



## SHORELINE AND WATERWAY MANAGEMENT SECTION Coastal Construction Application

Public Notice No. WSS20260150 Date: 04/29/2026  
Application Submitted: **04/01/2026**  
To Construct an Addition Bisecting the Building Line  
**Seastrand, in Sussex County, Delaware**

Tax Map # **334-20.10-38.00**

### Applicant Information

Name: Dion Lamb

Property Type: Residential: Single Family

### Activities:

- New construction
  - Additions outside of existing footprint : Landward
  - Additions within existing footprint : Seaward

### Site Work:

Will there be any lot clearing or excavation at the site?

**Yes**

Will any sand be removed from the site?

**No**

Will sand or fill be added to the site?

**No**

What will be the reason for placement of sand or fill?

How much sand will be added?

What will be the source of the sand/fill?

What method will be used to deposit the sand/fill?

Do you know who will be conducting the work?

Contractor Name

Contractor Phone number

### Landscaping:

Will there be any landscaping?

**No**

Will you bring in topsoil or mulch?

Are there any structures including irrigation systems proposed in your landscape design?

**No**

What type of structures being proposed?

### Other structure description:

### Flood Zone Information:

In which NFIP Flood Zone(s) is the property located?

**VE - Area of 100 -year flooding where wave action could reach above 3 feet**

In which NFIP Flood Zone(s) is the proposed construction taking place?

**VE - Area of 100 -year flooding where wave action could reach above 3 feet**

What is the Base Flood Elevation (NAVD88)?

**9**

What is the effective/revised date of the FIRM panel used for flood zone determination?

**03/06/2015**

Will any enclosures, such as entrances, storage areas, elevators, showers, skirting, utilities etc., be constructed below the first living floor?

**No**

Will any concrete, brick or asphalt be used? This could be for flooring, driveways, sidewalks, patios etc.

**Yes**

Where will the concrete, brick or asphalt be used?

**Landward of the building line**

### Dune Preservation Information:

What mitigating measures will be taken to prevent disturbance and damage to the dune during construction?

**Sand/silt Fence marking the location of the Building Line, Keeping all equipment personnel and supplies off the dune**

Other measure(s) description:

### Wetlands:

Will any work be occurring on regulated wetlands located on this lot?

**No**

### Septic:

Is there a septic system on the lot?

**No**

What is the Septic Permit # of the system (optional)?

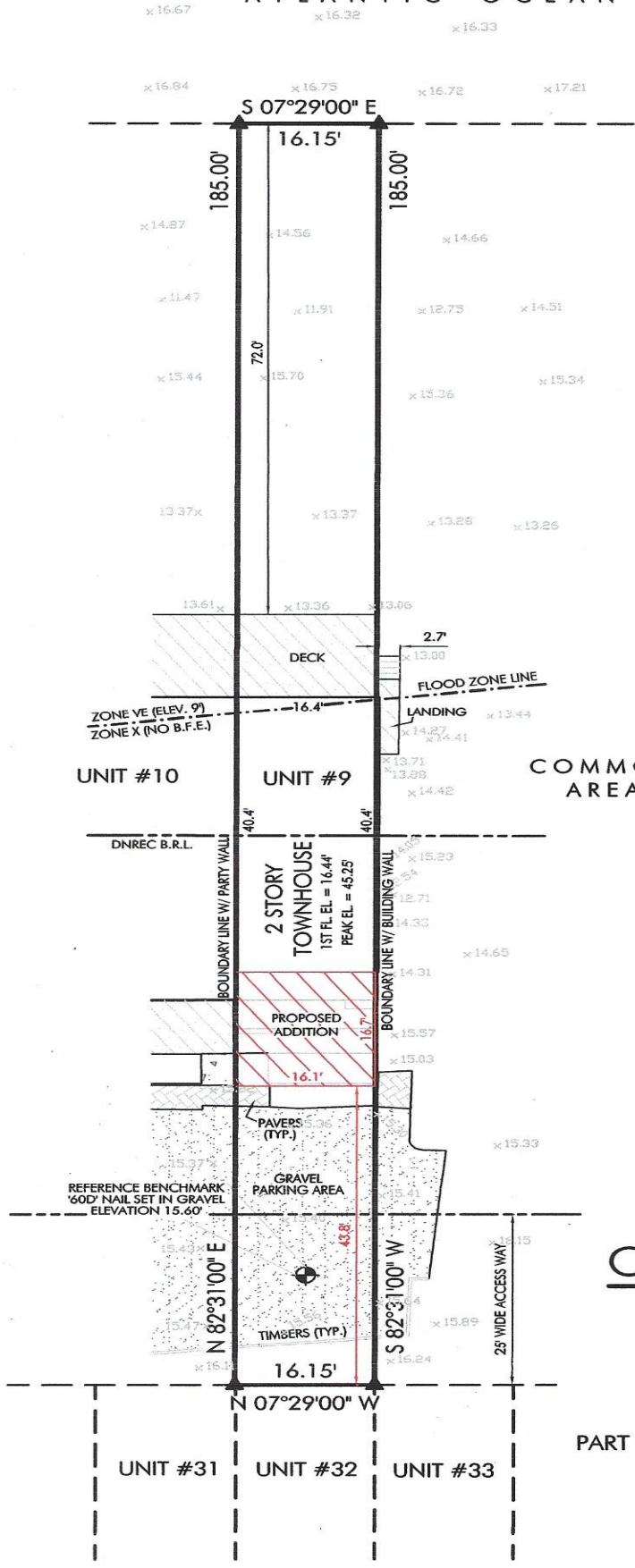
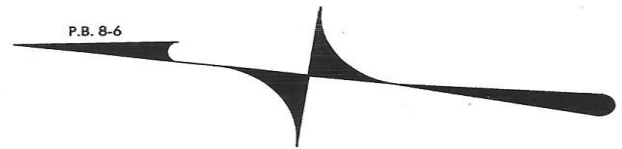
## **Structural survey plan document**

