



SHORELINE AND WATERWAY MANAGEMENT SECTION Coastal Construction Application

Public Notice No. WSS20250464 Date: 12/24/2025

Application Submitted: **12/15/2025**

To Construct an Elevator Seaward of the Building Line

on Lot(s) 2 , Block(s) 1, South Bethany Corporation , in Sussex County, Delaware

Tax Map # **134-17.20-156.00**

Applicant Information

Name: Amanda Tesoro

Property Type: Residential: Single Family

Activities:

- Accessory structures
 - Elevators : Seaward

Site Work:

Will there be any lot clearing or excavation at the site?

No

Will any sand be removed from the site?

Will sand or fill be added to the site?

No

What will be the reason for placement of sand or fill?

How much sand will be added?

What will be the source of the sand/fill?

What method will be used to deposit the sand/fill?

Do you know who will be conducting the work?

Contractor Name

Contractor Phone number

Landscaping:

Will there be any landscaping?

No

Will you bring in topsoil or mulch?

Are there any structures including irrigation systems proposed in your landscape design?

No

What type of structures being proposed?

Other structure description:

Flood Zone Information:

In which NFIP Flood Zone(s) is the property located?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

In which NFIP Flood Zone(s) is the proposed construction taking place?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

What is the Base Flood Elevation (NAVD88)?

12

What is the effective/revised date of the FIRM panel used for flood zone determination?

03/16/2015

Will any enclosures, such as entrances, storage areas, elevators, showers, skirting, utilities etc., be constructed below the first living floor?

Yes

Will any concrete, brick or asphalt be used? This could be for flooring, driveways, sidewalks, patios etc.

No

Where will the concrete, brick or asphalt be used?

Dune Preservation Information:

What mitigating measures will be taken to prevent disturbance and damage to the dune during construction?

Sand/silt Fence marking the location of the Building Line, Keeping all equipment personnel and supplies off the dune

Other measure(s) description:

Wetlands:

Will any work be occurring on regulated wetlands located on this lot?

No

Septic:

Is there a septic system on the lot?

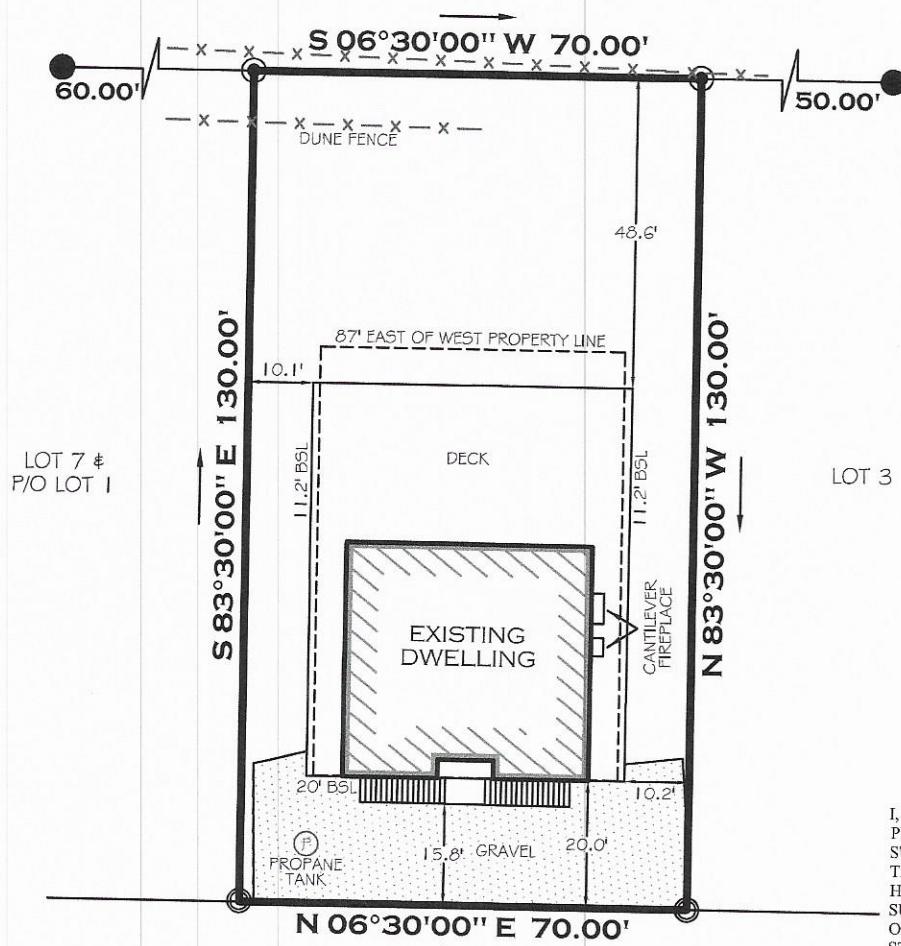
No

What is the Septic Permit # of the system (optional)?

Structural survey plan document



ATLANTIC OCEAN



SOUTH OCEAN DRIVE

NOTES

1. CLASSIFICATION OF SURVEY: URBAN

2. ZONE: R - 1

3. BUILDING SETBACK LINES (BSL)

FRONT 20'
 SIDE 8' MINIMUM / 22.4' AGGREGATE (CALCULATED FOR A 70' WIDE LOT)
 REAR NO STRUCTURE MORE THAN 87 FEET EAST OF WEST SIDE OF PROPERTY LINE.

ALL SETBACKS ARE THE RESPONSIBILITY OF THE HOME OWNER AND/OR GENERAL CONTRACTOR. SETBACKS SHOWN AS PER TOWN OF SOUTH BETHANY & MAY DIFFER FROM THE HOME OWNERS ASSOCIATION (HOA) SETBACKS. ANY USER OF SAID INFORMATION IS URGED TO DIRECTLY CONTACT THE LOCAL AGENCY AND HOA, IF APPLICABLE, TO VERIFY IN WRITING ALL SETBACKS & REQUIREMENTS.

4. NO TITLE REPORT WAS PROVIDED FOR OUR USE, THEREFORE THIS BOUNDARY SURVEY IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS, AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.

TAX MAP 1-34 - 17.20 - 156.00

STATE DELAWARE

COUNTY SUSSEX

HUNDRED BALTIMORE

TOWN SOUTH BETHANY

AREA 9,100 ± SQ. FT.

DEED REF. 4556 / 174

PLAT REF. 2 / 51

DRAWN BY JMH

DATE 11 / 08 / 2024

SCALE 1" = 30'

SURVEY # DE - 10752

BOUNDARY SURVEY
PLAN

LOT 2 & SOUTHERLY 20' OF LOT 1
SOUTH BETHANY CORPORATION
BLOCK 1

FOR
PAETRUS BANMILLER & LAURA BANMILLER

6 SOUTH OCEAN DRIVE, BETHANY BEACH, DE 19930

I, BRADLEY A. ABSHER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

PLADLEY A. ABSHER, DE PLS # 735
DATE

11.8.24

LEGEND

- IRON PIPE FOUND
- IRON ROD W/ CAP FOUND
- IRON ROD W/ CAP SET

TRUE NORTH



LAND SURVEYING

35322 BAYARD ROAD
FRANKFORD, DE 19945
302-539-2488

Foundation Pile/Layout Plan

BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930



1 FRONT LEFT VIEW

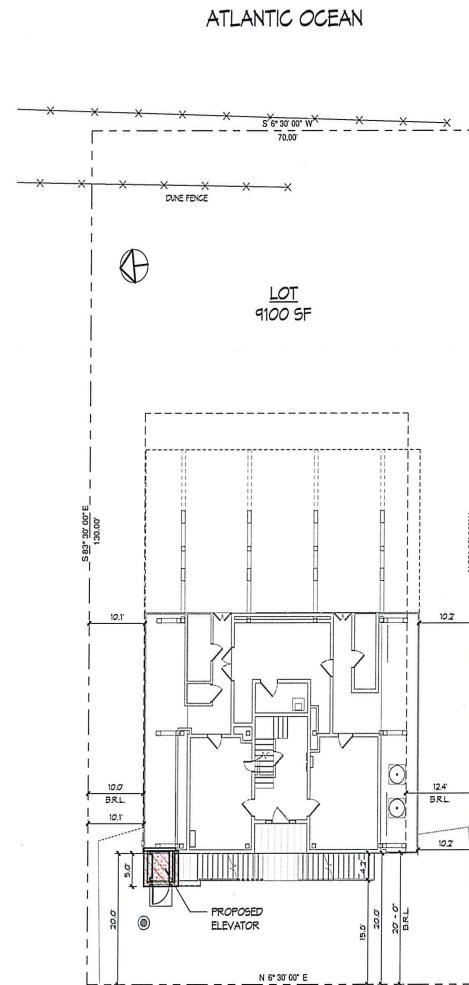


③ FRONT RIGHT VIEW

<u>BUILDING CODE ANALYSIS DATA</u>									
CODE OFFICIAL CONTACTS:	TOWN OF SOUTH BETHANY								
APPLICABLE CODES:	IRC 2021								
CONSTRUCTION TYPE:	V-B (SINGLE FAMILY HOME)								
BUILDING HEIGHT	PROPOSED NEW CONSTRUCTION, TO MATCH EXISTING HEIGHT								
BUILDING SETBACKS:	<table> <tr> <td>REQUIRED:</td> <td>FRONT 15'</td> <td>REAR N/A</td> <td>SIDE 10'</td> </tr> <tr> <td>PROPOSED:</td> <td colspan="3">*PER APPROVED VARIANCE 11/01/25, FILED 11/15/25 SEE REFERENCE LETTER</td> </tr> </table>	REQUIRED:	FRONT 15'	REAR N/A	SIDE 10'	PROPOSED:	*PER APPROVED VARIANCE 11/01/25, FILED 11/15/25 SEE REFERENCE LETTER		
REQUIRED:	FRONT 15'	REAR N/A	SIDE 10'						
PROPOSED:	*PER APPROVED VARIANCE 11/01/25, FILED 11/15/25 SEE REFERENCE LETTER								

ARCHITECTURAL SITE PLAN NOTES:

1. THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE.
2. THIS SITE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT TO THE ARCHITECT. THIS SUR



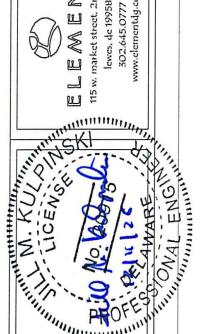
SOUTH OCEAN DRIVE

② SITE PLAT

SHEET LIST	
NO.	NAME
A001	COVERSHEET
A002	NOTES 1 SYMBOLS
A01	EXISTING/DEMO FLOOR PLANS 1 ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	SECTIONS
B001	STRUCTURAL NOTES 1 DETAILS
B201	FRAMING PLANS

COVERSHEET

BANNILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17-20-156-00



DSN	DRW	CHKD
DDW	DDW	BB
SCALE:	As indicated	
JOB NO.	e25037	
ISSUE DATE:	12.08.2025	
<u>A001</u>		

CONSTRUCTION NOTES:

GENERAL:

- ALL EXTERIOR WALLS DIMENSIONED 7 1/4" U.N.O. AND ALL INTERIOR WALL DIMENSIONED 3 1/2" U.N.O.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN ACCORDANCE IV RC 314. CARBON MONOXIDE & SMOKE DETECTORS INSTALLED IN ACCORDANCE IV RC 315.

STAIR HANDRAILS:

- HANDRAILS SHALL PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 34" HEIGHT, MEASURED VERTICALLY TO THE SLOPED PLANE ADJOINING THE TREAD NOSE OF THE STAIR, AND A MAXIMUM OF 38".
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT OF STAIRS.
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND HANDRAIL.

GUARDS:

- LOCATE GUARDS ALONG ALL WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE ADJACENT GRADE OR FLOOR BELOW.
- GUARDS SHALL BE MINIMUM OF 36" IN HEIGHT, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

FIRE PROTECTION:

- ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- FIRE SEPARATIONS FROM THE RESIDENCE AND ATTICS TO THE GARAGE SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- SEPARATIONS FROM ALL HABITABLE ROOMS ABOVE THE GARAGE SHALL HAVE MIN. 5/8" TYPE A GYPSUM BOARD.
- STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIREMENTS SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT IN THE SAME LOT SHALL HAVE MIN. 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE EXTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

FIREBLOCKING:

PROVIDE FIREBLOCKING IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS.
- VERTICALLY AT THE CEILING AND FLOOR LEVELS.
- HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STINGERS AT THE TOP AND BOTTOM OF THE RISE.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

FIREBLOCKING MATERIALS CAN INCLUDE:

- TWO INCH NOMINAL LUMBER.
- TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD.
- ONE-HALF INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT-BASED MILBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.

