OR BETTER.

4. PSL COLUMNS SHALL BE GRADE 1 OR PARALLAM PSL (F_{compress} = 545 psi, F_{parallel} = 2500 psi, Fv = 190, E = 1.9 x 10⁶ psi) OR BETTER.

5. PSL BEAMS SHALL BE GRADE 2 OR PARALLAM PSL (Fb = 2400 psi, Fv = 240 psi, AND E = 2.0 x 10⁶ psi) OR BETTER.

6. ALL PSL BEAMS & COLUMNS USED FOR EXTERIOR CONSTRUCTION AND EXPOSED TO THE ELEMENTS SHALL BE PARALLAM PLUS @ SERVICE LEVEL 1 (UNCOLMANIZED PSL INDICATED ON PLANS AS (U)) OR APPROVED EQUAL. COLUMNS: F_{compress} = 505 psi, F_{parallel} = 1025 psi, Fv = 110 psi, AND E = 1.41 x 10⁶ psi; BEAMS: Fb = 2275 psi, Fv = 215 psi, E = 1.65 x 10⁶ psi.

7. ALL LVL, H-HEADERS USED IN EXTERIOR CONSTRUCTION ABOVE-GROUND APPLICATIONS (UICB) SHALL BE SPECIFICALLY DESIGNATED AS TREATED AND FROM PACIFIC KWOOD TECH OR EQUAL, WITH THE FOLLOWING MATERIAL PROPERTIES (Fb = 2000 psi; Fv = 255 psi; E = 2,000,000 psi) OR BETTER.

8. ALL EXTERIOR WALLS SHALL BE 2 x 6 STUD UNO, AND ALL INTERIOR WALLS SHALL BE 2 x 4 STUD UNO.

9. ALL EXTERIOR HEADERS TO BE MIN. (3) 2 x 10 UNO, ALL INTERIOR HEADERS @ INTERIOR LOAD BEARING WALLS TO BE MIN. (2) 2 x 8 (4 WALL) OR (3) 2 x 8 (2 WALL) UNO.

10. ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:

OPENING	HEADER
UP TO 4'-0"	(2) 2 x 8
4'-0" TO 6'-0"	(2) 2 x 10
6'-0" TO 8'-0"	(2) 2 x 12

11. PROVIDE 2 x 4 PLAT BLOCKING BETWEEN JOISTS WHERE PARALLEL WALLS LIE BETWEEN.

12. PROVIDE MIN. DOUBLE FLOOR JOISTS UNDER BEARING WALLS RUNNING PARALLEL TO JOIST SYSTEM.

13. POST AND BLOCK SOLID BENEATH ALL POINT LOADS TO FOUNDATION OR SUPPORTING MEMBERS BELOW IN MIN. (3) 2x8 UNO. CROSS SECTION DIMENSIONS OF POST BELOW MUST BE EQUAL TO OR GREATER THAN POST ABOVE.

14. ALL POINT LOADS FROM STEEL & LVL BEAMS INCLUDING RIDGE, HP & VALLEY BEAMS SHALL BE SUPPORTED BY MINIMUM (3) 2x6, (3) 2x4, OR SOLID COLUMNS AS SHOWN ON THE PLANS.

15. BALLOON FRAME ALL TWO STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. SOLID HORIZONTAL BLOCKING IS REQUIRED BETWEEN STUDS AT MIDPOINT OR AT THIRD POINTS FOR STUDS OVER 16'-0".

16. ALL WOOD FRAMING MATERIAL IN DIRECT CONTACT WITH MASONRY WALLS AND/OR CONCRETE FLOOR SLABS SHALL BE PRESSURE TREATED MATERIAL AND ALL FASTENERS USED SHALL BE COMPATIBLE WITH TREATMENT.

17. ALL DIMENSIONS ARE FROM TO FACE OF FRAMING AND FOUNDATION WALLS, UNLESS NOTED OTHERWISE.

18. INSTALL A CONTINUOUS ALUMINUM TERMITES SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.

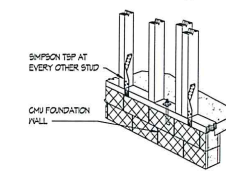
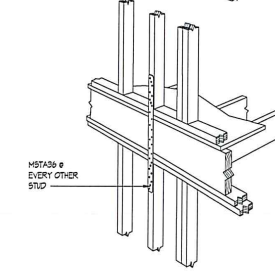
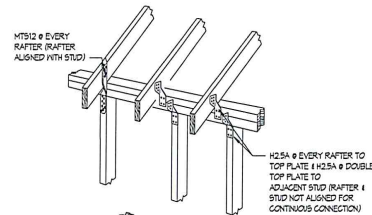
19. ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED AND DETAILED BY THE MANUFACTURER. INSTALLATION AND BRACING IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WRITTEN INSTRUCTIONS.

20. ALL CONSTRUCTION IN COASTAL FLOOD HAZARD ZONE AREAS TO MEET OR EXCEED THE REQUIREMENTS STATED IN FEMA TECHNICAL BULLETINS AND PER NFIP REGULATIONS.

21. PROVIDE MECHANICAL CONNECTORS AT ALL LOCATIONS WHERE THE RAFTERS ARE HANGING FROM THE RIDGE BEAM. SHIMSON UNITS/SHIMSON HANGERS OR EQUAL, INSTALLED PER MFR. SPECIFICATIONS AND FOR THE APPROPRIATE ALLOWABLE LOADS ARE ACCEPTABLE.

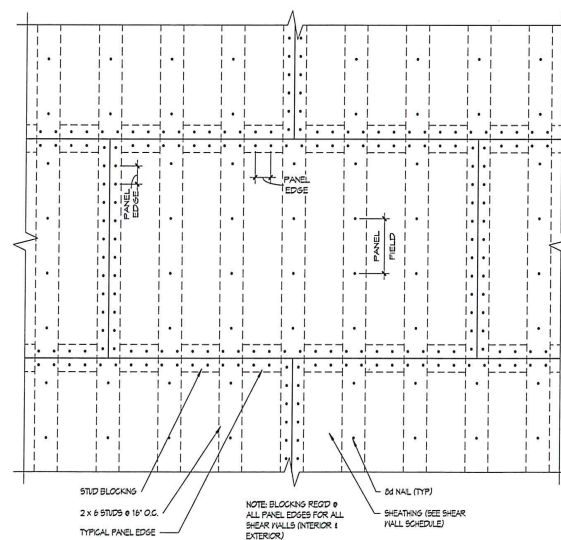
22. METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS (IE. CONSTRUCTION WITH PRESERVATIVE TREATED WOOD) SHALL BE IN ACCORDANCE WITH IRC R313 GUIDELINES FOR PRESERVATIVE-TREATED WOOD AND TABLE R301.2.3.

SEE NOTE #1 REGARDING ROOF FRAMING



- NOTES:
1. ROOF FRAMING SELECT ONE OF TWO OPTIONS TO RESIST UPLIFT. A. CONNECT TRUSS/RAFTER DIRECTLY TO STUD. B. CONNECT TRUSS/RAFTER TO TOP PLATE & TOP PLATES TO STUD.
 2. AS AN ALTERNATIVE TO THE FLOOR TO FLOOR STRAPPING ILLUSTRATED, CONTRACTOR MAY USE SHEATHING TO SPAN HORIZONTAL JOISTS. SHEATHING TO BE CONTINUOUS OVER JOISTS AND FASTENED TO FRAMING WITH NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN THE FIELD.
 3. BLOCK STEEL BEAMS AS REQUIRED TO INSTALL STRAPPING.