ATLANTIC OCEAN

**NOTES:**  
 ALL SETBACKS MUST BE VERIFIED BY THE OWNER, GENERAL CONTRACTOR AND/OR THE DESIGNER. PLEASE CONTACT THE TOWN OF DEWEY BEACH.  
 \*DRAWING REVISED ON 3/3/2026 TO SHOW PROPOSED CONDITIONS.  
 VERTICAL DATUM: NAVD (1988)  
 THIS PARCEL IS IN FLOOD ZONES: VE (ELEV. 9') & X (NO B.F.E.)  
 F.I.R.M. 10005C0354K JUNE 20, 2018  
 THIS DRAWING DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF WETLANDS, UTILITIES, RIGHT-OF-WAYS OR EASEMENTS IN REFERENCE TO OR LOCATED ON THIS PROPERTY.  
 NO TITLE SEARCH PROVIDED OR STIPULATED.  
 SURVEY CLASS: SUBURBAN

**LEGEND:**

- ▲ IRON ROD (SET)
- × 0.00 ELEVATION SPOT SHOT



**PROPOSED CONDITIONS SITE PLAN FOR ODEON DEVELOPEMENT LLC**

TOTAL AREA: 2,988 SQ. FT., 0.0686 ACRES

REFERENCE: PLAT BOOK 8 PAGE 6

DEED BOOK 6317 PAGE 147

9 SEASTRAND COURT

SEA-STRAND UNIT #9, BUILDING "B"

PART OF BLOCK #50 OF "REHOBOTH BY THE SEA" SUBDIVISION

TOWN OF DEWEY BEACH

LEWES & REHOBOTH HUNDRED SUSSEX COUNTY

STATE OF DELAWARE

JUNE 18, 2025\* SCALE: 1" = 20'

Prepared by:

**FORESIGHT** Services

Surveying & Precision Measurement

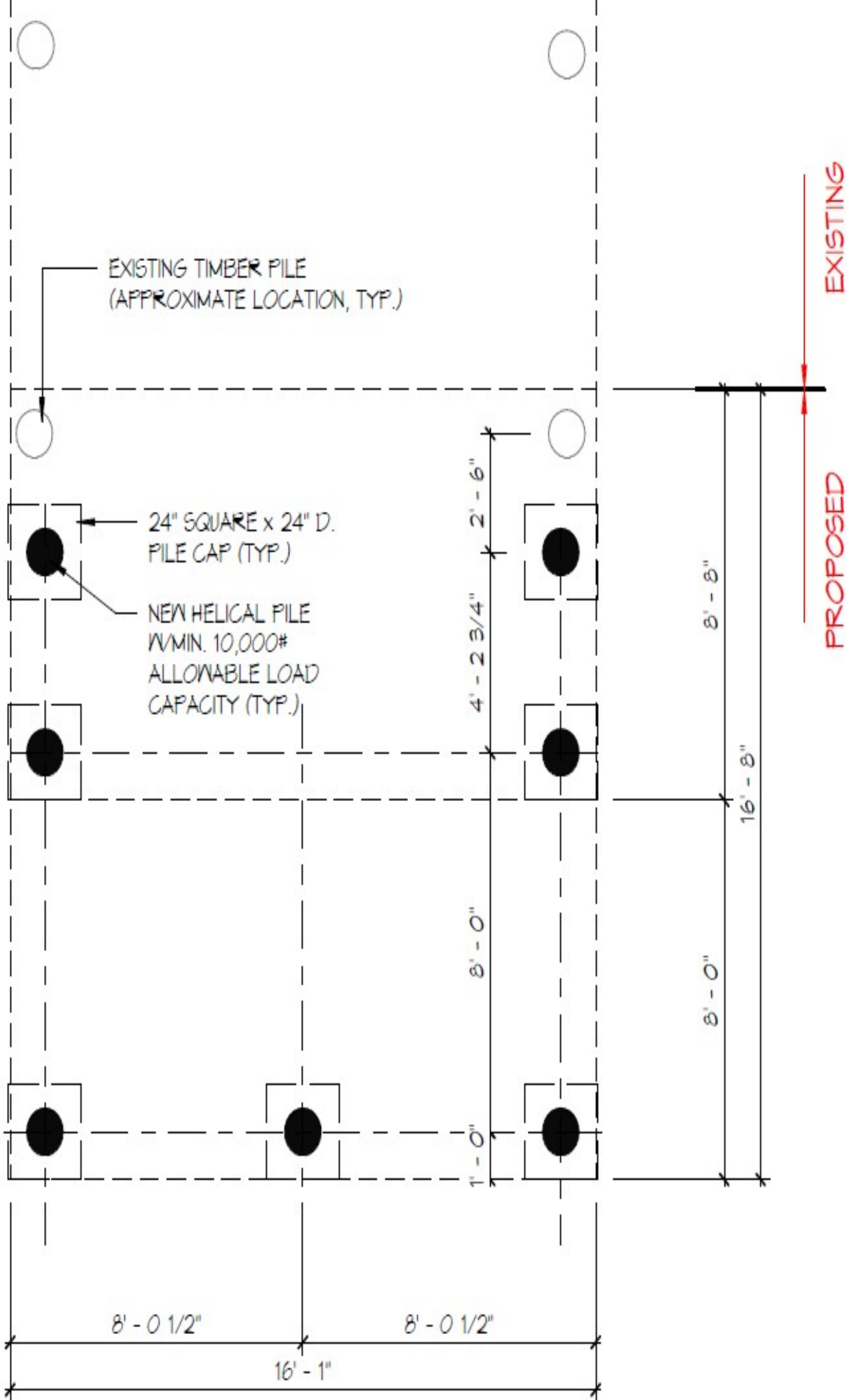
302 226 2229 phone

302 226 2239 fax

2103A Coastal Highway

Dewey Beach, DE 19971

## Foundation Pile/Layout Plan



**Deed/Lease/Sales contract**

TMP

334-20.10-3800-9

Prepared By & Return To:  
Geena George Esq  
232 Philadelphia Place  
Wilmington DE 19809

### QUITCLAIM BILL OF SALE

**THIS QUITCLAIM BILL OF SALE**, is made this 11 day of April, A.D. 2025, by and between **REHOBOTH-BY-THE-SEA REALTY COMPANY**, of 2400 Coastal Highway, Dewey Beach, DE 19971 (hereinafter referred to as "Seller")

- A N D -

**ODEON DEVELOPMENT LLC**, a Delaware limited liability company, with an address of 115 Christina Landing Drive, #308, Wilmington, Delaware 19801 (hereinafter referred to as "Purchaser").

**WITNESSETH**, that for and in consideration of the sum of **ONE MILLION SEVEN HUNDRED THOUSAND ONE HUNDRED DOLLARS (\$1,700,100.00)**, the receipt of which is hereby acknowledged, the Seller does sell to Purchaser, subject to a reversionary interest as set forth herein, all of its right, title and interest in and to certain personal property designated as Unit 9, Building B, Sea Strand, Dewey Beach, Delaware, which consists of a single-family attached dwelling (the "Unit"), being located on certain real property identified by Sussex County Tax Mapping as TMP: 3-34 20.10 38.00 (the "Real Property").

Purchaser acknowledges that it has had the opportunity to inspect the above-referenced Unit and accepts the Unit in an "AS IS", "WHERE IS" condition. Seller makes no representations or warranties, either express or implied, with respect to the condition of the Unit and Seller shall have no liability with respect to the Unit once possession is delivered to Purchaser.

Seller, however, warrants that this Bill of Sale conveys to the Purchaser of the Unit as to personal property that is conveyed free and clear of any liens and/or encumbrances, but subject to the reversionary interest of Seller, as set forth herein and in the ground lease for the Real Property to be executed simultaneously herewith by and between Seller, as Lessor, and Purchaser, as Lessee (the "Lease").