GENERAL NOTES

- THIS STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES SET FORTH BY THE AUTHORITY HAVING JURISDICTION. THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH RC 2021.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ONLY MOST RECENT SIGNED & SEALED PLANS SHALL BE USED FOR BIDDING CONSTRUCTION PURPOSES; IF IN DOUBT OF MOST RECENT PLAN SET, CONTACT ELEMENT DESIGN GROUP.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER AND ARCHITECT.
- THERE SHALL BE NO DEVIATION FROM CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO ALL GLAZING (BOTH SIDES) AND ALL HORIZONTAL AND VERTICAL SURFACES.
- PROVIDE ALL OEM MANUALS FOR ALL INSTALLED EQUIPMENT, FIXTURES, AND SYSTEMS TO OWNER.

PERMITTING AND APPROVALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, LICENSES, AND INSPECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER'S REVIEW REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO START OF CONSTRUCTION ACTIVITIES.

EXISTING CONDITIONS GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE NEW WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, FLOOR TO FLOOR HEIGHTS, WINDOW LOCATIONS, WINDOW OPENINGS, AND ROOF PITCHES.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR.
- THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, IRREGULAR SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
- COORDINATE PLANS FOR NEW CONSTRUCTION IV DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

DEMOLITION NOTES:

- ALL DASHED LINES INDICATE ITEMS TO BE REMOVED.
- GO TO EXECUTE ALL NEW DEMOLITION WORK.
- GO TO EXECUTE ALL CUT AND REPAIR WORK OF EXISTING CONSTRUCTION.
- LIMIT SELECT DEMOLITION TO THE LEAST AREA POSSIBLE TO ACCOMMODATE NEW WORK IN ORDER TO ELIMINATE EXCESSIVE PATCHING AND DAMAGE TO EXIST. FINISHES TO REMAIN.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE WORK TO MINIMIZE SELECT DEMOLITION. GO TO EXECUTE ALL CUT AND REPAIR.
- PROVIDE TEMPORARY BRACING AND SHORING FOR ANY INSECURE SECTIONS OF WALL CONSTRUCTION, FLOOR AND WALL FRAMING FOR SELECT DEMOLITION.
- NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT WITH THE DESIGN INTENT OF CONSTRUCTION DOCUMENTS.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER TERMINATION OF EXISTING UTILITIES AS REQUIRED BY THE PROPOSED CONSTRUCTION.
- GO TO PROVIDE PROTECTION OF EXISTING ELEMENTS THAT ARE TO REMAIN.

CONSTRUCTION BELOW FLOOD:

- CONTRACTOR TO VERIFY ALL LOCATIONS OF MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES. ALL MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES SHALL BE ABOVE FLOOD.
- EXISTING UNTREATED WOOD STUD WALLS SHALL REMAIN. CONTRACTOR TO VERIFY INSULATION MATERIAL. WHERE APPLICABLE WALLS BELOW FLOORBOARD SHALL BE INSULATED IV CLOSED CELL SPRAY FOAM.
- CONTRACTOR TO VERIFY MATERIAL OF ALL INTERIOR FINISHES BELOW FLOOD. ALL INTERIOR FINISHES BELOW FLOOD SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO VERIFY MATERIAL OF EXTERIOR SHEATHING AND FINISHES BELOW FLOOD. ALL EXTERIOR SHEATHING AND FINISHES SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO INSTALL NEW INSULATED FLOOD VENTS IN EXISTING WALLS PER DRAWING 2/5201.
- ALL NEW TRIM SHALL BE FLOOD RESISTANT.
- ALL NEW DOORS AND WINDOWS SHALL BE FLOOD RESISTANT.

SYMBOLS

SYMBOL	DESCRIPTION
	SECTION CUT - INDICATES SECTION OR DETAIL NUMBER/SHEET NUMBER
	ELEVATION HEIGHT MARKER - INDICATES HEIGHT ABOVE FINISH FLOOR & OBJECT
	DRAWING BREAK LINE
	CENTERLINE
	ROOM LABEL
	NORTH ARROW
	WINDOW TAG
	SMOKE DETECTOR, COMBINED CARBON MONOXIDE DETECTOR WHERE READ BY CODE.
(X) XXXX (TRANSOM)	DOOR CALL OUT: (No. OF UNITS) X-X X-X-X (SIZE) ABR. (TYPE)
(X) XXXX DOOR	(No. OF UNITS) X-X X-X-X (SIZE) ABR. (TYPE) EX. 3068 FR. 3'-0" WIDE X 6'-8" TALL FRENCH DOOR FR. FRENCH DOOR PKT. POCKET DOOR SLDR. SLIDING DOOR

BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-17.20-159.00

ELEMENT

115 S. Market Street, 2nd Floor
Lewes, DE 19958
302.645.0777

www.elementdg.com



DSN	DRW	CHKD
DDW	DDW	BB
SCALE: As indicated		
JOB No. E25031		
ISSUE DATE: 12.08.2025		
A002		

NOTES & SYMBOLS



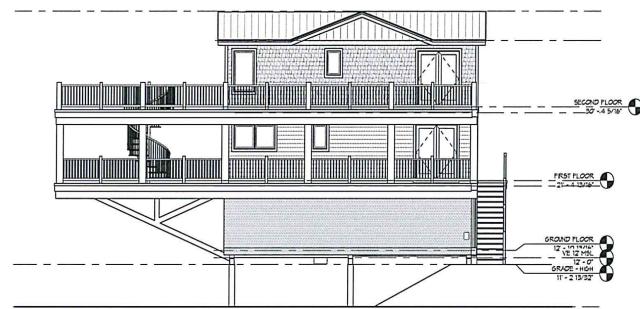
7 RIGHT SIDE ELEVATION (EXISTING/DEMO)

1/8" = 1'-0"



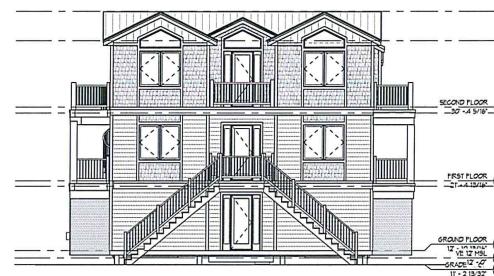
⑥ REAR ELEVATION (EXISTING/DEMO)

6 $1/8"$ = 1'-0"



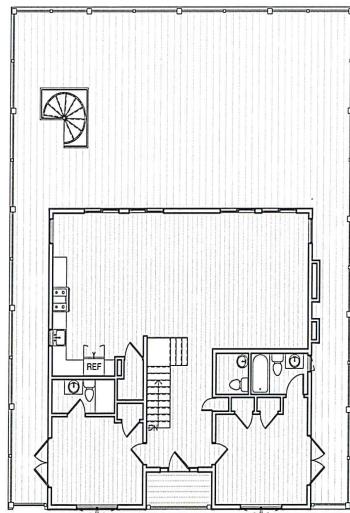
⑤ LEFT SIDE ELEVATION (EXISTING/DEMO)

5 $1/8'' = 1'-0''$



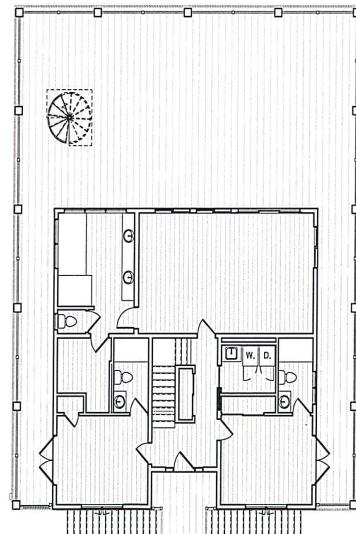
4 FRONT ELEVATION (EXISTING/DEMO)

$$4 \quad 1/8'' = 1'$$



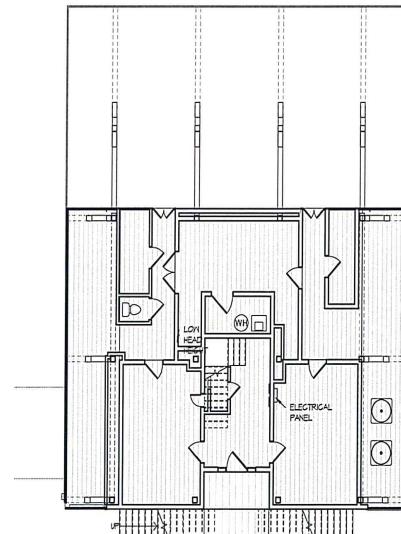
a) SECOND FLOOR (EXISTING/DEMO)

$$\textcircled{3} \quad \frac{52000 \text{ ft}}{1/B''} = 1' - 4$$



② FIRST FLOOR (EXISTING/DEMO)

② $\frac{1}{8}'' = 1'$



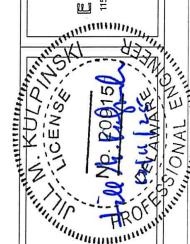
① GROUND FLOOR (EXISTING/DEMO)

$$\frac{1}{8} = 1$$

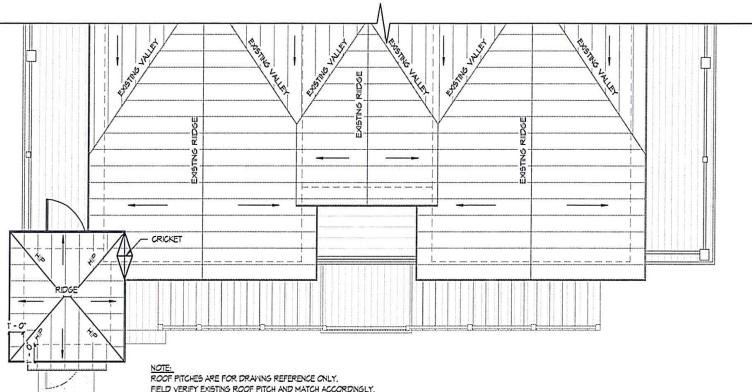
BANMILLER RENOVATION

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TAX PARCEL #1-34-17.20-156.00

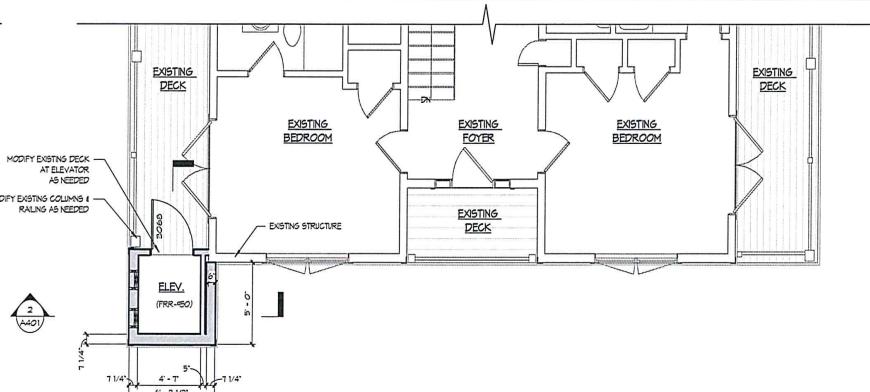


DSN	DRW	CHKD
DDW	DDW	BB
SCALE:		1/8" = 1'-0"
JOB NO.		e25031
ISSUE DATE:		12.08.2025
		A101

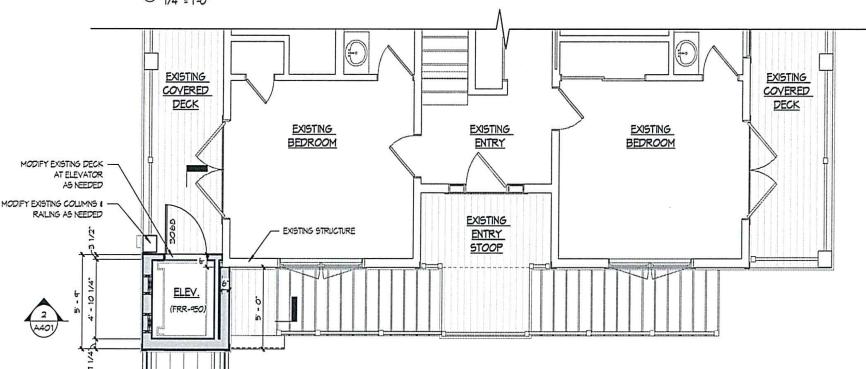


④ ROOF PLAN (PROPOSED)

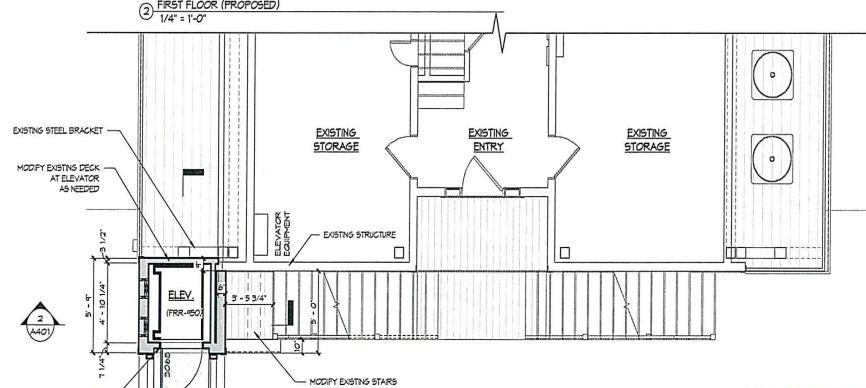
NOTE:
ROOF PITCHES ARE FOR DRAWING REFERENCE ONLY.
FIELD VERIFY EXISTING ROOF PITCH AND MATCH ACCORDINGLY.
NEW ELEVATOR ROOF NOT TO EXCEED EXISTING ROOF HEIGHT.