① HURRICANE STRAPPING DETAIL
3/8" x 1'-0"



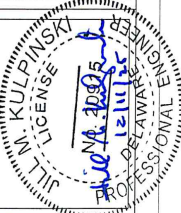
② SHEAR WALL NAILING PATTERN
3/4" x 1'-0"

SHEAR WALL SCHEDULE			
MARK	SHEATHING	FASTENING	
SH1	1/2" STRUCTURAL 1 SHEATHING, OR 1/2" OSB EXTERIOR ONLY, BLOCKED	20 NAILS @ 6" O.C. SPACING @ PANEL EDGES & 12" O.C. IN FIELD	
SH2	1/2" GYPSPUM BOARD, BOTH SIDES, BLOCKED	50 COOLER NAILS @ 1" O.C. SPACING @ PANEL EDGES (INCL. TOP & BOTTOM PLATES), 1" O.C. IN FIELD	
***ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE SH1, UNLESS NOTED OTHERWISE			
NOTES: 1. REFERENCE SHEAR WALL NAILING PATTERN DETAIL FOR ILLUSTRATION OF PANEL EDGE AND FIELD LOCATIONS 2. ALL SHEATHING PANEL EDGES SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKING.			

REV.	DATE	DESCRIPTION	BY

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

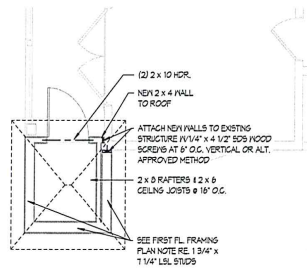
ELEMENT
115 W. MYRTLE STREET, 2ND FLOOR
TOWNS, DE 19958
302.645.0777
www.elementally.com



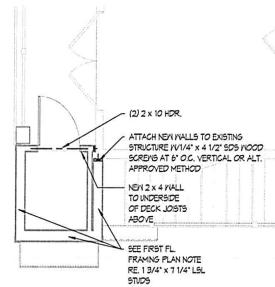
DSN	DRN	CHRD
JK	JK	JK
SCALE: As Indicated		
JOB No.	e25031	
ISSUE DATE	12.08.2025	

STRUCTURAL NOTES & DETAILS

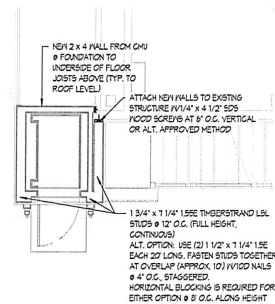
5001



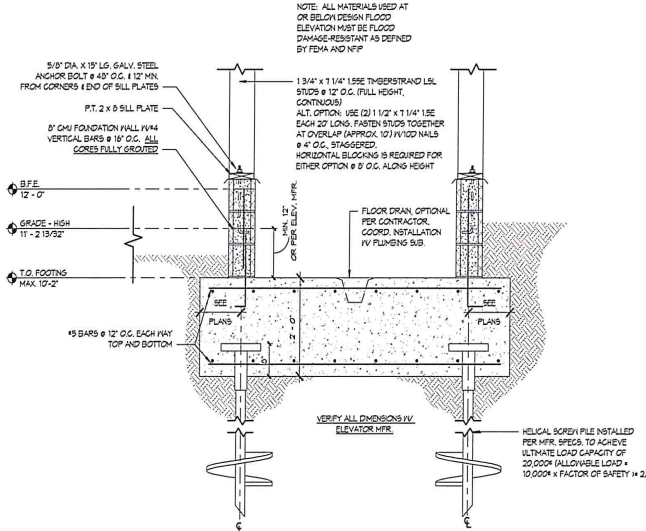
5 ROOF FRAMING PLAN
1/4" = 1'-0"



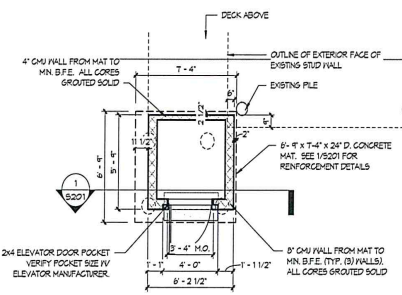
4 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



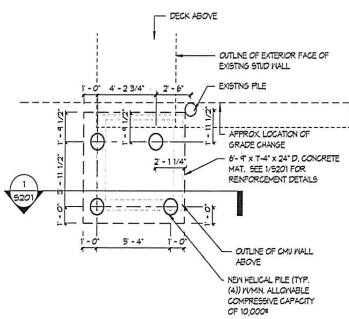
3 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



1 ELEVATOR FOUNDATION DETAIL
3/4" = 1'-0"



2 FOUNDATION PLAN
1/4" = 1'-0"



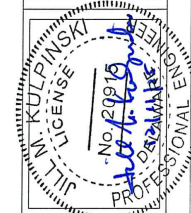
6 PILE LAYOUT PLAN
1/4" = 1'-0"

NOTE:
1. VERIFY EXISTING GAS LINE LOCATION.
RUN NEW LINE AS NEEDED.

REV.	DATE	DESCRIPTION	BY

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MYRTLE STREET, 2ND FLOOR
TOWNS, DE 19958
302.645.0777
www.elementally.com



DSN	DRN	CHKD
JK	JK	JK

SCALE: As Indicated
JOB No. e25037
ISSUE DATE 12.08.2025

Deed/Lease/Sales contract



Real Estate

Property Detail

Parcel ID	134-17.20-156.00
Location	SOUTH BETHANY
Legal Description	SOUTH BETHANY OCEAN DR LOT 2 S 20'OF LOT 1 BLK 1
Owner as of July 1	BANMILLER PAETRUS F III
Customer ID	363271
Jurisdiction	INDIAN R
Assessed Value	\$4,184,500.00
Exemptions Value	\$0.00
2025 Charges	\$8,938.09

©2025 Tyler Technologies, Inc.

Structure profile view document

BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930



① FRONT LEFT VIEW



② FRONT RIGHT VIEW

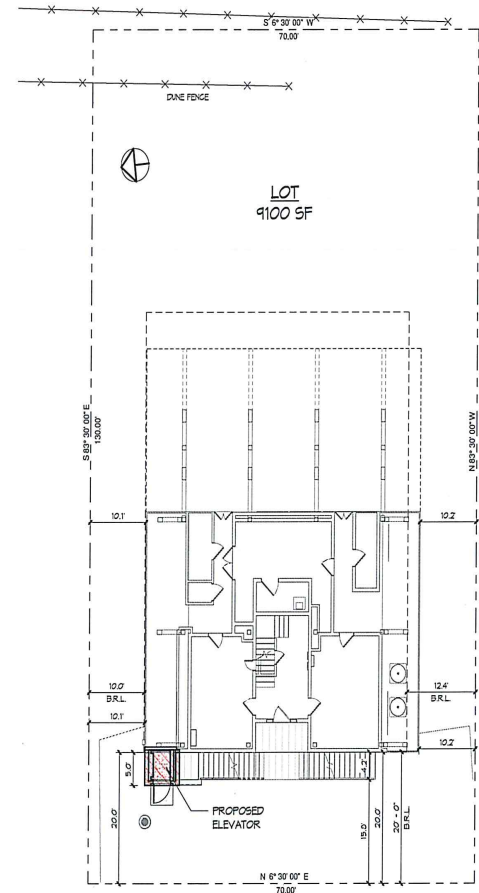
BUILDING CODE ANALYSIS DATA

CODE OFFICIAL CONTACTS:	TOWN OF SOUTH BETHANY			
APPLICABLE CODES:	IRC 2021			
CONSTRUCTION TYPE:	V-B (SINGLE FAMILY HOME)			
BUILDING HEIGHT:	PROPOSED NEW CONSTRUCTION: TO MATCH EXISTING HEIGHT			
BUILDING SETBACKS:	REQUIRED:	FRONT 15'	REAR N/A	SIDE 10'
	PROPOSED:	*PER APPROVED VARIANCE 11.01.25, FILED 11.13.25 SEE REFERENCE LETTER		

ARCHITECTURAL SITE PLAN NOTES:

- THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE.
- THIS SITE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT TO THE ARCHITECT. THIS SURVEY WAS CONDUCTED BY TRUE NORTH, DATED 11/8/24.