Notwithstanding, Seller obtained title to the Unit upon the termination of the original ground lease by and between Seller and William M. Haag and Lenora G. Haag (the "Original Lease"), as assigned to Robert Anthony Smith and Kathy Marie Smith (collectively referred to hereinafter as the "Assignees"). Seller agrees to indemnify and hold harmless the Purchaser, its affiliates and its respective officers, directors, employees, agents, successors and assigns (collectively referred to hereinafter as the "Indemnified Parties") from and against any and all losses, damages, liabilities, deficiencies, claims, actions, judgments, settlements, interest, awards, penalties, fines, costs, or expenses of whatever kind, including reasonable attorneys' fees, incurred by the Indemnified Parties in connection with any claim arising out of or resulting from the termination of the Original Lease by Seller. Seller covenants and agrees that the obligations contained herein shall survive final Closing and delivery of the Lease and this Bill of Sale.

As set forth in the Lease, upon the termination of the Lease, the Unit shall become the property of the Seller and Purchaser shall peaceably surrender possession of the Unit to Seller and shall have no further legal right, title or interest in or to the Unit.

Document # 2025000021322 BK: 6317 PG: 147  
On 6/13/2025 at 12:43:15 PM  
RECORDER OF DEEDS Alexandra Reed Baker  
Sussex County  
Consideration: \$1,700,100.00 County/Town: \$25,501.50  
State: \$42,502.50 Total: \$68,004.00 Doc Surcharge Paid



Accepted by:

  
\_\_\_\_\_  
Witness

**PURCHASER**

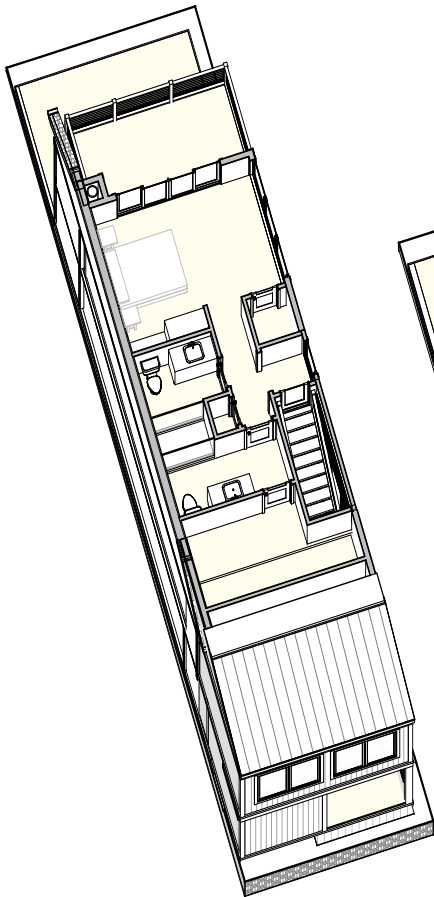
**ODEON DEVELOPMENT LLC**

By:  (SEAL)  
Gary Busacca, Member

## **Structure profile view document**

# ODEON RENOVATION

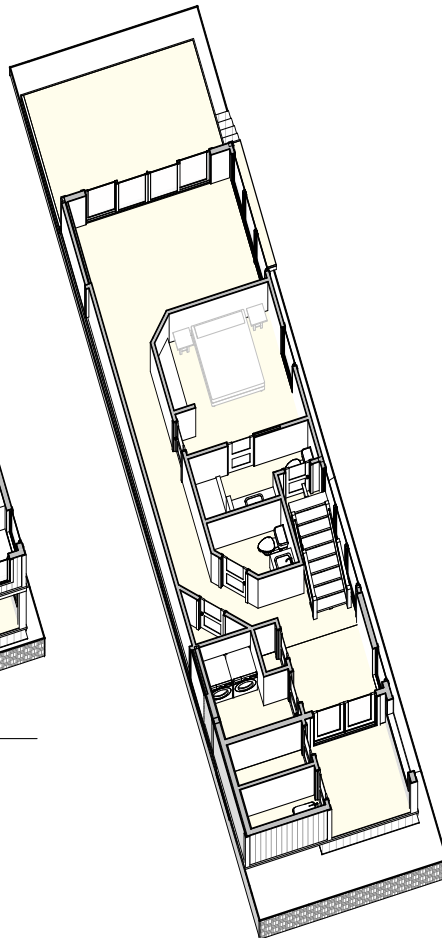
9 SEASTRAND COURT,  
DEWEY BEACH, DE 19971



③ AXON - THIRD FLOOR



② AXON - SECOND FLOOR



① AXON - FIRST FLOOR

### PROJECT CONTACTS

**ARCHITECT / STRUCTURAL ENGINEER**  
 COMPANY: ELEMENT DESIGN GROUP  
 CONTACT: BRENNON BIGGEL, AIA  
 ADDRESS: 115 WEST MARKET STREET  
 LINDS DE 19958  
 (302) 645-0771  
 EMAIL: BRENNON@ELEMENTDS.COM