③ SECOND FLOOR (PROPOSED)
1/4" = 1'-0"



② FIRST FLOOR (PROPOSED)



① GROUND FLOOR (PROPOSED)

2x4 ELEVATOR DOOR POCKET
VERIFY POCKET SIZE w/
ELEVATOR MANUFACTURER.

NOTE:
ELEVATOR SHAFT IS DESIGNED TO ACCOMMODATE ELEVATOR MODEL FRR-450, MANUFACTURED BY DELAWARE ELEVATOR.
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND INSTALLATION DETAILS WITH MANUFACTURER.

PARTITION LEGEND:

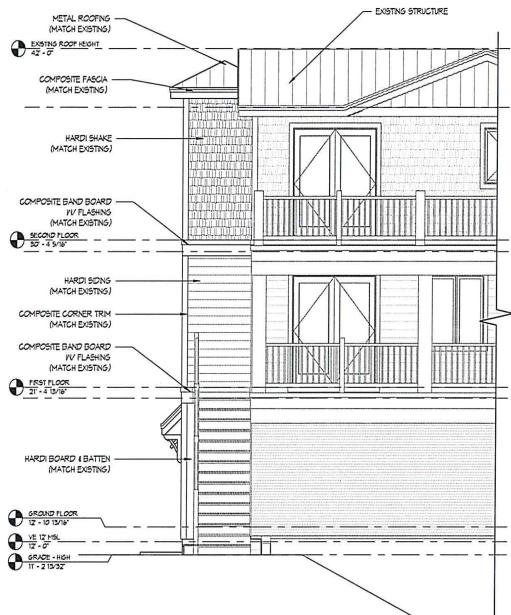
PARTITION LEGEND:

- EXISTING WALLS
- - - DEMO WALLS
- NEW WALLS

FLOOR PLANS

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #: 34-1720-156-00

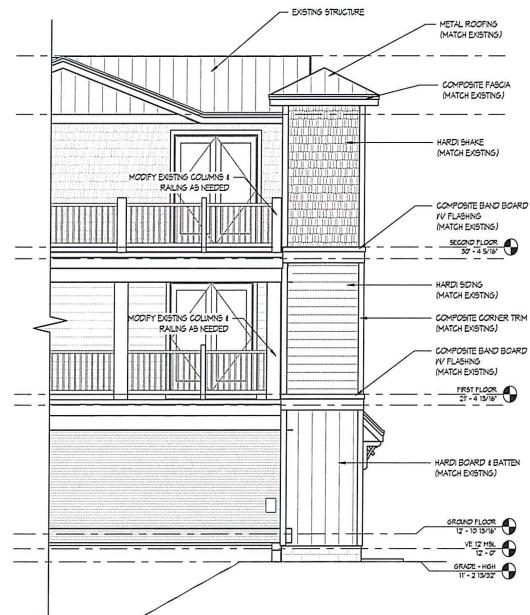
DSN	DRW	CHKD
DDW	DDW	BB
SCALE:	1/4" = 1'-0"	
JOB NO.	e25031	
ISSUE DATE:	12.08.2025	
<u>A201</u>		



④ RIGHT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



③ REAR ELEVATION (PROPOSED)
1/4" = 1'-0"



② LEFT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



① FRONT ELEVATION (PROPOSED)
1/4" = 1'-0"

BANMILLER RENOVATION

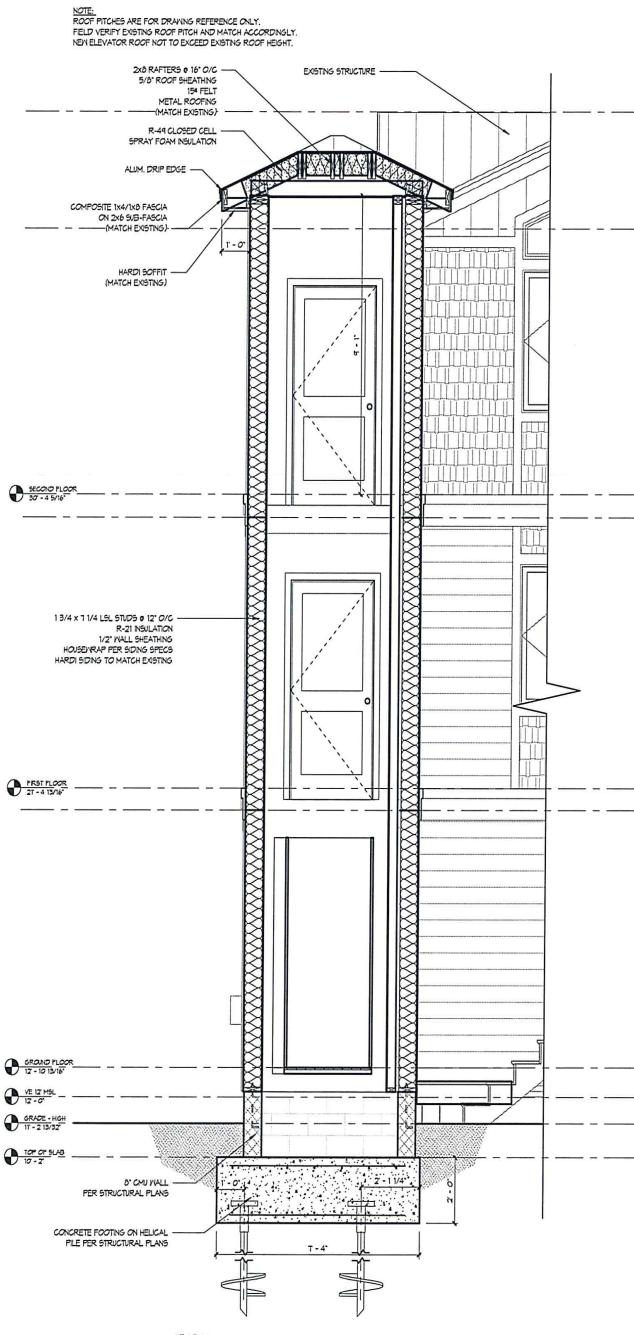
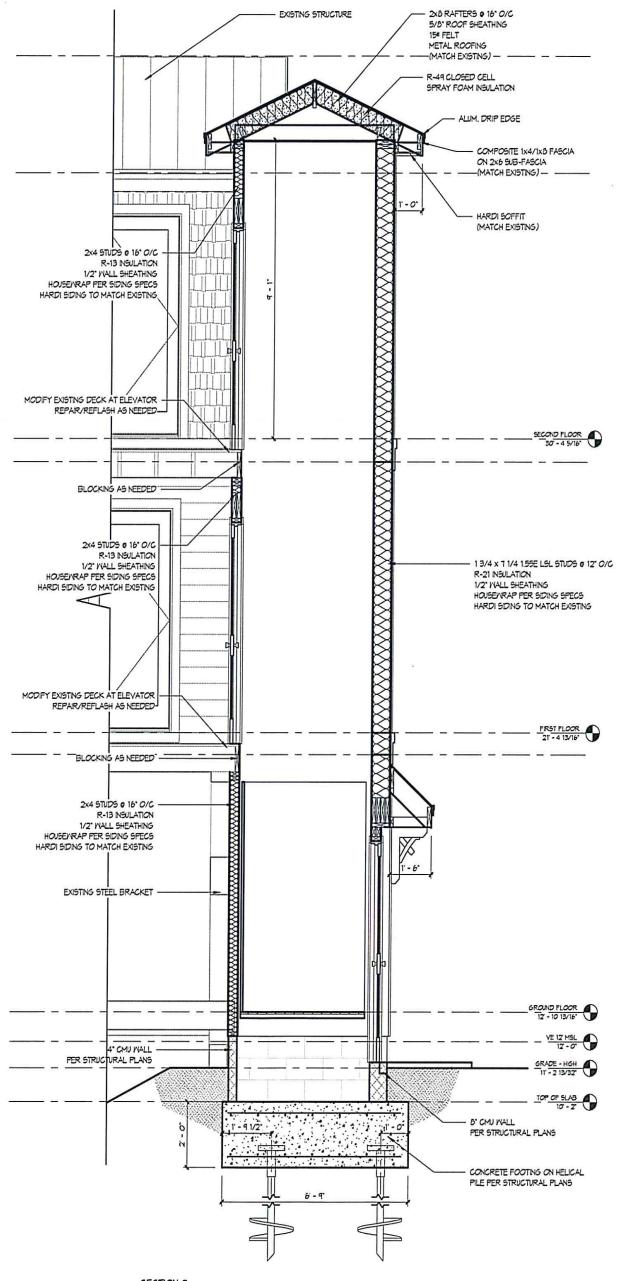
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N. KULDING, S.E.
No. 100-155
PROFESSIONAL ENGINEER

DSN DRW CHKD
DDW DDW BB
SCALE: 1/4" = 1'-0"
JOB NO. e25031
ISSUE DATE: 12.08.2025
ELEVATIONS
A301



BANMI | EB RENOVATION

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TAX PARCEL #1-34-17.20-156.00

CL ELEMENT
115 w market street, 2nd floor
levee, de 199581
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DSN	DRW	CHRD
DDW	DDW	BB
SCALE:	1/2" = 1'-0"	
JOB No.	e25031	
ISSUE DATE:	12.08.2025	
<u>A401</u>		

SECTIONS

STRUCTURAL NOTES

STRUCTURAL DESIGN CRITERIA

1. DESIGN LOADS ARE IN ACCORDANCE WITHIRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.

DEAD LOAD	
ROOF	20 PSF
FLOOR	20 PSF
LIVE LOAD	
FLOOR	40 PSF

2. BUILDING OCCUPANCY CATEGORY

3. SNOW LOADING:	
GROUND SNOW LOAD	20 PSF
FLAT-ROOF SNOW LOAD	20 PSF

4. WIND LOADING:	
BASIC WIND SPEED (3 SEC GUST)	10 MPH

EXPOSURE CATEGORY C

FOUNDATION

1. THE ASSUMED NET ALLOWABLE SOIL BEARING CAPACITY IS 1200 PSF UNLESS NOTED OTHERWISE. SOIL BEARING PRESSURE SHALL BE VERIFIED AT THE TIME OF EXCAVATION AND THE STRUCTURAL DESIGNER SHALL BE NOTIFIED IF THE ACTUAL BEARING PRESSURE IS LESS THAN THE DESIGN PRESSURE.

2. BOTTOM OF ALL FOOTINGS SUBJECT TO FREEZE/THAW CONDITIONS SHALL BE A MINIMUM OF TWO FEET BELOW FLOOR GRADE OR TOP OF SLAB ELEVATION, WHICHEVER IS LOWER.

3. FOUNDATION DESIGN IS BASED ON REMOVAL OF ALL ORGANIC MATERIAL AND/OR MATERIAL SUBJECT TO ROT OR CORROSION. BOTTOM OF FOOTING SUBGRADE IS TO BE BEARING ON SUITABLE NATURAL SOILS AND/OR COMPACTED STRUCTURAL FILL.

4. COMPACTED STRUCTURAL FILL BENEATH ALL SLABS ON GRADE, FOUNDATIONS AND ADJACENT TO FOUNDATION WALLS SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

5. MANTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT PONDING OF SURFACE RUNOFF NEAR THE SURFACES.

6. FOUNDATION WATERPROOFING TO BE (1) COAT OF SPRAY APPLICATION (60 MILS THICK) OF TUFF-DRY POLYMER ENHANCED ASPHALT LIQUID APPLIED MEMBRANE OR EQUAL.