ATLANTIC OCEAN



SOUTH OCEAN DRIVE

③ SITE PLAN
1" = 10'-0"

SHEET LIST

NO.	NAME
A001	COVERSHEET
A002	NOTES & SYMBOLS
A101	EXISTING/PROPOSED FLOOR PLANS & ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	SECTIONS
S201	STRUCTURAL NOTES & DETAILS
S301	FRAMING PLANS

COVERSHEET

REV.	DATE	DESCRIPTION	BY

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2nd floor
LAWES, DE 19959
302.645.0777
www.elementnj.com

JILL M. KULPINSKI
LICENSED PROFESSIONAL ENGINEER
#30146898
#11/11/25

DSN	DRN	CHKD
DDN	DDN	BB
SCALE: As indicated		
JOB No. e25031		
ISSUE DATE: 12.08.2025		
A001		

CONSTRUCTION NOTES:

GENERAL:

- ALL EXTERIOR WALLS DIMENSIONED 1 1/4" U.N.O. AND ALL INTERIOR WALL DIMENSIONED 3 1/2" U.N.O.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN ACCORDANCE IV IRC 314. CARBON MONOXIDE & SMOKE DETECTORS INSTALLED IN ACCORDANCE IV IRC 315.

STAIR HANDRAILS:

- HANDRAILS SHALL PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 34" HEIGHT, MEASURED VERTICALLY TO THE SLOPED PLANE ADJOINING THE TREAD NOSING OF THE STAIR, AND A MAXIMUM OF 36".
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT OF STAIRS.
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND HANDRAIL.

GUARDS:

- LOCATE GUARDS ALONG ALL WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE ADJACENT GRADE OR FLOOR BELOW.
- GUARDS SHALL BE MINIMUM OF 36" IN HEIGHT, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

FIRE PROTECTION:

- ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- FIRE SEPARATIONS FROM THE RESIDENCE AND ATTICS TO THE GARAGE SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- SEPARATIONS FROM ALL HABITABLE ROOMS ABOVE THE GARAGE SHALL HAVE MIN. 5/8" TYPE X GYPSUM BOARD.
- STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIREMENTS SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT SHALL HAVE MIN. 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

FIREBLOCKING:

PROVIDE FIREBLOCKING IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURSED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, AND COVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

FIREBLOCKING MATERIALS CAN INCLUDE:

- 2X10 INCH NOMINAL LUMBER.
- 2X THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD.
- ONE-HALF INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT-BASED MILLBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.

GENERAL NOTES

- THIS STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES SET FORTH BY THE AUTHORITY HAVING JURISDICTION. THIS PROJECT HAS DESIGNED IN ACCORDANCE WITH IRC 2021.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ONLY MOST RECENT SIGNED & SEALED PLANS SHALL BE USED FOR BIDDING CONSTRUCTION PURPOSES. IF IN DOUBT OF MOST RECENT PLAN SET, CONTACT ELEMENT DESIGN GROUP.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER AND ARCHITECT.
- THERE SHALL BE NO DEVIATION FROM CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO ALL GLAZING (BOTH SIDES) AND ALL HORIZONTAL AND VERTICAL SURFACES.
- PROVIDE ALL O & M MANUALS FOR ALL INSTALLED EQUIPMENT, FIXTURES, AND SYSTEMS TO OWNER.

PERMITTING AND APPROVALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, LICENSES, AND INSPECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER'S REVIEW REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO START OF CONSTRUCTION ACTIVITIES.

EXISTING CONDITIONS GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE NEW WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, FLOOR TO FLOOR HEIGHTS, WINDOW LOCATIONS, WINDOW OPENINGS, AND ROOF PITCHES.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR.
- THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
- COORDINATE PLANS FOR NEW CONSTRUCTION IV DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.










DEMOLITION NOTES:

- ALL DASHED LINES INDICATE ITEMS TO BE REMOVED.
- GC TO EXECUTE ALL DEMOLITION WORK.
- GC TO EXECUTE ALL CUT AND REPAIR WORK OF EXISTING CONSTRUCTION.
- UNIT SELECT DEMOLITION TO SHALLEST AREA POSSIBLE TO ACCOMMODATE NEW WORK IN ORDER TO ELIMINATE EXCESSIVE PATCHING AND DAMAGE TO EXIST. FINISHES TO REMAIN.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE WORK TO MINIMIZE SELECT DEMOLITION. GC TO EXECUTE ALL CUT AND REPAIR.
- PROVIDE TEMPORARY BRACING AND SHORING FOR ANY UNSECURED SECTIONS OF WALL CONSTRUCTION, FLOOR AND WALL FRAMING FOR SELECT DEMOLITION.
- NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT WITH THE DESIGN INTENT OF CONSTRUCTION DOCUMENTS.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER TERMINATION OF EXISTING UTILITIES AS REQUIRED BY THE PROPOSED CONSTRUCTION.
- GC TO PROVIDE PROTECTION OF EXISTING ELEMENTS THAT ARE TO REMAIN.

CONSTRUCTION BELOW FLOOD:

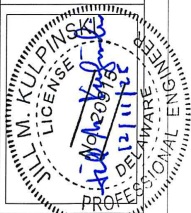
- CONTRACTOR TO VERIFY ALL LOCATIONS OF MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES. ALL MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES SHALL BE ABOVE FLOOD. EXISTING INTREATED WOOD STUD WALLS SHALL REMAIN. CONTRACTOR TO VERIFY INSULATION MATERIAL. WHERE APPLICABLE WALLS BELOW FREEBOARD SHALL BE INSULATED IV CLOSED CELL SPRAY FOAM.
- CONTRACTOR TO VERIFY MATERIAL OF ALL INTERIOR FINISHES BELOW FLOOD. ALL INTERIOR FINISHES BELOW FLOOD SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO VERIFY MATERIAL OF EXTERIOR SHEATHING AND FINISHES BELOW FLOOD. ALL EXTERIOR SHEATHING AND FINISHES SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO INSTALL NEW INSULATED FLOOD VENTS IN EXISTING WALLS PER DRAWING 2/5201.
- ALL NEW TRIM SHALL BE FLOOD RESISTANT.
- ALL NEW DOORS AND WINDOWS SHALL BE FLOOD RESISTANT.