### BUILDING CODE ANALYSIS DATA

CODE OFFICIAL CONTACTS:	TOWN OF DEWEY BEACH & SUSSEX COUNTY, DE
APPLICABLE CODES:	RC 2021/ ECG 2018
CONSTRUCTION TYPE:	V-B (SINGLE FAMILY HOME)
BUILDING HEIGHT:	MAXIMUM ALLOWABLE: 35'-0" FROM GRADE PROPOSED CONSTRUCTION: 24'-11" FROM GRADE (MATCH EXISTING)
FLOOR AREAS:	SEE AREA PLANS ON A002

### PROJECT INFORMATION

SITE ADDRESS	9 SEASTRAND COURT, DEWEY BEACH, DE 19971
TAX PARCEL:	# 334-20-10-38.00
JURISDICTION:	TOWN OF DEWEY BEACH
ZONING:	NR- NEIGHBORHOOD RESIDENTIAL
LOT SIZE:	2,928 SQ. FT.

### SHEET LIST

NO.	NAME
A001	COVERSHEET
A002	SITE & AREA PLANS
A101	EXISTING/DEMO FLOOR PLANS
A102	EXISTING/DEMO ELEVATIONS
A201	FLOOR & ROOF PLANS
A301	ELEVATIONS & WINDOW SCHEDULE
A401	SECTIONS & VIEWS
A402	SECTIONS
S201	NOTES & FLOOR LAYOUT PLAN
S202	FRAMING PLANS
S401	STRUCTURAL DETAILS

COVERSHEET

REV.	DATE	DESCRIPTION	BY

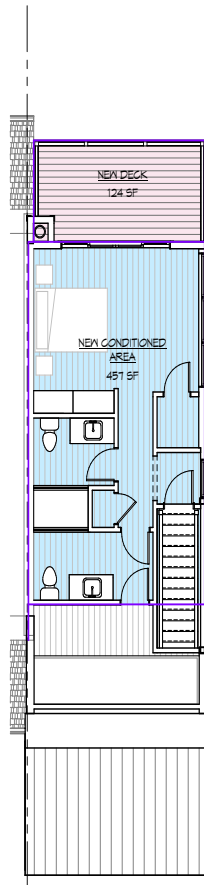
**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20-10-38.00

**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 LINDS, DE 19958  
 302.645.0777  
 WWW.ELEMENTDS.COM

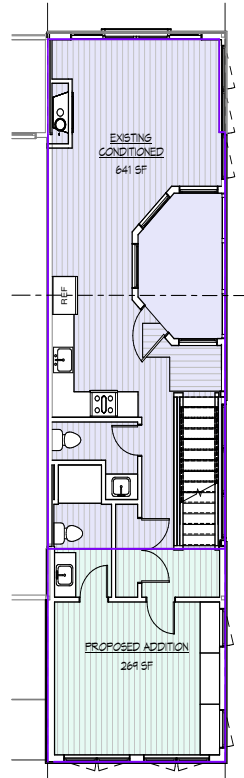
CD REVIEW  
 02-03-26

DSN	DRW	CHKD
DDW	DDW	BB
SCALE:	As Indicated	
JOB No.	e25062	
ISSUE DATE:		