HELICAL PILES

1. HELICAL SCREEN PILES SHALL BE MANUFACTURED BY THE AB, CHANCE CO, OR APPROVED EQUAL.

2. PILES SHALL BE INSTALLED BY THE MANUFACTURER'S AUTHORIZED INSTALLATION CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE INSTALLATION TECHNIQUES.

3. ALL HELICAL PILES SHALL BE HOT-DIP GALVANIZED.

4. INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.

5. HELICAL PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.

6. APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE MINIMUM SAFETY FACTOR IS 2.0.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318, MOST RECENT EDITION.

2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI FOR ALL FOUNDATIONS AND PERS AND 4000 PSI FOR ALL SLABS. SLUMP AT TIME OF PLACEMENT SHALL BE MIN 3 INCHES AND MAXIMUM 5 INCHES.

3. ALL CONCRETE EXPOSED TO THE EXTERIOR SHALL BE AIR-ENTRAINED (6 ± 1%).

4. DO NOT PLACE CONCRETE AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.

5. REINFORCING BARS SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. LAP ALL BARS MIN. 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

6. WELDED WIRE FABRIC SHALL BE ASTM A106 AND/OR ASTM A475 AND MIN. GRADE 40. IT SHALL BE PROVIDED IN FLAT SHEETS AND LAPPED A MIN. OF 6 INCHES.

7. CONTROL JOINTS IN SLABS ON GRADE SHALL BE LOCATED AT MAX 10'-0" O.C. PANELS SHALL BE SQUARE AS POSSIBLE. LENGTH SHOULD NOT EXCEED 1.5 TIMES THE WIDTH.

MASONRY

1. ALL MASONRY SHALL CONFORM TO ACI 530, LATEST EDITION.

2. ALL CONCRETE MASONRY UNITS SHALL BE ASTM C40, GRADE N, TYPE I STANDARD WEIGHT BLOCKS.

3. ALL MORTAR SHALL BE ASTM C20/25 TYPE M OR S WITH A MIN. COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS.

4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C475 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. CMU CORES TO BE GROUTED AS INDICATED PER PLANS AND DETAILS.

FRAMING NOTES

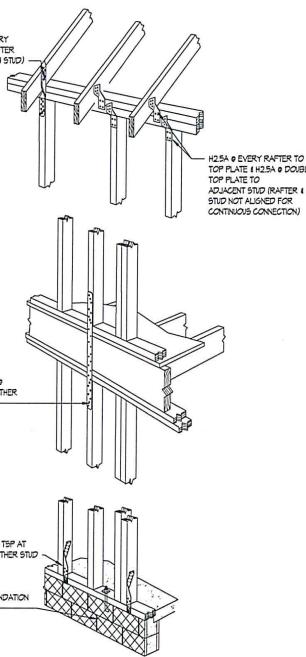
1. DESIGN LOADS ARE IN ACCORDANCE WITHIRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.
2. ALL SAWN LUMBER MEMBERS SHALL BE 2x8 PT (F= 675 psi, Fv = 155 psi, AND E = 1400 MN/m OR BETTER).
3. ALL LVL BEAMS OR Headers SHALL BE GRADE 2x6 MICROLAM LVL (F= 2000 psi, Fv = 205 psi, AND E = 2x 10'6 psi OR BETTER).
4. PSL COLUMNS SHALL BE GRADE 1x6 PARALAM PSL (F= 200 psi, Fv = 545 psi, Fparallel = 2500 psi, Fv = 190, E = 1x 10'6 psi) OR BETTER.
5. PSL BEAMS SHALL BE GRADE 2x6 PARALAM PSL (F= 2400 psi, Fv = 210 psi, AND E = 2x 10'6 psi) OR BETTER.
6. ALL PSL BEAMS & COLUMNS USED FOR EXTERIOR CONSTRUCTION AND EXPOSED TO THE ELEMENTS SHALL BE PARALAM PLUS & SERVICE LEVEL 1 (INCLINED PSL INDICATED ON PLANS AS IN) OR APPROVED EQUAL (COLUMNS: F= 2000 psi, Fv = 305 psi, Fparallel = 2125 psi, Fv = 170 psi, AND E = 1.4x 10'6 psi; BEAMS: F= 215 psi, E = 1.65 x 10'6 psi).

7. ALL LVL MEMBERS USED IN EXTERIOR CONSTRUCTION ABOVE-GROUND APPLICATIONS (1/2 IN) SHALL BE SPECIFICALLY DESIGNATED AS TREATED AND FROM PACIFIC WOOD TECH OR EQUAL. IN THE FOLLOWING MATERIAL PROPERTIES (F= 2000 psi, Fv = 205 psi, E = 2000,000 psi) OR BETTER.
8. ALL EXTERIOR WALLS SHALL BE 2x 8 STUD UNO. AND ALL INTERIOR WALLS SHALL BE 2x 4 STUD UNO.
9. ALL EXTERIOR Headers TO BE MIN. (3) 2x 10 UNO. ALL INTERIOR Headers & INTERIOR LOAD BEARING WALLS TO BE MIN. (2) 2x 6 & 4x 4 UNO OR (3) 2x 6 & 4x 4 UNO.
10. ALL Headers AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:

OPENING	HEADER
1'-0" TO 4'-0"	(3) 2x 6
4'-0" TO 6'-0"	(2) 2x 6
6'-0" TO 9'-0"	(2) 2x 10

11. PROVIDE 2x 4 FLAT BLOCKING BETWEEN JOISTS WHERE PARALLEL WALLS LIE BETWEEN.
12. PROVIDE MIN DOUBLE FLOOR JOISTS UNDER BEARING WALLS RUNNING PARALLEL TO JOIST SYSTEM.
13. POST AND BLOCK GOLD BENEATH ALL POINT LOADS TO FOUNDATION OR SUPPORTING MEMBERS BELOW W/ MIN. (3) 2x 8 UNO. CROSS SECTION DIMENSIONS OF POST BELOW MUST BE EQUAL TO OR GREATER THAN POST ABOVE.
14. ALL POINT LOADS FROM STEEL LVL BEAMS INCLUDING RIDGE, HIP & VALLEY BEAMS SHALL BE SUPPORTED BY MINIMUM (2) 2x 4, OR GOLD COLUMNS AS SHOWN ON THE PLANS.
15. BALCONY FRAMES ALL TWO STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. GOLD HORIZONTAL BLOCKING IS REQUIRED BETWEEN STUDS AT MIDPOINT OR AT THREE POINTS FOR STUDS OVER 16'-0".
16. ALL FLOOR FRAMING MATERIAL IN DIRECT CONTACT WITH MASONRY WALLS AND/OR CONCRETE FLOOR SLABS SHALL BE PRESSURE TREATED MATERIAL AND ALL FASTERS USED SHALL BE COMPATIBLE WITH TREATMENT.
17. ALL DIMENSIONS ARE FROM TO FACE OF FRAMING AND FOUNDATION WALLS, UNLESS NOTED OTHERWISE.
18. INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
19. ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED AND DETAILED BY THE MANUFACTURER. INSTALLATION AND STIFFENING IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WRITTEN INSTRUCTIONS.
20. ALL CONSTRUCTION IN COASTAL FLOOD HAZARD ZONE AREAS TO MEET OR EXCEED THE REQUIREMENTS STATED IN FEMA TECHNICAL BULLETIN AND PER NFIP REGULATIONS.
21. PROVIDE MECHANICAL CONNECTORS AT ALL LOCATIONS WHERE THE RAFTERS ARE HANGING FROM THE ROOF BEAM. SIMPSON LU715/LU515 HANGERS OR EQUAL, INSTALLED PER MFR. SPECIFICATIONS AND FOR THE APPROPRIATE ALLOWABLE LOADS ARE ACCEPTABLE.
22. METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS (IE. CONSTRUCTION WITH PRESERVATIVE TREATED WOOD) SHALL BE IN ACCORDANCE WITHIRC R311.3 GUIDELINES FOR PRESERVATIVE-TREATED WOOD AND TABLE R301.2.3.

SEE NOTE 11 REGARDING ROOF FRAMING

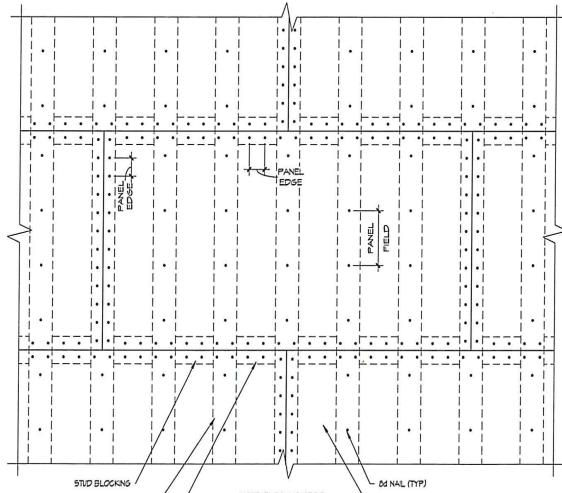


NOTES:

1. a. ROOF FRAMING SELECT ONE OF TWO OPTIONS TO RESIST UPLIFT: A. COLOR TRUSS-RAFER GRESTLY TO STUD B. CONNECT TRUSS-RAFTER TO TOP PLATE TO STUD PLATE TO STUD.
2. AS AN ALTERNATIVE TO THE FLOOR TO FLOOR STRAPPING ILLUSTRATED, CONTRACTOR MAY USE SHEATHING TO SPAN HORIZONTAL JOISTS. SHEATHING IS TO BE SPANNED OVER THE JOISTS AND ATTACHED TO FRAMING W/ 2D NAILS # 16 G.C. & PANEL EDGES 1 1/2 O.C. IN THE FIELD.
3. BLOCK STEEL BEAMS AS REQUIRED TO INSTALL STRAPPING.

HURRICANE STRAPPING DETAIL

1 1/2" = 1'-0"



② SHEAR WALL NAILING PATTERN

3/4" = 1'-0"

STRUCTURAL NOTES & DETAILS

REV.	DATE	REVISIONS	DESCRIPTION	BY

BANNILLER RENOVATION	6 SOUTH OCEAN DRIVE	SOUTH BETHANY, DELAWARE 19930
		TAX PARCEL #1-34-11-20-156-00

ELEMENT	115 w. market street, 2nd floor levee, de 19938 302.645.0777 www.elementdj.com
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DSN	DRW	CHKD
JK	JK	JK

SCALE	As indicated
JOB NO.	e25097

ISSUE DATE:	12.08.2025
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MARK	SEATHING	FASTENING
S1	1/2" STRUCTURAL 1 SEATHING, OR 1/2" OSB	5D NAILS @ 6" O.C. SPACINGS & PANEL EDGES @ 12" O.C. IN FIELD
S1Q	1/2" GYPSUM BOARD, BOTH SIDES, BLOCKED	5D COOLER NAILS @ 7 O.C. SPACINGS & PANEL EDGES (INC. TOP & BOTTOM PLATES); T.O. Q.C. IN FIELD

**ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE S1Q, UNLESS NOTED OTHERWISE

NOTES:

1. REFERENCE SHEAR WALL NAILING PATTERN DETAIL FOR ILLUSTRATION OF PANEL EDGE AND FIELD LOCATIONS.
2. ALL SHEATHING PANEL EDGES SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKS.

**ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE S1Q, UNLESS NOTED OTHERWISE

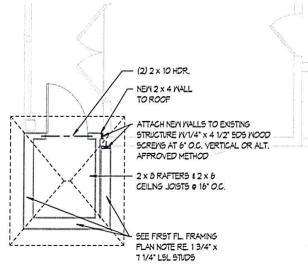
NOTES:

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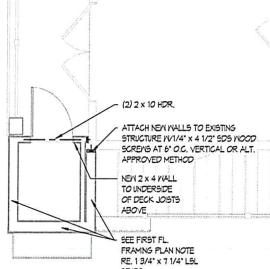
REV.	DATE	DESCRIPTION

BANNILLER RENOVATION	
6 SOUTH OCEAN DRIVE	
SOUTH BETHANY, DELAWARE 19930	
TAX PARCEL #1-34-11.20-156.00	



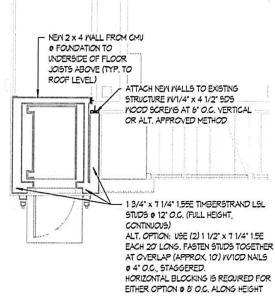
⑤ ROOF FRAMING PLAN

1/4" = 1'-0"



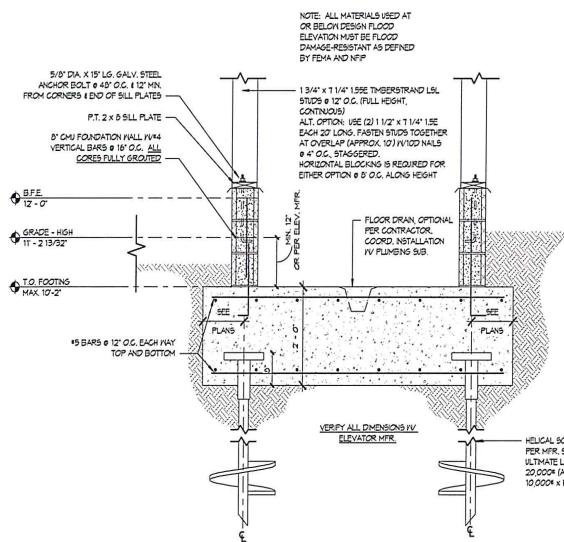
④ SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



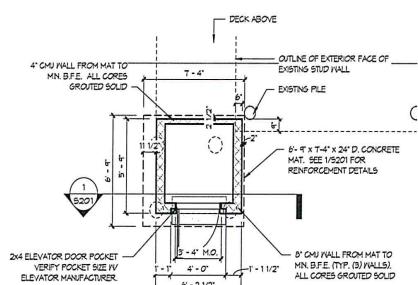
③ FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



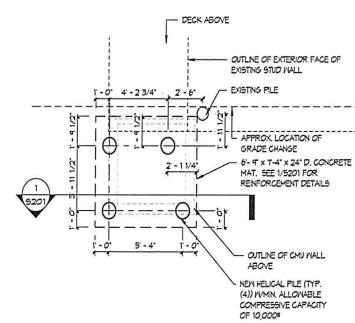
① ELEVATOR FOUNDATION DETAIL

3/4" = 1'-0"



② FOUNDATION PLAN

1/4" = 1'-0"



⑥ FILE LAYOUT PLAN

1/4" = 1'-0"

NOTES:
1. VERIFY EXISTING GAS LINE LOCATION.
RUN NEW LINE AS NEEDED.

ELEMENT	
115 W. Market Street, 2nd floor Lewes, DE 19958 302.645.0777 www.elementdg.com	



DSN	DRW	CHKD
JK	JK	JK
SCALE: As indicated		
JOB NO.	e25091	
ISSUE DATE:	12.08.2025	
5201		

Deed/Lease/Sales contract



Real Estate Property Detail

Parcel ID	134-17.20-156.00
Location	SOUTH BETHANY
Legal Description	SOUTH BETHANY OCEAN DR LOT 2 S 20'OF LOT 1 BLK 1
Owner as of July 1	BANMILLER PAETRUS F III
Customer ID	363271
Jurisdiction	INDIAN R
<u>Assessed Value</u>	\$4,184,500.00
Exemptions Value	\$0.00
<u>2025 Charges</u>	\$8,938.09

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Structure profile view document

BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930



1 FRONT LEFT VIEW

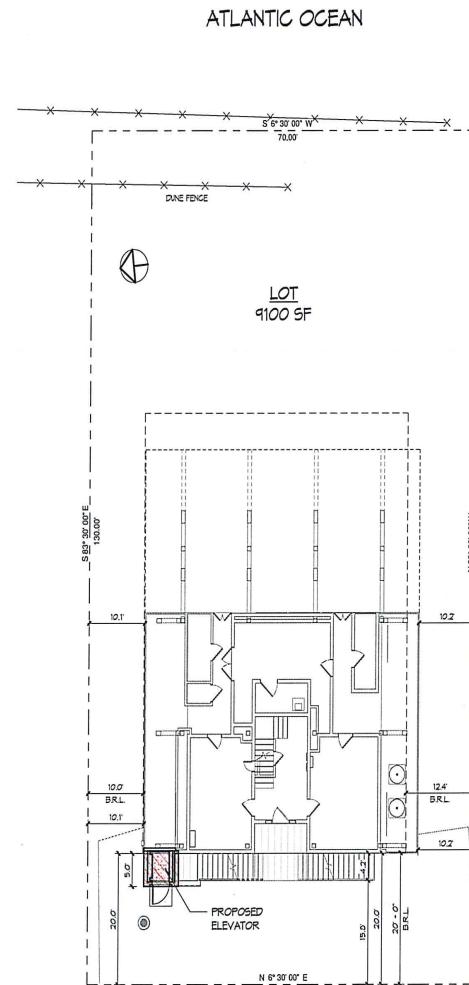


③ FRONT RIGHT VIEW

BUILDING CODE ANALYSIS DATA			
CODE OFFICIAL CONTACTS:	TOWN OF SOUTH BETHANY		
APPLICABLE CODES:	IRC 2021		
CONSTRUCTION TYPE:	V-B (SINGLE FAMILY HOME)		
BUILDING HEIGHT	PROPOSED NEW CONSTRUCTION: TO MATCH EXISTING HEIGHT		
BUILDING SETBACKS:	REQUIRED:	FRONT 15'	REAR N/A
	PROPOSED:	*PER APPROVED VARIANCE 11.07.25, FILED 11.13.25 SEE REFERENCE LETTER	

ARCHITECTURAL SITE PLAN NOTES:

1. THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE.
2. THIS SITE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT TO THE ARCHITECT. THIS SURVEY



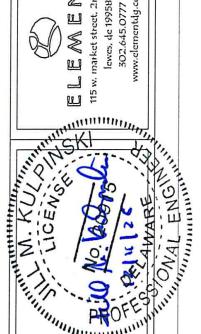
SOUTH OCEAN DRIVE

② SITE PLAT

SHEET LIST	
NO.	NAME
A001	COVERSHEET
A002	NOTES 1 SYMBOLS
A01	EXISTING/DEMO FLOOR PLANS 1 ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	SECTIONS
B001	STRUCTURAL NOTES 1 DETAILS
B201	FRAMING PLANS

COVERSHEET

BAN MILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930
TAX PARCEL #1-34-17-20-156-00



DSN	DRW	CHKD
DDW	DDW	BB
SCALE:	As indicated	
JOB No.	e25091	
ISSUE DATE:	12.08.2025	
<u>A001</u>		

CONSTRUCTION NOTES:

GENERAL:

- ALL EXTERIOR WALLS DIMENSIONED 7 1/4" U.N.O. AND ALL INTERIOR WALL DIMENSIONED 3 1/2" U.N.O.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN ACCORDANCE IV RC 314. CARBON MONOXIDE & SMOKE DETECTORS INSTALLED IN ACCORDANCE IV RC 315.

STAIR HANDRAILS:

- HANDRAILS SHALL PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 34" HEIGHT, MEASURED VERTICALLY TO THE SLOPED PLANE ADJOINING THE TREAD NOSE OF THE STAIR, AND A MAXIMUM OF 38".
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT OF STAIRS.
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND HANDRAIL.

GUARDS:

- LOCATE GUARDS ALONG ALL WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" ABOVE THE ADJACENT GRADE OR FLOOR BELOW.
- GUARDS SHALL BE MINIMUM OF 36" IN HEIGHT, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD RAIL HEIGHT THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.

FIRE PROTECTION:

- ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- FIRE SEPARATIONS FROM THE RESIDENCE AND ATTICS TO THE GARAGE SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- SEPARATIONS FROM ALL HABITABLE ROOMS ABOVE THE GARAGE SHALL HAVE MIN. 5/8" TYPE A GYPSUM BOARD.
- STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIREMENTS SHALL HAVE MIN. 1/2" GYPSUM BOARD.
- GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT IN THE SAME LOT SHALL HAVE MIN. 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE EXTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

FIREBLOCKING:

PROVIDE FIREBLOCKING IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS.
- VERTICALLY AT THE CEILING AND FLOOR LEVELS.
- HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STINGERS AT THE TOP AND BOTTOM OF THE RISE.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

FIREBLOCKING MATERIALS CAN INCLUDE:

- TWO INCH NOMINAL LUMBER.
- TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD.
- ONE-HALF INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT-BASED MILBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.

GENERAL NOTES

- THIS STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES SET FORTH BY THE AUTHORITY HAVING JURISDICTION. THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH RC 2021.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ONLY MOST RECENT SIGNED & SEALED PLANS SHALL BE USED FOR BIDDING CONSTRUCTION PURPOSES; IF IN DOUBT OF MOST RECENT PLAN SET, CONTACT ELEMENT DESIGN GROUP.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER AND ARCHITECT.
- THERE SHALL BE NO DEVIATION FROM CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO ALL GLAZING (BOTH SIDES) AND ALL HORIZONTAL AND VERTICAL SURFACES.
- PROVIDE ALL OEM MANUALS FOR ALL INSTALLED EQUIPMENT, FIXTURES, AND SYSTEMS TO OWNER.

PERMITTING AND APPROVALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, LICENSES, AND INSPECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER'S REVIEW REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR SHALL MEET WITH THE OWNER PRIOR TO START OF CONSTRUCTION ACTIVITIES.

EXISTING CONDITIONS GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE NEW WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, FLOOR TO FLOOR HEIGHTS, WINDOW LOCATIONS, WINDOW OPENINGS, AND ROOF PITCHES.
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR.
- THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, IRREGULAR SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
- COORDINATE PLANS FOR NEW CONSTRUCTION IV DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

DEMOLITION NOTES:

- ALL DASHED LINES INDICATE ITEMS TO BE REMOVED.
- GO TO EXECUTE ALL NEW DEMOLITION WORK.
- GO TO EXECUTE ALL CUT AND REPAIR WORK OF EXISTING CONSTRUCTION.
- LIMIT SELECT DEMOLITION TO THE LEAST AREA POSSIBLE TO ACCOMMODATE NEW WORK IN ORDER TO ELIMINATE EXCESSIVE PATCHING AND DAMAGE TO EXIST. FINISHES TO REMAIN.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE WORK TO MINIMIZE SELECT DEMOLITION. GO TO EXECUTE ALL CUT AND REPAIR.
- PROVIDE TEMPORARY BRACING AND SHORING FOR ANY INSECURE SECTIONS OF WALL CONSTRUCTION, FLOOR AND WALL FRAMING FOR SELECT DEMOLITION.
- NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT WITH THE DESIGN INTENT OF CONSTRUCTION DOCUMENTS.
- ALL PRIME CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER TERMINATION OF EXISTING UTILITIES AS REQUIRED BY THE PROPOSED CONSTRUCTION.
- GO TO PROVIDE PROTECTION OF EXISTING ELEMENTS THAT ARE TO REMAIN.

CONSTRUCTION BELOW FLOOD:

- CONTRACTOR TO VERIFY ALL LOCATIONS OF MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES. ALL MECHANICAL EQUIPMENT AND ELECTRICAL DEVICES SHALL BE ABOVE FLOOD.
- EXISTING UNTREATED WOOD STUD WALLS SHALL REMAIN. CONTRACTOR TO VERIFY INSULATION MATERIAL. WHERE APPLICABLE WALLS BELOW FLOORBOARD SHALL BE INSULATED IV CLOSED CELL SPRAY FOAM.
- CONTRACTOR TO VERIFY MATERIAL OF ALL INTERIOR FINISHES BELOW FLOOD. ALL INTERIOR FINISHES BELOW FLOOD SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO VERIFY MATERIAL OF EXTERIOR SHEATHING AND FINISHES BELOW FLOOD. ALL EXTERIOR SHEATHING AND FINISHES SHALL BE FLOOD RESISTANT.
- CONTRACTOR TO INSTALL NEW INSULATED FLOOD VENTS IN EXISTING WALLS PER DRAWING 2/5201.
- ALL NEW TRIM SHALL BE FLOOD RESISTANT.
- ALL NEW DOORS AND WINDOWS SHALL BE FLOOD RESISTANT.