SYMBOLS

	SECTION CUT - INDICATES SECTION OR DETAIL NUMBER/SHEET NUMBER
	ELEVATION HEIGHT MARKER - INDICATES HEIGHT ABOVE FINISH FLOOR & OBJECT
	DRAWING BREAK LINE
	CENTERLINE
	ROOM LABEL
	NORTH ARROW
	WINDOW TAG
	SMOKE DETECTOR, COMBINED CARBON MONOXIDE DETECTOR WHERE REQD. BY CODE.
	DOOR CALL OUT: (No. OF UNITS) X-X" x X-X" (SIZE) ABR. (TYPE) (No. OF UNITS) X-X" x X-X" (SIZE) ABR. (TYPE) EX. 3066 FR = 3'-0" WIDE X 6'-8" TALL FRENCH DOOR PKT: FRENCH DOOR SLDR: SLIDING DOOR

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19380
TAX PARCEL #1-34-17-20-156.00

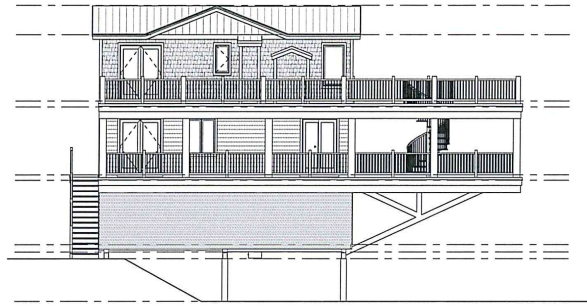
ELEMENT
115 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.445.0777
www.elemently.com



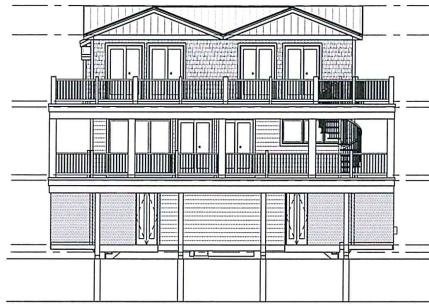
DSN	DRN	CHKD
DDN	DDN	BB
SCALE:	As indicated	
JOB No.	625031	
ISSUE DATE	12.08.2025	

A002

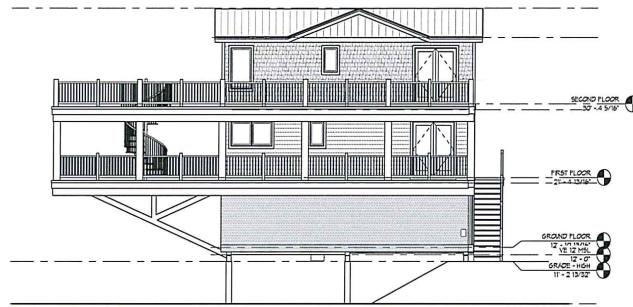
NOTES & SYMBOLS



1 RIGHT SIDE ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



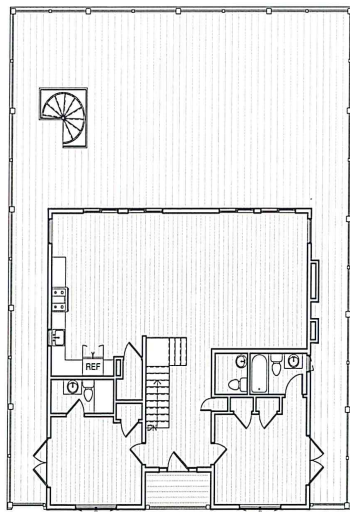
6 REAR ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



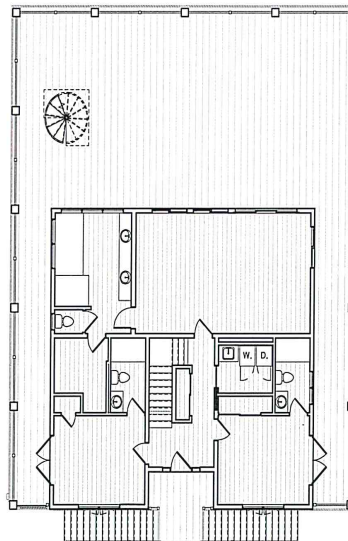
5 LEFT SIDE ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



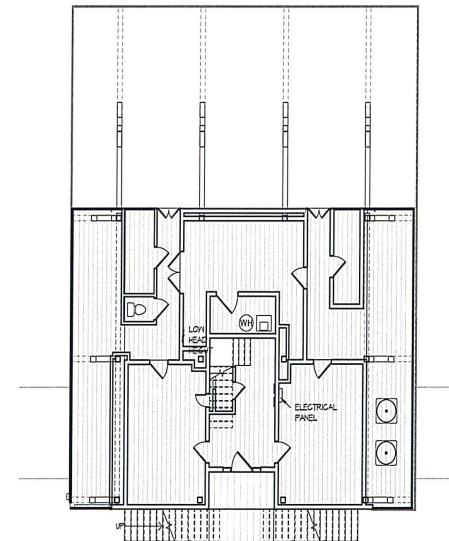
4 FRONT ELEVATION (EXISTING/DEMO)
1/8" = 1'-0"



3 SECOND FLOOR (EXISTING/DEMO)
1/8" = 1'-0"



2 FIRST FLOOR (EXISTING/DEMO)
1/8" = 1'-0"



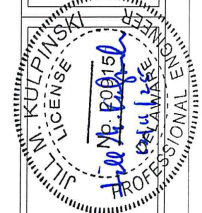
1 GROUND FLOOR (EXISTING/DEMO)
1/8" = 1'-0"

EXISTING/DEMO FLOOR PLANS & ELEVATIONS

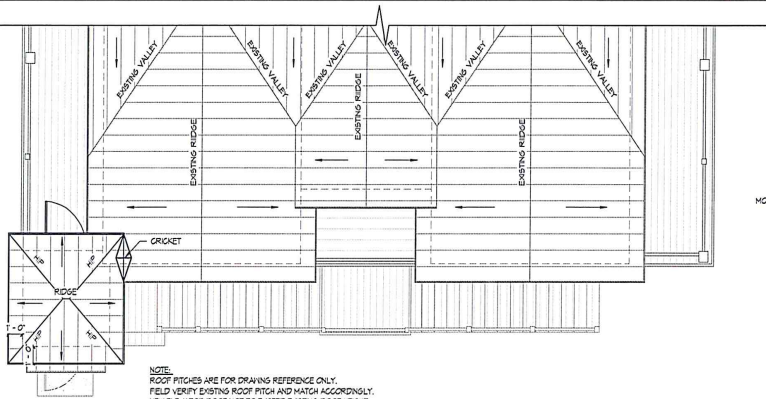
REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2ND FLOOR
RENO, DE 19901
302.645.0777
www.elemently.com