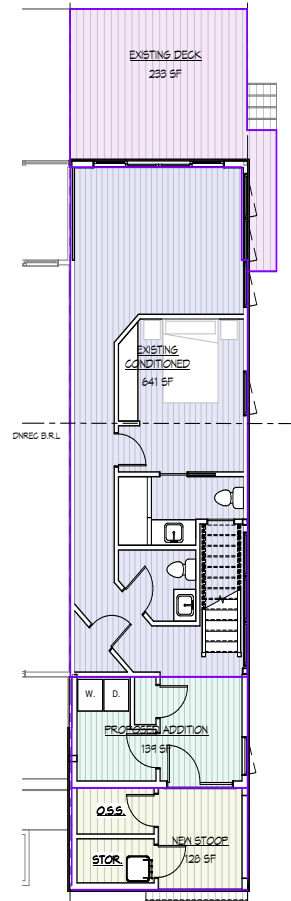
A001



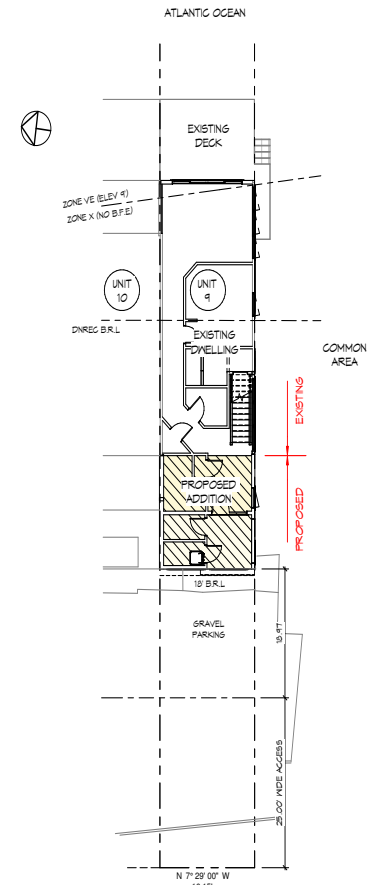
③ NEW THIRD FLOOR  
3/16" = 1'-0"



④ SECOND FLOOR  
3/16" = 1'-0"



⑤ FIRST FLOOR  
3/16" = 1'-0"



① SITE PLAN  
1" = 10'-0"

**ARCHITECTURAL SITE PLAN NOTES:**

1. THIS SITE PLAN IS FOR ARCHITECTURAL REFERENCE ONLY. THIS PLAN WAS NOT PREPARED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF DELAWARE.
2. THIS SITE PLAN IS BASED ON THE SURVEY PROVIDED BY THE CLIENT TO THE ARCHITECT. THIS SURVEY WAS CONDUCTED BY FORESIGHT SERVICES DATED JUNE 18, 2025.

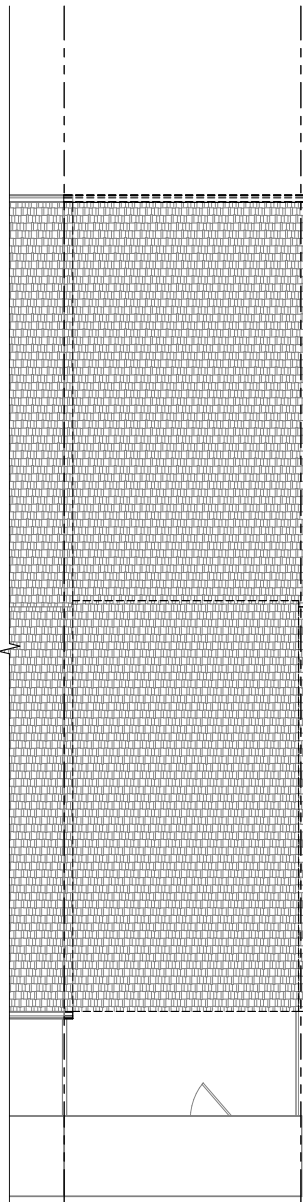
REV.	DATE	DESCRIPTION	BY

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19471  
 TAX PARCEL # 334-20.10-38.00

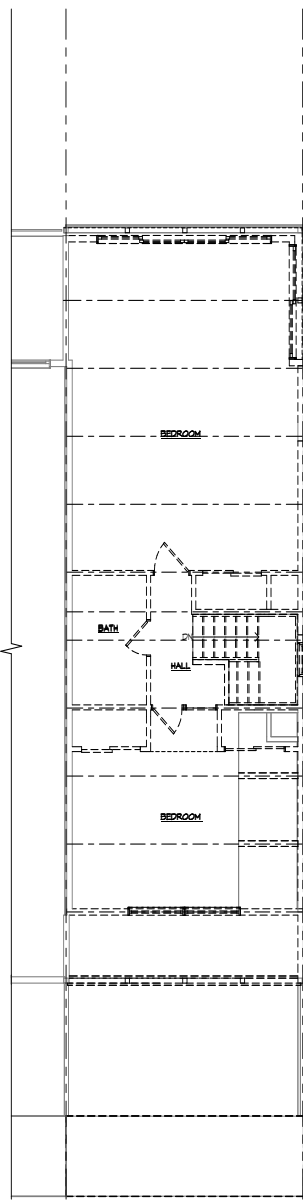
**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 DOWNTOWN DELEWARE  
 302.643.0777  
 www.elementd.com