SYMBOLS

SYMBOL	DESCRIPTION
	SECTION CUT - INDICATES SECTION OR DETAIL NUMBER/SHEET NUMBER
	ELEVATION HEIGHT MARKER - INDICATES HEIGHT ABOVE FINISH FLOOR & OBJECT
	DRAWING BREAK LINE
	CENTERLINE
	ROOM LABEL
	NORTH ARROW
	WINDOW TAG
	SMOKE DETECTOR, COMBINED CARBON MONOXIDE DETECTOR WHERE READ BY CODE.
(X) XXXX (TRANSOM)	DOOR CALL OUT: (No. OF UNITS) X-X X-X-X (SIZE) ABR. (TYPE)
(X) XXXX DOOR	(No. OF UNITS) X-X X-X-X (SIZE) ABR. (TYPE) EX. 3068 FR. 3'-0" WIDE X 6'-8" TALL FRENCH DOOR FR. FRENCH DOOR PKT. POCKET DOOR SLDR. SLIDING DOOR

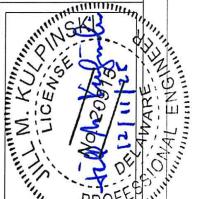
BANMILLER RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-17.20-159.00

ELEMENT
115 S. Market Street, 2nd Floor
Lewes, DE 19958
302.645.0777

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DSN	DRW	CHKD
DDW	DDW	BB
SCALE: As indicated		
JOB No. E25031		
ISSUE DATE: 12.08.2025		
A002		

NOTES & SYMBOLS



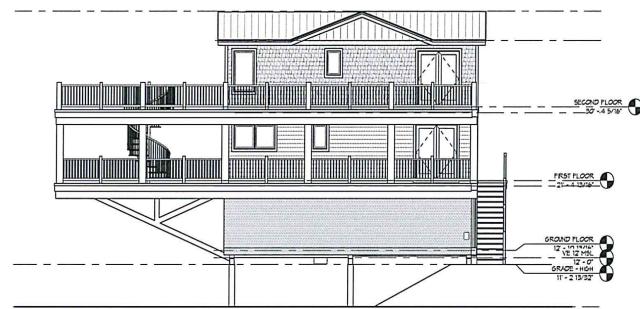
7 RIGHT SIDE ELEVATION (EXISTING/DEMO)

1/8" = 1'-0"



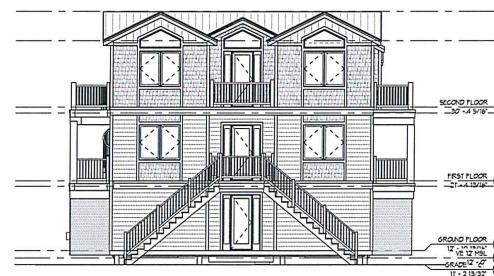
⑥ REAR ELEVATION (EXISTING/DEMO)

6 $1/8"$ = 1'-0"



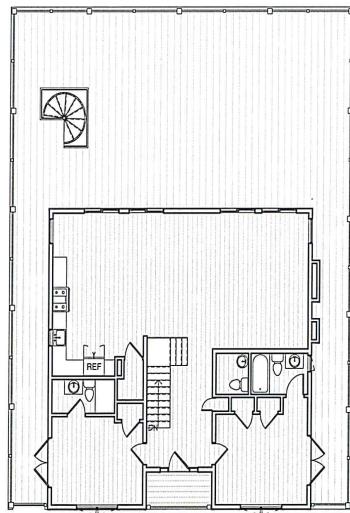
⑤ LEFT SIDE ELEVATION (EXISTING/DEMO)

5 $1/8'' = 1'-0''$



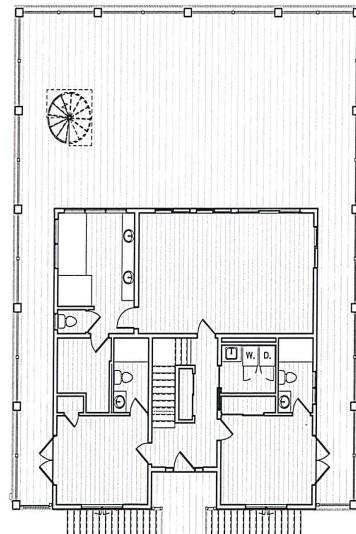
4 FRONT ELEVATION (EXISTING/DEMO)

$$4 \quad 1/8'' = 1'$$



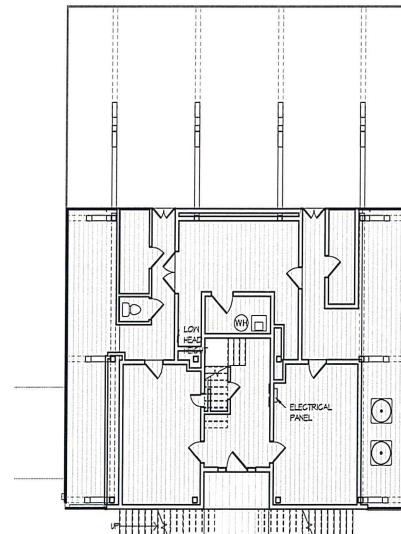
a) SECOND FLOOR (EXISTING/DEMO)

$$\textcircled{3} \quad \frac{52000 \text{ ft}}{1/B''} = 1' - 4$$



② FIRST FLOOR (EXISTING/DEMO)

② $\frac{1}{8}'' = 1'$



① GROUND FLOOR (EXISTING/DEMO)

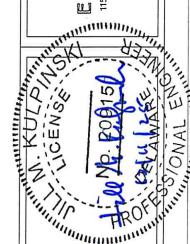
$$\frac{1}{8} = 1$$

BANMI | ER RENOVATION

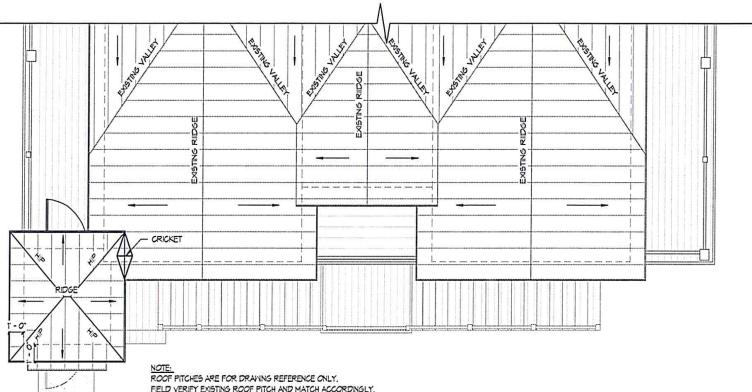
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-17.20-156.00

TAX PARCEL #1-34-17.20-156.00

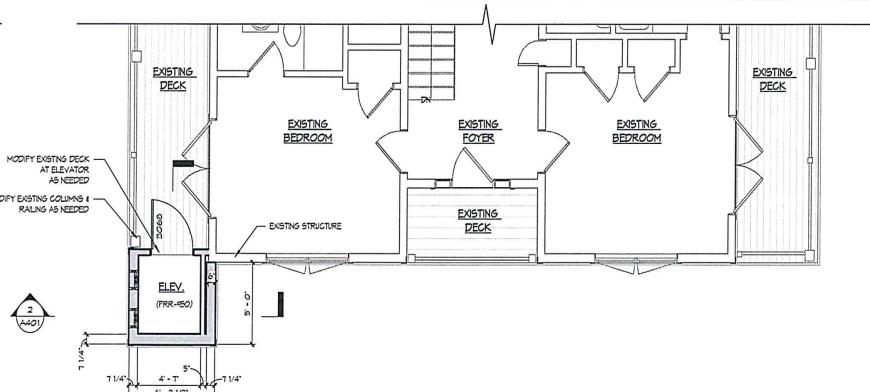


DSN	DRW	CHKD
DDW	DDW	BB
SCALE:		1/8" = 1'-0"
JOB NO.		e25031
ISSUE DATE:		12.08.2025
		A101

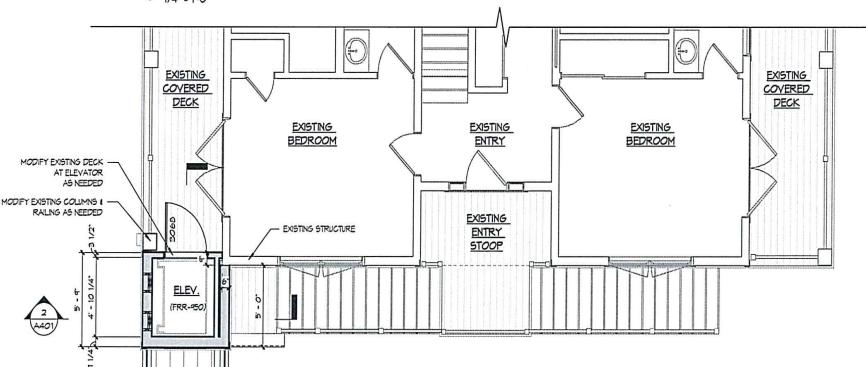


④ ROOF PLAN (PROPOSED)

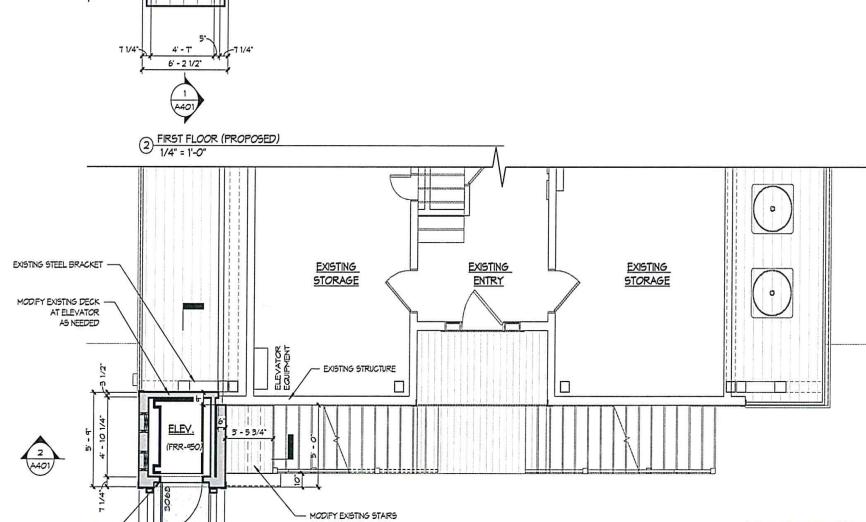
NOTE:
ROOF PITCHES ARE FOR DRAWING REFERENCE ONLY.
FIELD VERIFY EXISTING ROOF PITCH AND MATCH ACCORDINGLY.
NEW ELEVATOR ROOF NOT TO EXCEED EXISTING ROOF HEIGHT.



③ SECOND FLOOR (PROPOSED)
1/4" = 1'-0"



② FIRST FLOOR (PROPOSED)

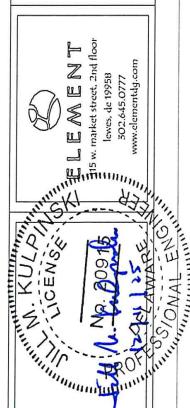


① GROUND FLOOR (PROPOSED)

244 ELEVATOR DOOR POCKET
VERIFY POCKET SIZE IV
ELEVATOR MANUFACTURER
4'-1" 5' 1 1/4" 1 1/4"
6'-2 1/2" NOTE
AND ADD NEW LANDING

A legend titled "PARTITION LEGEND:" with three entries: "EXISTING WALLS" (solid line), "DEMO WALLS" (dashed line), and "NEW WALLS" (thick grey line).