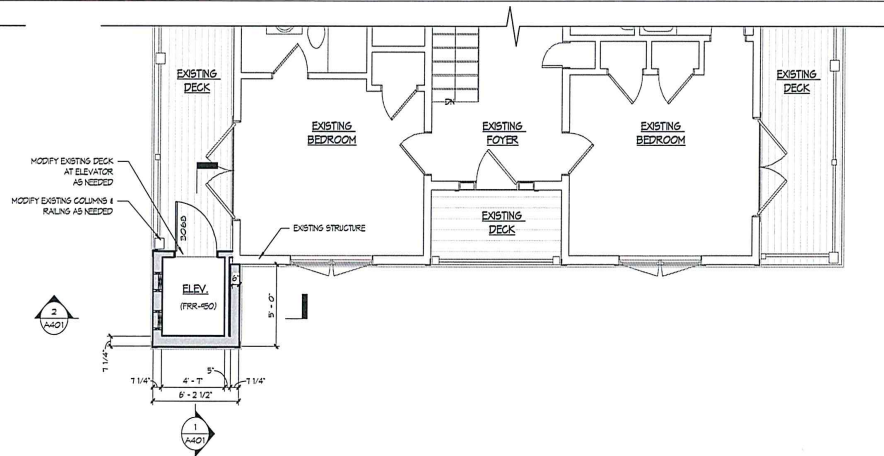


DSN	DRN	CHKD
DDN	DDN	BB
SCALE: 1/8" = 1'-0"		
JOB No.	e25031	
ISSUE DATE	12.08.2025	

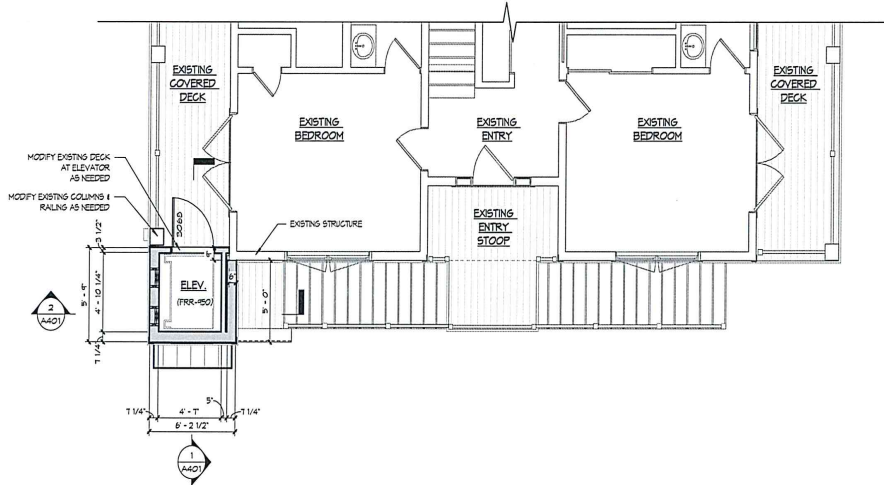


NOTE:
ROOF PITCHES ARE FOR DRAWING REFERENCE ONLY.
FIELD VERIFY EXISTING ROOF PITCH AND MATCH ACCORDINGLY.
NEW ELEVATOR ROOF NOT TO EXCEED EXISTING ROOF HEIGHT.

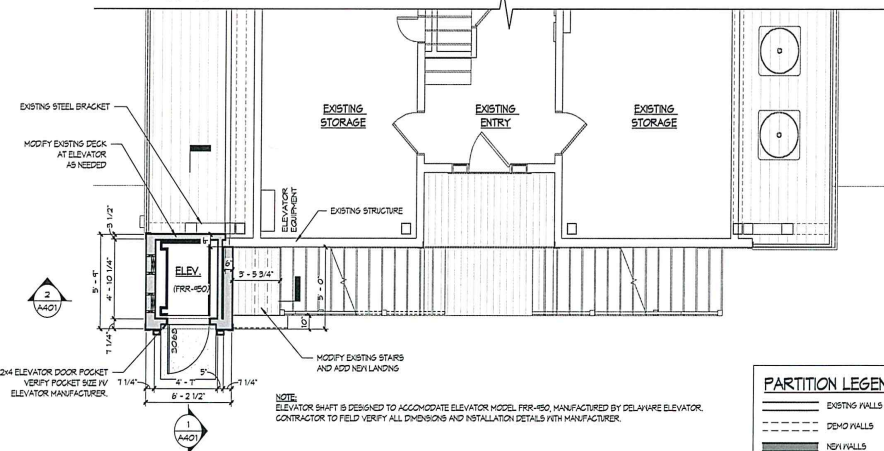
④ ROOF PLAN (PROPOSED)
1/4" = 1'-0"



③ SECOND FLOOR (PROPOSED)
1/4" = 1'-0"



② FIRST FLOOR (PROPOSED)
1/4" = 1'-0"



① GROUND FLOOR (PROPOSED)
1/4" = 1'-0"

NOTE:
ELEVATOR SHAFT IS DESIGNED TO ACCOMMODATE ELEVATOR MODEL FRR-450, MANUFACTURED BY DELAWARE ELEVATOR.
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND INSTALLATION DETAILS WITH MANUFACTURER.

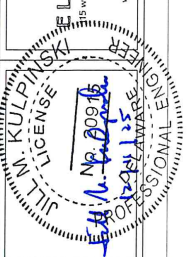
PARTITION LEGEND:

EXISTING WALLS
DEM'D WALLS
NEW WALLS

REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

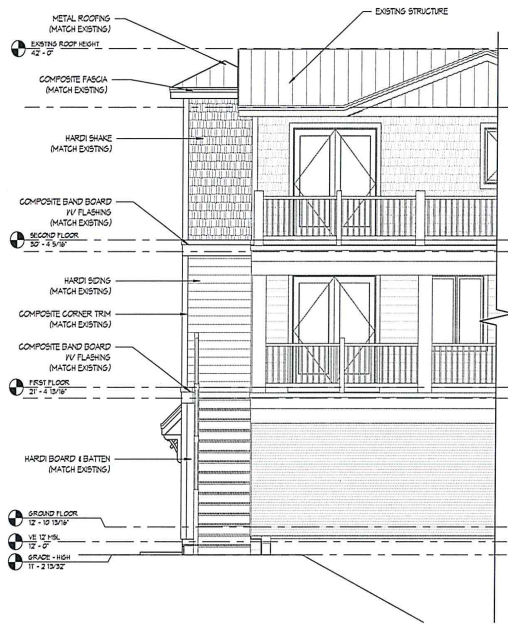
ELEMENT
15 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.645.0777
www.elemently.com



DSN	DRM	CHKD
DDM	DDN	BB
SCALE: 1/4" = 1'-0"		
JOB No. e25031		
ISSUE DATE 12.08.2025		

A201

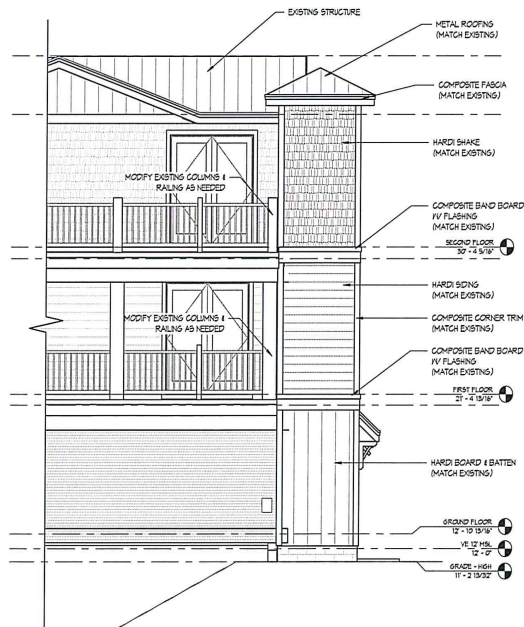
FLOOR PLANS



④ RIGHT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



③ REAR ELEVATION (PROPOSED)
1/4" = 1'-0"



② LEFT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



① FRONT ELEVATION (PROPOSED)
1/4" = 1'-0"

REV.	DATE	DESCRIPTION

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

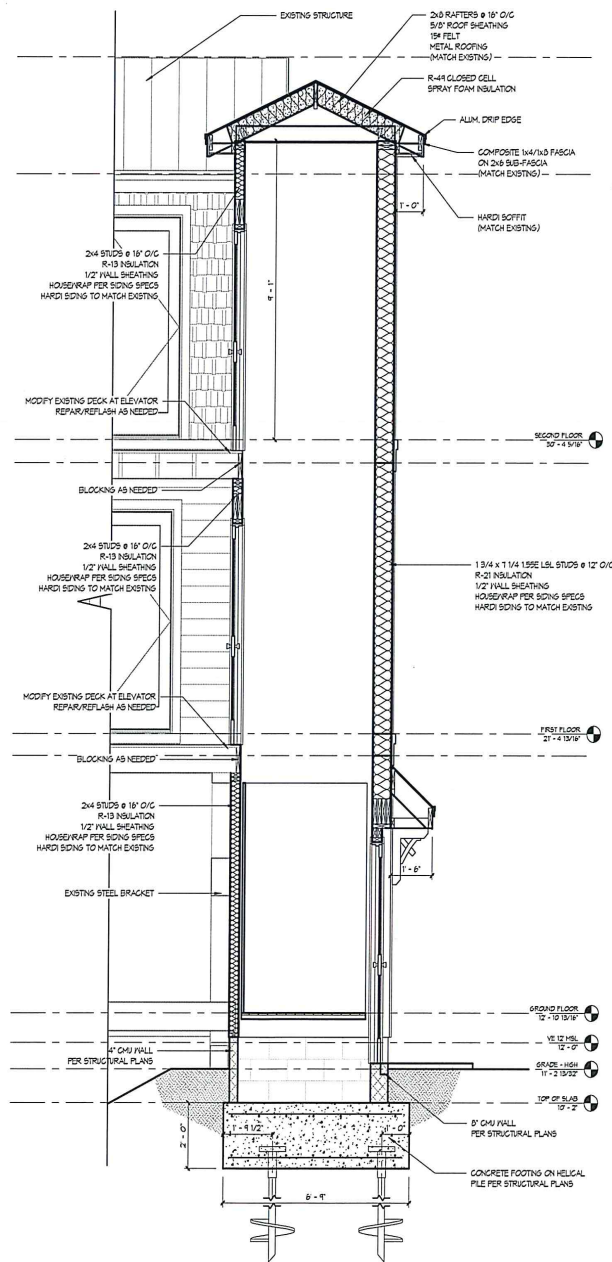
ELEMENT
115 W. MARKET STREET, 2nd floor
TOWNS, DE 19958
302.645.0777
www.elemently.com