**CD REVIEW**  
 02-03-26

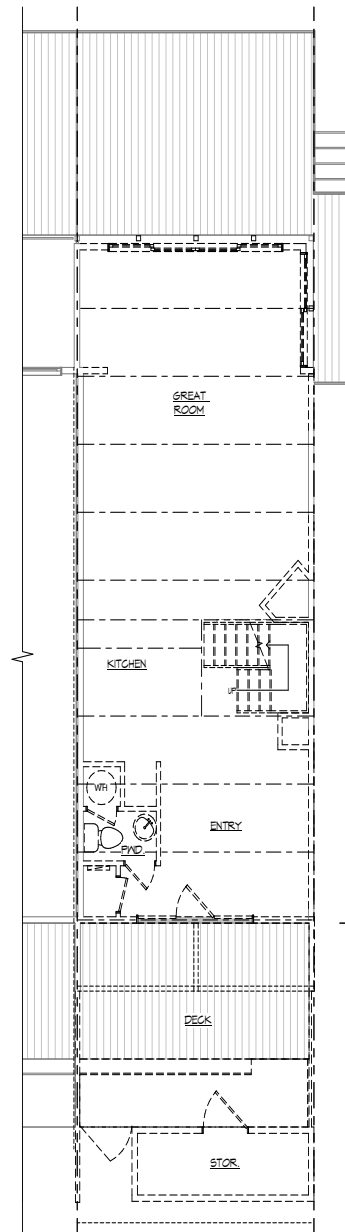
DSN	DRN	CHKD
Designer	Author	Checker
SCALE: As indicated		
JOB No. e25062		
ISSUE DATE:		



③ ROOF PLAN (EXISTING)  
1/4" = 1'-0"



② SECOND FLOOR (EXISTING/DEMO)  
1/4" = 1'-0"



① FIRST FLOOR (EXISTING/DEMO)  
1/4" = 1'-0"

**PARTITION LEGEND:**

	EXISTING WALLS
	DEMO WALLS
	NEW WALLS

EXISTING/DEMO FLOOR PLANS

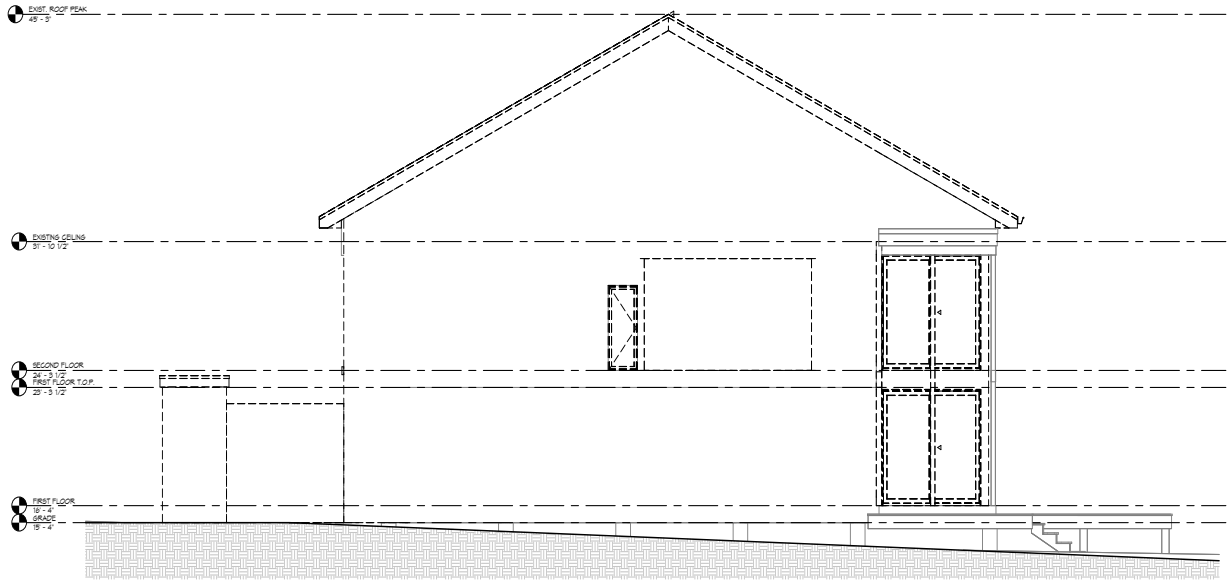
REV.	DATE	REVISIONS	DESCRIPTION	BY

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
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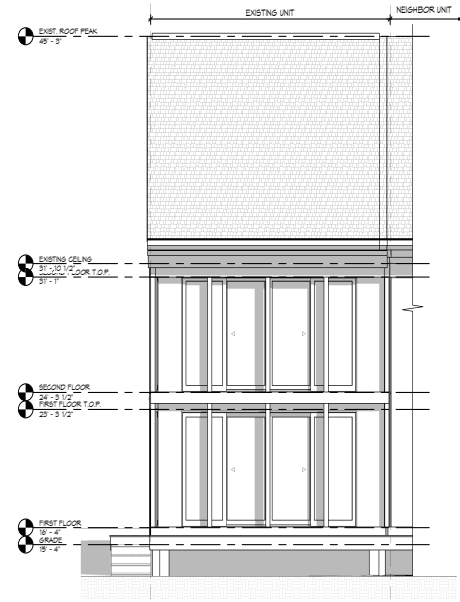
**ELEMENT**  
 115 W. MARKET STREET, 2nd floor  
 DEWEY, DE 19958  
 302.643.0777  
 www.elementid.com