FLOOR PLANS

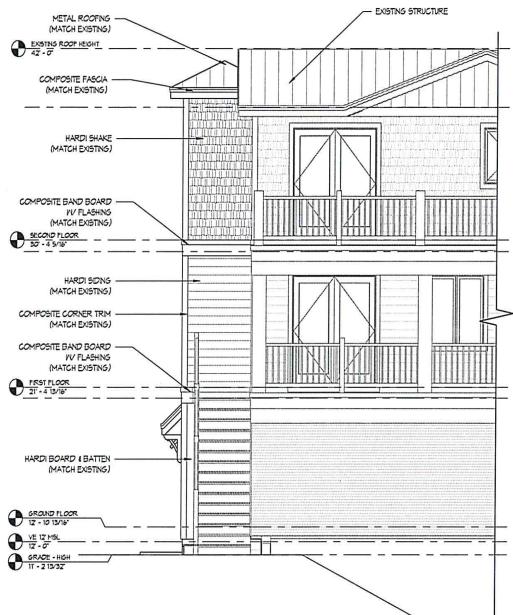


DSN	DRW	CHKD
DDW	DDW	BB
SCALE:	1/4" = 1'-0"	
JOB No.	e25031	
ISSUE DATE:	12.08.2025	
<u>A201</u>		

BANMI | FB RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

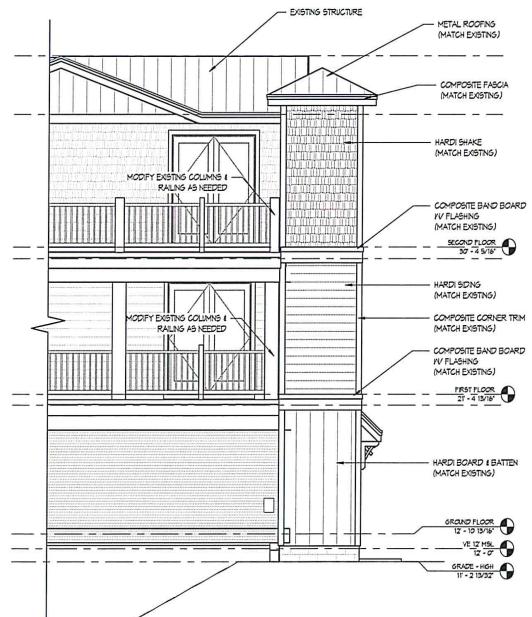
TAX PARCEL #1-34-17.20-156.00



④ RIGHT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



③ REAR ELEVATION (PROPOSED)
1/4" = 1'-0"



② LEFT SIDE ELEVATION (PROPOSED)
1/4" = 1'-0"



① FRONT ELEVATION (PROPOSED)
1/4" = 1'-0"

BANMILLER RENOVATION

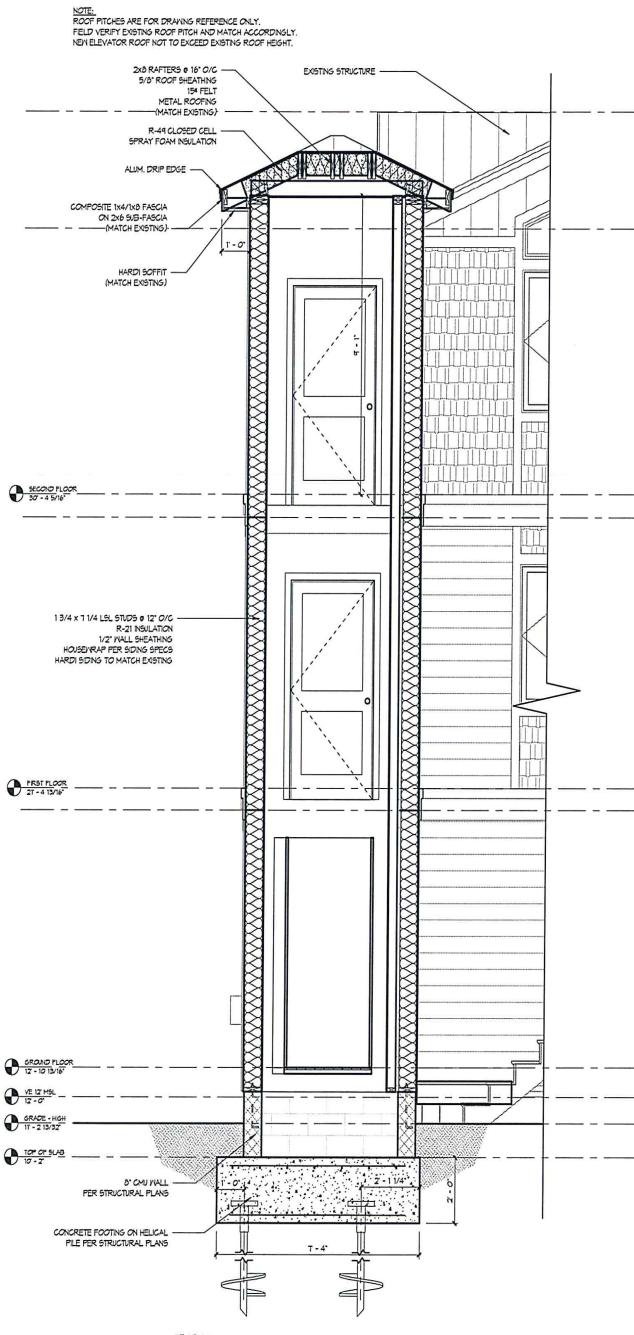
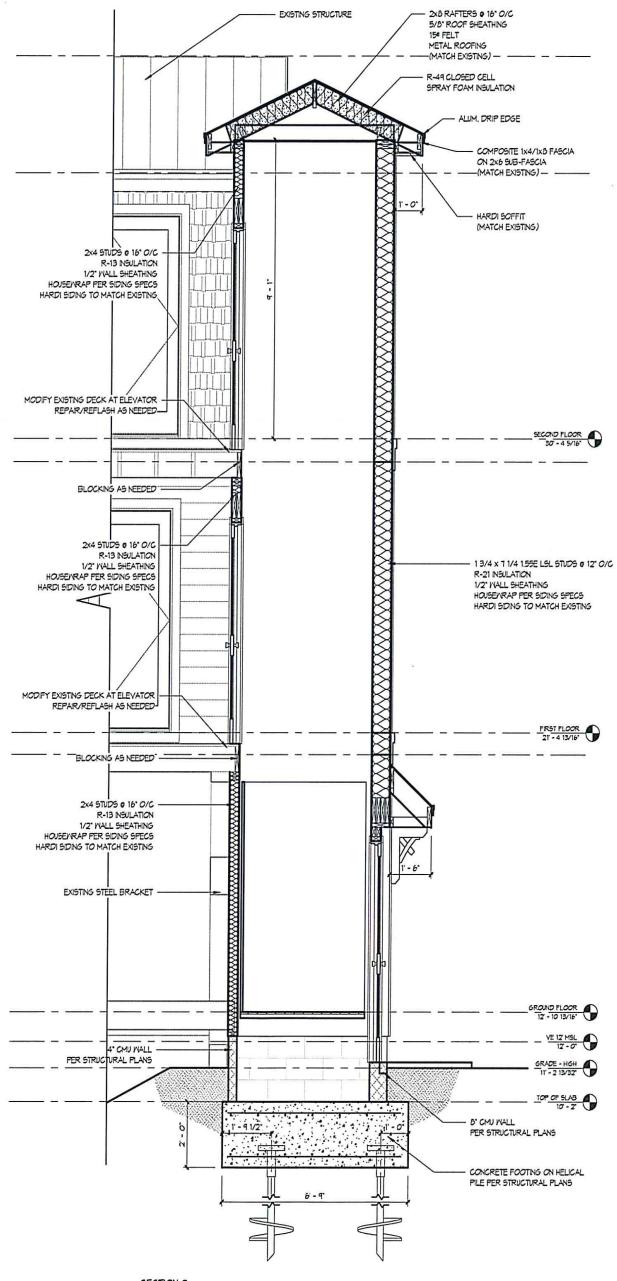
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-11.20-15.00

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Lewes, DE 19958
302.645.0777
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N. KULDING, S.E.
No. 100-155
PROFESSIONAL ENGINEER

DSN	DRW	CHKD
DDW	DDW	BB
SCALE: 1/4" = 1'-0"		
JOB NO. e25031		
ISSUE DATE: 12.08.2025		
ELEVATIONS		
A301		



BANMI | EB RENOVATION

6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-17.20-156.00

CL ELEMENT
115 w. market street, 2nd floor
levee, de 199581
362-645-0777
www.clementdg.com

A circular stamp with a dashed border. The text "KULPINSKI, TILL, & LICENSEE" is at the top, "DE LAVALIN" is at the bottom, and "PROFESSIONAL ENGINEERS" is on the right. In the center, it says "No. 801010" and has a handwritten signature "TILL" over it.

DSN	DRW	CHRD
DDW	DDW	BB
SCALE:	1/2" = 1'-0"	
JOB No.	e25031	
ISSUE DATE:	12.08.2025	
<u>A401</u>		

SECTIONS

STRUCTURAL NOTES

STRUCTURAL DESIGN CRITERIA

1. DESIGN LOADS ARE IN ACCORDANCE WITHIRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.

DEAD LOAD	
ROOF	20 PSF
FLOOR	20 PSF
LIVE LOAD	
FLOOR	40 PSF

2. BUILDING OCCUPANCY CATEGORY

3. SNOW LOADING:	
GROUND SNOW LOAD	20 PSF
FLAT-ROOF SNOW LOAD	20 PSF

4. WIND LOADING:	
BASIC WIND SPEED (3 SEC GUST)	10 MPH

EXPOSURE CATEGORY C

FOUNDATION

1. THE ASSUMED NET ALLOWABLE SOIL BEARING CAPACITY IS 1200 PSF UNLESS NOTED OTHERWISE. SOIL BEARING PRESSURE SHALL BE VERIFIED AT THE TIME OF EXCAVATION AND THE STRUCTURAL DESIGNER SHALL BE NOTIFIED IF THE ACTUAL BEARING PRESSURE IS LESS THAN THE DESIGN PRESSURE.

2. BOTTOM OF ALL FOOTINGS SUBJECT TO FREEZE/THAW CONDITIONS SHALL BE A MINIMUM OF TWO FEET BELOW FLOOR GRADE OR TOP OF SLAB ELEVATION, WHICHEVER IS LOWER.

3. FOUNDATION DESIGN IS BASED ON REMOVAL OF ALL ORGANIC MATERIAL AND/OR MATERIAL SUBJECT TO ROT OR CORROSION. BOTTOM OF FOOTING SUBGRADE IS TO BE BEARING ON SUITABLE NATURAL SOILS AND/OR COMPACTED STRUCTURAL FILL.

4. COMPACTED STRUCTURAL FILL BENEATH ALL SLABS ON GRADE, FOUNDATIONS AND ADJACENT TO FOUNDATION WALLS SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

5. MANTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT PONDING OF SURFACE RUNOFF NEAR THE SURFACES.

6. FOUNDATION WATERPROOFING TO BE (1) COAT OF SPRAY APPLICATION (60 MILS THICK) OF TUFF-DRY POLYMER ENHANCED ASPHALT LIQUID APPLIED MEMBRANE OR EQUAL.

HELICAL PILES

1. HELICAL SCREEN PILES SHALL BE MANUFACTURED BY THE AB, CHANCE CO, OR APPROVED EQUAL.

2. PILES SHALL BE INSTALLED BY THE MANUFACTURER'S AUTHORIZED INSTALLATION CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE INSTALLATION TECHNIQUES.

3. ALL HELICAL PILES SHALL BE HOT-DIP GALVANIZED.

4. INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.

5. HELICAL PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.

6. APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE MINIMUM SAFETY FACTOR IS 2.0.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318, MOST RECENT EDITION.

2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI FOR ALL FOUNDATIONS AND PERS AND 4000 PSI FOR ALL SLABS. SLUMP AT TIME OF PLACEMENT SHALL BE MIN 3 INCHES AND MAXIMUM 5 INCHES.

3. ALL CONCRETE EXPOSED TO THE EXTERIOR SHALL BE AIR-ENTRAINED (6 ± 1%).

4. DO NOT PLACE CONCRETE AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.

5. REINFORCING BARS SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. LAP ALL BARS MIN. 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

6. WELDED WIRE FABRIC SHALL BE ASTM A106 AND/OR ASTM A446 AND MIN. GRADE 40. IT SHALL BE PROVIDED IN FLAT SHEETS AND LAPPED A MIN. OF 6 INCHES.

7. CONTROL JOINTS IN SLABS ON GRADE SHALL BE LOCATED AT MAX 10'-0" O.C. PANELS SHALL BE SQUARE AS POSSIBLE. LENGTH SHOULD NOT EXCEED 1.5 TIMES THE WIDTH.

MASONRY

1. ALL MASONRY SHALL CONFORM TO ACI 530, LATEST EDITION.

2. ALL CONCRETE MASONRY UNITS SHALL BE ASTM C40, GRADE N, TYPE I STANDARD WEIGHT BLOCKS.

3. ALL MORTAR SHALL BE ASTM C20/25 TYPE M OR S WITH A MIN. COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS.

4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C475 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. CMU CORES TO BE GROUTED AS INDICATED PER PLANS AND DETAILS.

FRAMING NOTES

1. DESIGN LOADS ARE IN ACCORDANCE WITHIRC 2021, ASCE 7-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.
2. ALL SAWN LUMBER MEMBERS SHALL BE 2x6 PT (F= 675 psi, Fv = 155 psi, AND E = 1400 MN/m OR BETTER).
3. ALL LVL BEAMS OR Headers SHALL BE GRADE 2x6 MICROLAM LVL (F= 2000 psi, Fv = 205 psi, AND E = 2x10⁶ psi OR BETTER).
4. PSL COLUMNS SHALL BE GRADE 1x6 PARALAM PSL (F_{script} = 545 psi, F_{script}parallel = 2500 psi, Fv = 190, E = 1x10⁶ psi) OR BETTER.
5. PSL BEAMS SHALL BE GRADE 2x6 PARALAM PSL (F= 2400 psi, Fv = 210 psi, AND E = 2x10⁶ psi) OR BETTER.
6. ALL PSL BEAMS & COLUMNS USED FOR EXTERIOR CONSTRUCTION AND EXPOSED TO THE ELEMENTS SHALL BE PARALAM PLUS & SERVICE LEVEL 1 (INCLINED PSL INDICATED ON PLANS AS (N) OR APPROVED EQUAL (COLUMNS: F_{script} = 545 psi, F_{script}parallel = 1725 psi, Fv = 170 psi, AND E = 1.4x10⁶ psi; BEAMS: F= 215 psi, E = 1.65 x 10⁶ psi).