W. KULPINSKI
Architect
Professional Engineer
DELAWARE
No. 00875

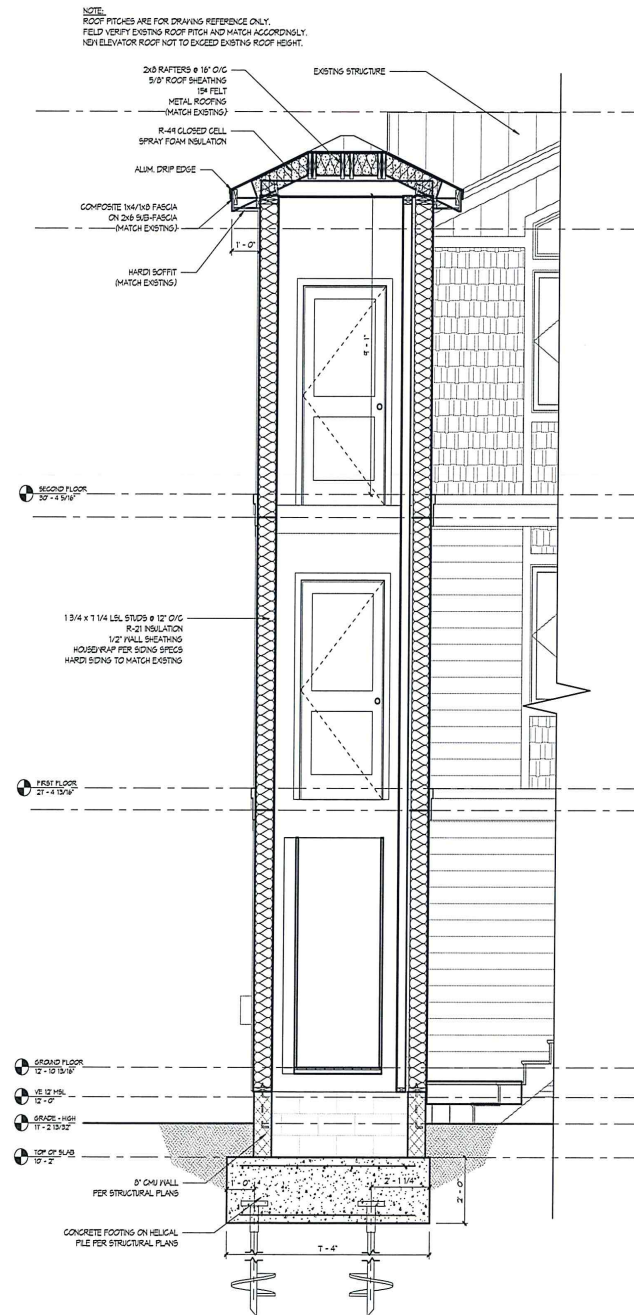
DSN	DRN	CHD
DDN	DDN	BB
SCALE:	1/4" = 1'-0"	
JOB No.	e25091	
ISSUE DATE	12.08.2025	

ELEVATIONS

A301



① SECTION 2
1/2" = 1'-0"

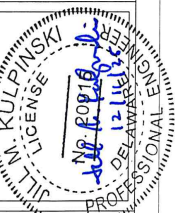


② SECTION 1
1/2" = 1'-0"

REV.	DATE	DESCRIPTION	BY

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

ELEMENT
115 W. MARKET STREET, 2ND FLOOR
DOVER, DE 19901
302.645.0777
www.elementny.com



DSN	DDN	BB
SCALE:	1/2" = 1'-0"	
JOB No.	e25031	
ISSUE DATE	12.08.2025	

SECTIONS

A401

STRUCTURAL NOTES

STRUCTURAL DESIGN GENERAL

1. DESIGN LOADS ARE IN ACCORDANCE WITH IRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.

DEAD LOAD	20 PSF
ROOF FLOOR	20 PSF
LIVE LOAD	40 PSF
FLOOR	

2. BUILDING OCCUPANCY CATEGORY II

3. SNOW LOADS:
GROUND SNOW LOAD 20 PSF
FLAT-ROOF SNOW LOAD 20 PSF

4. WIND LOADS:
BASIS WIND SPEED (3 SEC 60/97) 125 MPH
EXPOSURE CATEGORY C

FOUNDATION

1. THE ASSUMED NET ALLOWABLE SOIL BEARING CAPACITY IS 1200 PSF (UNLESS NOTED OTHERWISE). SOIL BEARING PRESSURE SHALL BE VERIFIED AT THE TIME OF EXCAVATION AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IF THE ACTUAL BEARING PRESSURE IS LESS THAN THE DESIGN PRESSURE.

2. BOTTOM OF ALL FOOTINGS SUBJECT TO FROST/THAW CONDITIONS SHALL BE A MINIMUM OF TWO FEET BELOW FINISH GRADE OR TOP OF SLAB ELEVATION, WHICHEVER IS LOWER.

3. FOUNDATION DESIGN IS BASED ON REMOVAL OF ALL ORGANIC MATERIAL AND/OR MATERIAL SUBJECT TO ROT OR CORROSION. BOTTOM OF FOOTING SUBGRADE IS TO BE BEARING ON SUITABLE NATURAL SOILS AND/OR COMPACTED STRUCTURAL FILL.

4. COMPACTED STRUCTURAL FILL BENEATH ALL SLABS ON GRADE, FOUNDATIONS AND ADJACENT TO FOUNDATION WALLS SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

5. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO INSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT FLOODING ON SURFACE RUNOFF NEAR THE SURFACES.

6. FOUNDATION WATERPROOFING TO BE (1) COAT OF SPRAY APPLICATION (60 MILS THICK) OF TUFF-N-DRI POLYMER ENHANCED ASPHALT LIQUID APPLIED MEMBRANE OR EQUAL.

HELICAL PILES

1. HELICAL SCREEN PILES SHALL BE MANUFACTURED BY THE AS, CHANGE CO. OR APPROVED EQUAL.

2. PILES SHALL BE INSTALLED BY THE MANUFACTURER'S AUTHORIZED INSTALLATION CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE INSTALLATION TECHNIQUES.

3. ALL HELICAL PILES SHALL BE HOT-DIP GALVANIZED.

4. INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.

5. HELICAL PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.

6. APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS. CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE MINIMUM SAFETY FACTOR IS 2.0.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318, MOST RECENT EDITION.

2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3500 PSI FOR ALL FOUNDATIONS AND PERS AND 4000 PSI FOR ALL SLABS. SLUMP AT TIME OF PLACEMENT SHALL BE MIN 5 INCHES AND MAXIMUM 8 INCHES.

3. ALL CONCRETE EXPOSED TO THE EXTERIOR SHALL BE AIR-ENTRAINED (8 ± 1%).

4. DO NOT PLACE CONCRETE AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.

5. REINFORCING BARS SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. LAP ALL BARS MIN. 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.

6. REINFORCING FABRIC SHALL BE ASTM A-105 AND/OR ASTM A471 AND MIN. GRADE 40. IT SHALL BE PROVIDED IN FLAT SHEETS AND LAPPED A MIN. OF 8 INCHES.

7. CONTROL JOINTS IN SLABS ON GRADE SHALL BE LOCATED AT MAX. 10'-0" O.C. PANELS SHALL BE AS SQUARE AS POSSIBLE. LENGTH SHOULD NOT EXCEED 1.5 TIMES THE WIDTH.

MASONRY

1. ALL MASONRY SHALL CONFORM TO ACI 530, LATEST EDITION.

2. ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90, GRADE N, TYPE 1 STANDARD HEIGHT BLOCKS.

3. ALL MORTAR SHALL BE ASTM C270 TYPE M OR S WITH A MIN. COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS.

4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C970 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. GROUT GORES TO BE GROUTED AS NOTICED PER PLANS AND DETAILS.

FRAMING NOTES

1. DESIGN LOADS: (LL) FLOOR LOAD + 40 PSF, STAIR + 40 PSF, ROOF + 20 PSF, DECK + 40 PSF.

2. ALL SAWN LUMBER MEMBERS SHALL BE #2 SPF (Fb = 875 psi, Fv = 135 psi), AND E = 1400 ksi) OR BETTER.

3. ALL LVL BEAMS OR HEADERS SHALL BE GRADE 2 OR MICROLAM LVL (Fb = 2600 psi, Fv = 255 psi), AND E = 2.0 x 10⁶ psi) OR BETTER.

4. PSL COLUMNS SHALL BE GRADE 1 OR PARALLAM PSL (Fb = 545 psi, Fc = 2500 psi, Fv = 190, E = 1.9 x 10⁶ psi) OR BETTER.

5. PSL BEAMS SHALL BE GRADE 2 OR PARALLAM PSL (Fb = 2400 psi, Fv = 240 psi, AND E = 2.0 x 10⁶ psi) OR BETTER.

6. ALL PSL BEAMS & COLUMNS USED FOR EXTERIOR CONSTRUCTION AND EXPOSED TO THE ELEMENTS SHALL BE PARALLAM PLUS @ SERVICE LEVEL 1 (UNCOLMANIZED PSL INDICATED ON PLANS AS (U)) OR APPROVED EQUAL. COLUMNS: Fc = 3000 psi, Fv = 190 psi, AND E = 1.41 x 10⁶ psi; BEAMS: Fb = 2275 psi, Fv = 215 psi, E = 1.65 x 10⁶ psi.

7. ALL LVL, H-HEADERS USED IN EXTERIOR CONSTRUCTION ABOVE-GROUND APPLICATIONS (UICB) SHALL BE SPECIFICALLY DESIGNATED AS TREATED AND FROM PACIFIC KWOOD TECH OR EQUAL, WITH THE FOLLOWING MATERIAL PROPERTIES (Fb = 2600 psi; Fv = 255 psi; E = 2,000,000 psi) OR BETTER.

8. ALL EXTERIOR WALLS SHALL BE 2 x 6 STUD UNO, AND ALL INTERIOR WALLS SHALL BE 2 x 4 STUD UNO.

9. ALL EXTERIOR HEADERS TO BE MIN. (3) 2 x 10 UNO, ALL INTERIOR HEADERS @ INTERIOR LOAD BEARING WALLS TO BE MIN. (2) 2 x 8 (4 WALL) OR (3) 2 x 8 (2 & 4 WALL) UNO.

10. ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:

OPENING	HEADER
UP TO 4'-0"	(2) 2 x 8
4'-0" TO 6'-0"	(2) 2 x 10
6'-0" TO 10'-0"	(2) 2 x 12

11. PROVIDE 2 x 4 PLAT BLOCKING BETWEEN JOISTS WHERE PARALLEL WALLS LIE BETWEEN.

12. PROVIDE MIN. DOUBLE FLOOR JOISTS UNDER BEARING WALLS RUNNING PARALLEL TO JOIST SYSTEM.

13. POST AND BLOCK SOLID BENEATH ALL POINT LOADS TO FOUNDATION OR SUPPORTING MEMBERS BELOW IN MIN. (3) 2x8 UNO. CROSS SECTION DIMENSIONS OF POST BELOW MUST BE EQUAL TO OR GREATER THAN POST ABOVE.

14. ALL POINT LOADS FROM STEEL & LVL BEAMS INCLUDING RIDGE, HP & VALLEY BEAMS SHALL BE SUPPORTED BY MINIMUM (3) 2x6, (3) 2x4, OR SOLID COLUMNS AS SHOWN ON THE PLANS.

15. BALLOON FRAME ALL TWO STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. SOLID HORIZONTAL BLOCKING IS REQUIRED BETWEEN STUDS AT MIDPOINT OR AT THIRD POINTS FOR STUDS OVER 16'-0".

16. ALL WOOD FRAMING MATERIAL IN DIRECT CONTACT WITH MASONRY WALLS AND/OR CONCRETE FLOOR SLABS SHALL BE PRESSURE TREATED MATERIAL AND ALL FASTENERS USED SHALL BE COMPATIBLE WITH TREATMENT.

17. ALL DIMENSIONS ARE FROM TO FACE OF FRAMING AND FOUNDATION WALLS, UNLESS NOTED OTHERWISE.

18. INSTALL A CONTINUOUS ALUMINUM TERMITES SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.

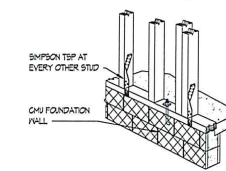
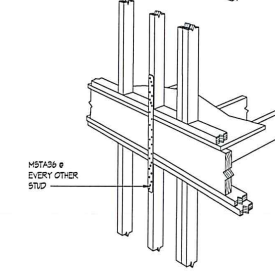
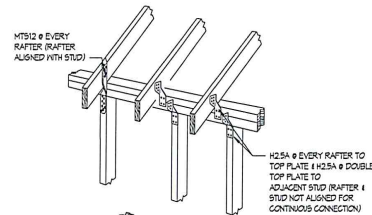
19. ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED AND DETAILED BY THE MANUFACTURER. INSTALLATION AND BRACING IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WRITTEN INSTRUCTIONS.

20. ALL CONSTRUCTION IN COASTAL FLOOD HAZARD ZONE AREAS TO MEET OR EXCEED THE REQUIREMENTS STATED IN FEMA TECHNICAL BULLETINS AND PER NFIP REGULATIONS.

21. PROVIDE MECHANICAL CONNECTORS AT ALL LOCATIONS WHERE THE RAFTERS ARE HANGING FROM THE RIDGE BEAM. SHIMSON UNITS/SHIMSON HANGERS OR EQUAL, INSTALLED PER MFR. SPECIFICATIONS AND FOR THE APPROPRIATE ALLOWABLE LOADS ARE ACCEPTABLE.