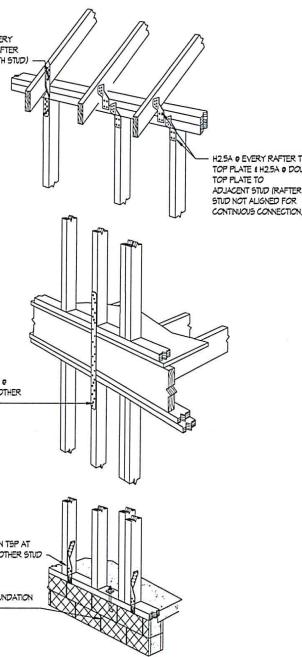
7. ALL LVL MEMBERS USED IN EXTERIOR CONSTRUCTION ABOVE-GROUND APPLICATIONS (N) SHALL BE SPECIFICALLY DESIGNATED AS TREATED AND FROM PACIFIC WOOD TECH OR EQUAL. IN THE FOLLOWING MATERIAL PROPERTIES (F = 2000 psi; Fv = 205 psi; E = 2000,000 psi) OR BETTER.
8. ALL EXTERIOR WALLS SHALL BE 2x4 STUD UNO. AND ALL INTERIOR WALLS SHALL BE 2x4 STUD UNO.
9. ALL EXTERIOR Headers TO BE MIN. (3) 2x10 UNO. ALL INTERIOR Headers & INTERIOR LOAD BEARING WALLS TO BE MIN. (2) 2x6 & 4x4 UNO OR (3) 2x6 & 4x4 UNO.
10. ALL Headers AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:

OPENING	HEADER
1'-0" TO 4'-0"	(3) 2x6
4'-0" TO 6'-0"	(2) 2x6
6'-0" TO 9'-0"	(2) 2x10

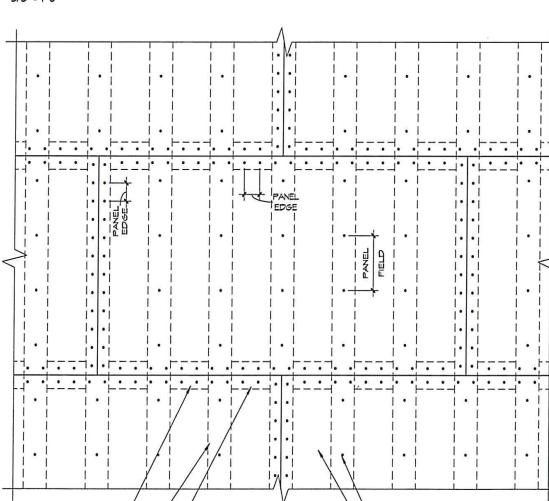
11. PROVIDE 2x4 FLAT BLOCKING BETWEEN JOISTS WHERE PARALLEL WALLS LIE BETWEEN.
12. PROVIDE MIN. DOUBLE FLOOR JOISTS UNDER BEARING WALLS RUNNING PARALLEL TO JOIST SYSTEM.
13. POST AND BLOCK GOLD BENEATH ALL POINT LOADS TO FOUNDATION OR SUPPORTING MEMBERS BELOW W/ MIN. (3) 2x6 UNO. CROSS SECTION DIMENSIONS OF POST BELOW MUST BE EQUAL TO OR GREATER THAN POST ABOVE.
14. ALL POINT LOADS FROM STEEL LVL BEAMS INCLUDING RIDGE, HIP & VALLEY BEAMS SHALL BE SUPPORTED BY MINIMUM (2) 2x4, OR GOLD COLUMNS AS SHOWN ON THE PLANS.
15. BALCONY FRAMES ALL TWO STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. GOLD HORIZONTAL BLOCKING IS REQUIRED BETWEEN STUDS AT MIDPOINT OR AT THREE POINTS FOR STUDS OVER 16'-0".
16. ALL FLOOR FRAMING MATERIAL IN DIRECT CONTACT WITH MASONRY WALLS AND/OR CONCRETE FLOOR SLABS SHALL BE PRESSURE TREATED MATERIAL AND ALL FASTERS USED SHALL BE COMPATIBLE WITH TREATMENT.
17. ALL DIMENSIONS ARE FROM TO FACE OF FRAMING AND FOUNDATION WALLS, UNLESS NOTED OTHERWISE.
18. INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
19. ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED AND DETAILED BY THE MANUFACTURER. INSTALLATION AND STIFFENING IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WRITTEN INSTRUCTIONS.
20. ALL CONSTRUCTION IN COASTAL FLOOD HAZARD ZONE AREAS TO MEET OR EXCEED THE REQUIREMENTS STATED IN FEMA TECHNICAL BULLETIN AND PER NFIP REGULATIONS.
21. PROVIDE MECHANICAL CONNECTORS AT ALL LOCATIONS WHERE THE RAFTERS ARE HANGING FROM THE ROOF BEAM. SIMPSON LU715/LU515 HANGERS OR EQUAL, INSTALLED PER MFR. SPECIFICATIONS AND FOR THE APPROPRIATE ALLOWABLE LOADS ARE ACCEPTABLE.
22. METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS (IE. CONSTRUCTION WITH PRESERVATIVE TREATED WOOD) SHALL BE IN ACCORDANCE WITHIRC R311.3 GUIDELINES FOR PRESERVATIVE-TREATED WOOD AND TABLE R301.2.3.

NOTES:
1. 1. ROOF FRAMING SELECT ONE OF TWO OPTIONS TO RESIST UPLIFT: A. COLOR TRUSS RAFTER GRESTED TO STUD B. CONNECT TRUSS RAFTER TO TOP PLATE TO PLATES TO STUD.
2. AS AN ALTERNATIVE TO THE FLOOR TO FLOOR STRAPPING ILLUSTRATED, CONTRACTOR MAY USE SHEATHING TO SPAN HORIZONTAL JOISTS. SHEATHING IS TO BE SPANNED OVER THE JOISTS AND ATTACHED TO FRAMING W/ 2D NAILS # 16 G.C. & PANEL EDGES 1 1/2 G.C. IN THE FIELD.
3. BLOCK STEEL BEAMS AS REQUIRED TO INSTALL STRAPPING.

SEE NOTE 11 REGARDING ROOF FRAMING



HURRICANE STRAPPING DETAIL



② SHEAR WALL NAILING PATTERN

STRUCTURAL NOTES & DETAILS
5001

MARK	SEATHING	FASTENING
S1	1/2" STRUCTURAL 1 SHEATHING, OR 1/2" OSB	5D NAILS @ 6" O.C. SPACINGS & PANEL EDGES @ 12" O.C. IN FIELD
S1Q	1/2" GYPSUM BOARD, BOTH SIDES	5D COOLER NAILS @ 7" O.C. SPACINGS & PANEL EDGES (INC. TOP & BOTTOM PLATES); T.O.C. IN FIELD

**ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE S1, UNLESS NOTED OTHERWISE

NOTES:
1. REFERENCE SHEAR WALL NAILING PATTERN DETAIL FOR ILLUSTRATION OF PANEL EDGE AND FIELD LOCATIONS.
2. ALL SHEATHING PANEL EDGES SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKS.

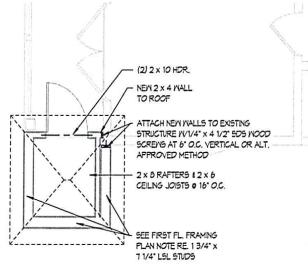
REV.	DATE	DESCRIPTION	BY

BANNILLER RENOVATION	6 SOUTH OCEAN DRIVE	SOUTH BETHANY, DELAWARE 19930
		TAX PARCEL #1-34-11-20-156-00

ELEMENT	115 w. market street, 2nd floor levee, de 19938 302.645.0777 www.elementdj.com
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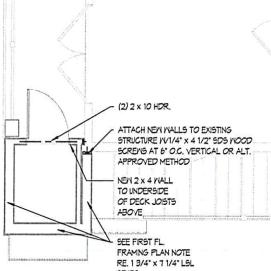


DSN	DRW	CHKD
JK	JK	JK
SCALE	As indicated	
JOB NO.	e25097	
ISSUE DATE:	12.08.2025	



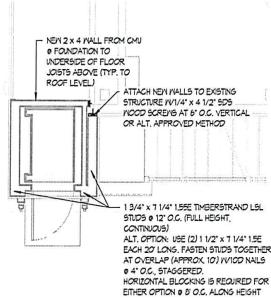
5 ROOF FRAMING PLAN
1/4" = 1'-0"

$$\frac{1}{4}^\circ = 1^\circ$$



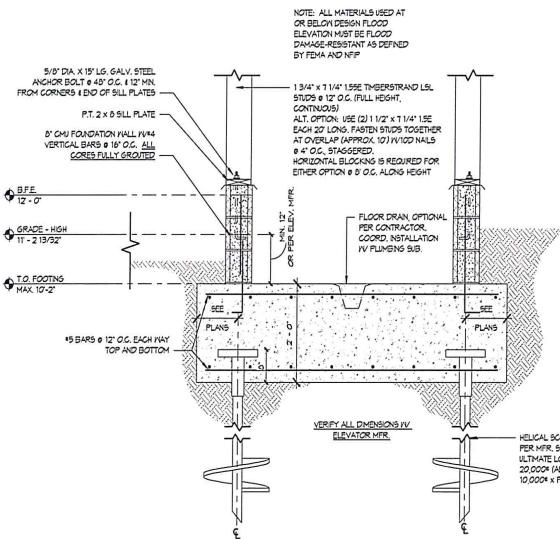
④ SECOND FLOOR FRAMING PLAN

$$4 \quad 1/4^\circ = 1'$$



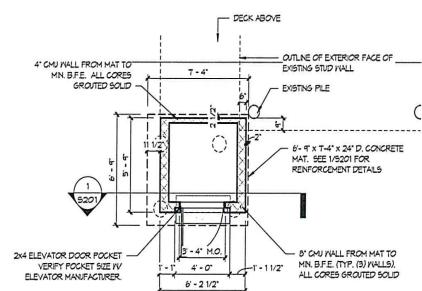
③ FIRST FLOOR FRAMING PLAN

$$\frac{3}{4} = 1$$



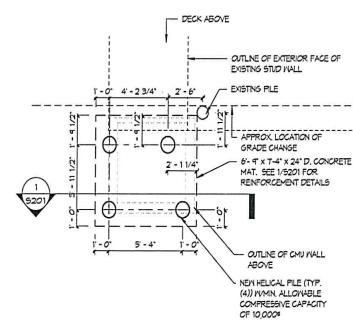
① ELEVATOR FOUNDATION DETAIL

$$\frac{3}{4}^\circ = 1'$$



② FOUNDATION PLAN

2 $\frac{1}{4}^\circ$ =



PILE LAYOUT PLAN

6 $\frac{1}{4}^{\circ}$ =

DSN	DRW	CHKD
JK	JK	JK
SCALE:	As indicated	
JOB NO.	e25031	
ISSUE DATE:	12.08.2025	
<u>S201</u>		

BANMILLER RENOVATION
6 SOUTH OCEAN DRIVE
SOUTH BETHANY, DELAWARE 19930

TAX PARCEL #1-34-17.20-156.00

5201

FRAMING PLANS

Adjacent property owners document



Lot 2

Parcel/Address: 134-17.20-156.00 / 6 S Ocean Drive

Owner: Paetrus F. Banmiller III

Mailing Address: 1200 Hunt Seat Drive, Gwynedd Township, PA 19002

Adjacent Properties:

Lot 7

Parcel/Address: 134-17.20-157.00 / 2 S Ocean Drive

Owner: Cathy Bernard Trustee

Mailing Address: 5532 Greystone Street, Chevy Chase, MD 20815

Lot 3

Parcel/Address: 134-17.00-145.00 / 8 S Ocean Drive

Owner: Scott M. and Terrie W. Mona

Mailing Address: 213 Duke of Gloucester Street, Annapolis, MD 21401

Lot 57

Parcel/ Address: 134-17.20-146.00 / 1 S 1st Street

Owner: DKC One South First LLC

Mailing Address: 479 Maple Road, Severna Park, MD 21146

Lot 62

Parce/Address: 134-17.20-155.00 / 2 N Division Street

Owner: Saylor Beach House LLC

Mailing Address: c/o David Saylor 721 Bothwell Lane, Keswick, VA 22947

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