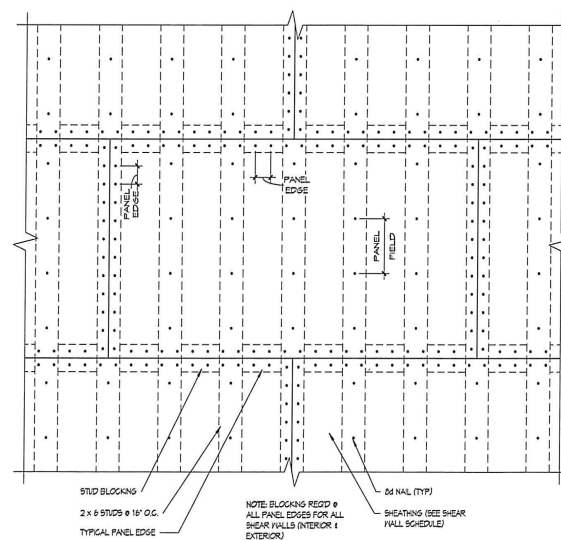
22. METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS (IE. CONSTRUCTION WITH PRESERVATIVE TREATED WOOD) SHALL BE IN ACCORDANCE WITH IRC R313 GUIDELINES FOR PRESERVATIVE-TREATED WOOD AND TABLE R301.2.3.

SEE NOTE #1 REGARDING ROOF FRAMING



NOTE:
1. * ROOF FRAMING SELECT ONE OF TWO OPTIONS TO RESIST UPLIFT. A. CONNECT TRUSS/RAFTER DIRECTLY TO STUD. B. CONNECT TRUSS/RAFTER TO TOP PLATE & TOP PLATES TO STUD.
2. AS AN ALTERNATIVE TO THE FLOOR TO FLOOR STRAPPING ILLUSTRATED, CONTRACTOR MAY USE SHEATHING TO SPAN HORIZONTAL JOISTS. SHEATHING TO BE CONTINUOUS OVER JOISTS AND FASTENED TO FRAMING WITH NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN THE FIELD.
3. BLOCK STEEL BEAMS AS REQUIRED TO INSTALL STRAPPING.

① HURRICANE STRAPPING DETAIL
3/8" x 1'-0"



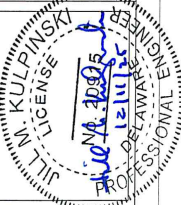
② SHEAR WALL NAILING PATTERN
3/4" x 1'-0"

SHEAR WALL SCHEDULE			
MARK	SHEATHING	FASTENING	
SH1	1/2" STRUCTURAL SHEATHING, OR 1/2" OSB, EXTERIOR ONLY, BLOCKED	20 NAILS @ 6" O.C. SPACING @ PANEL EDGES & 12" O.C. IN FIELD	
SH2	1/2" GYPSPUM BOARD, BOTH SIDES, BLOCKED	50 COOLER NAILS @ 1" O.C. SPACING @ PANEL EDGES (INCL. TOP & BOTTOM PLATES), 1" O.C. IN FIELD	
***ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE SH1, UNLESS NOTED OTHERWISE			
NOTES: 1. REFERENCE "SHEAR WALL NAILING PATTERN DETAIL" FOR ILLUSTRATION OF PANEL EDGE AND FIELD LOCATIONS. 2. ALL SHEATHING PANEL EDGES SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKING.			

REV.	DATE	DESCRIPTION	BY

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

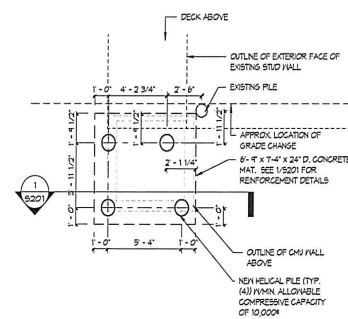
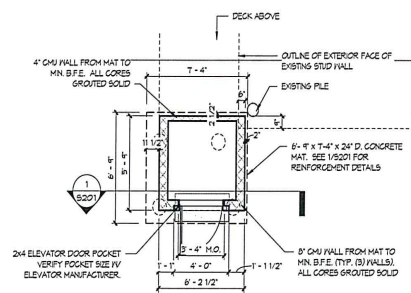
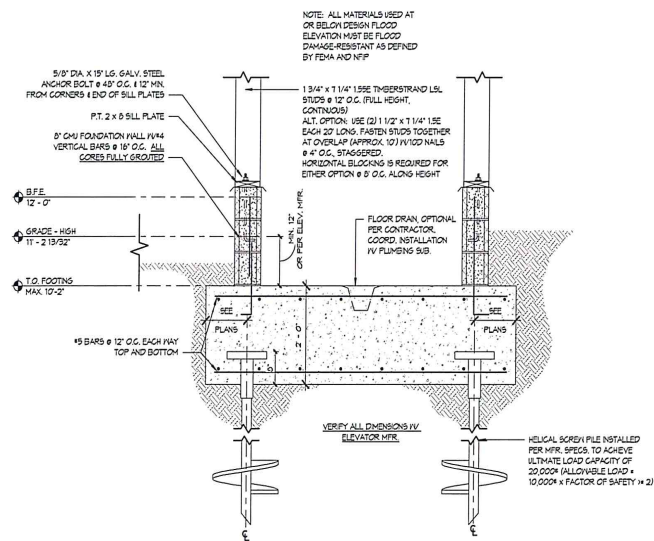
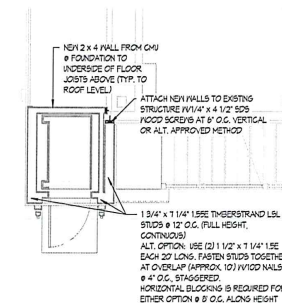
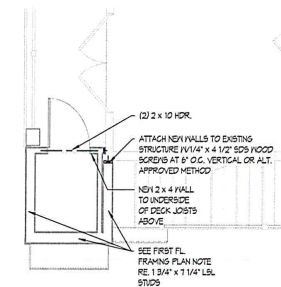
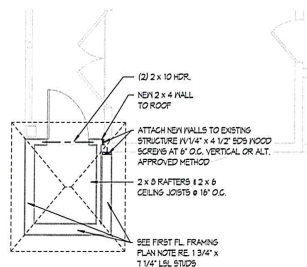
ELEMENT
115 W. MYRTLE STREET, 2ND FLOOR
TOWNS, DE 19958
302.645.0777
www.elementally.com



DSN	DRN	CHRD
JK	JK	JK
SCALE: As Indicated		
JOB No.	e25031	
ISSUE DATE	12.08.2025	

STRUCTURAL NOTES & DETAILS


5001



NOTES:
1. VERIFY EXISTING GAS LINE LOCATION.
RUN NEW LINE AS NEEDED.

[illegible]

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17.20-156.00

 ELEMENT
115 w. market street, 2nd floor
lewes, de 19958
302.645.0777
www.elementtj.com

DSN	DRW	CHKD
JK	JK	JK
SCALE: As indicated		
JOB No. e25037		
ISSUE DATE: 12.08.2025		

S201

Adjacent property owners document



Lot 2

Parcel/Address: 134-17.20-156.00 / 6 S Ocean Drive

Owner: Paetrus F. Banmiller III

Mailing Address: 1200 Hunt Seat Drive, Gwynedd Township, PA 19002

Adjacent Properties:

Lot 7

Parcel/Address: 134-17.20-157.00 / 2 S Ocean Drive

Owner: Cathy Bernard Trustee

Mailing Address: 5532 Greystone Street, Chevy Chase, MD 20815

Lot 3

Parcel/Address: 134-17.00-145.00 / 8 S Ocean Drive

Owner: Scott M. and Terrie W. Mona

Mailing Address: 213 Duke of Gloucester Street, Annapolis, MD 21401

Lot 57

Parcel/ Address: 134-17.20-146.00 / 1 S 1st Street

Owner: DKC One South First LLC

Mailing Address: 479 Maple Road, Severna Park, MD 21146

Lot 62

Parcel/Address: 134-17.20-155.00 / 2 N Division Street

Owner: Saylor Beach House LLC

Mailing Address: c/o David Saylor 721 Bothwell Lane, Keswick, VA 22947