**CD REVIEW**  
 02-03-26

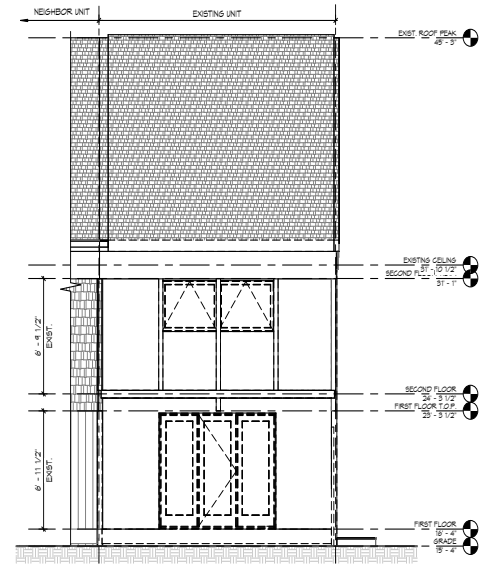
DSN	DRN	CHKD
DDN	DDN	BB
SCALE: 1/4" = 1'-0"		
JOB No. e25062		
ISSUE DATE:		



② RIGHT SIDE ELEVATION (EXISTING)  
1/4" = 1'-0"



③ REAR ELEVATION (EXISTING)  
1/4" = 1'-0"



① FRONT ELEVATION (EXISTING)  
1/4" = 1'-0"

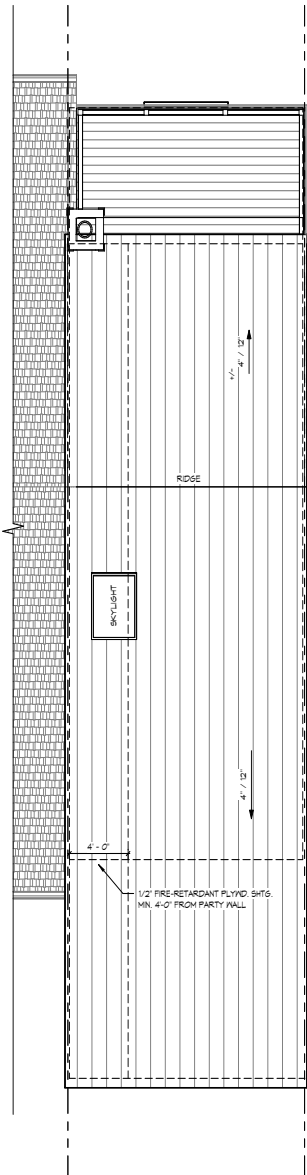
REV.	DATE	DESCRIPTION	BY

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20,10-38.00

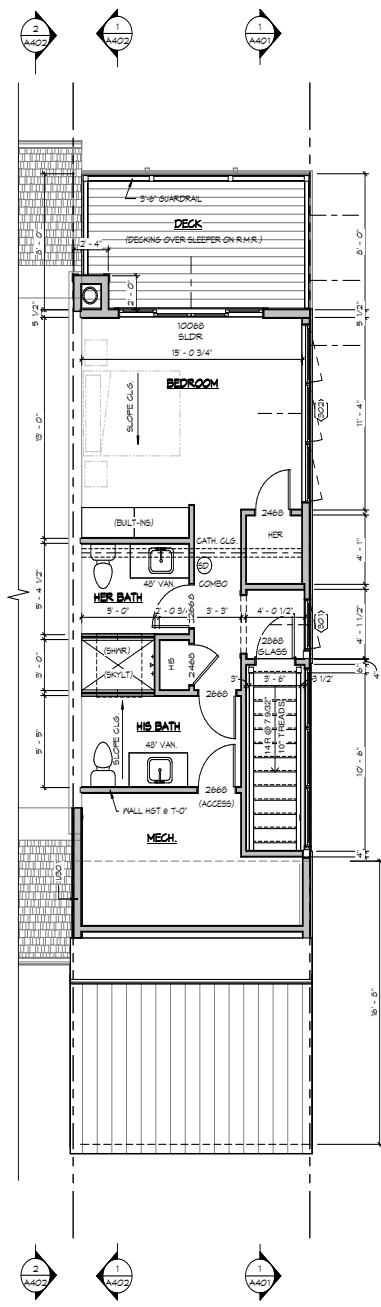
**ELEMENT**  
 115 W. MARKET STREET, 2nd floor  
 LOWES, DE 19958  
 302.643.0777  
 www.elementid.com

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 02-03-26

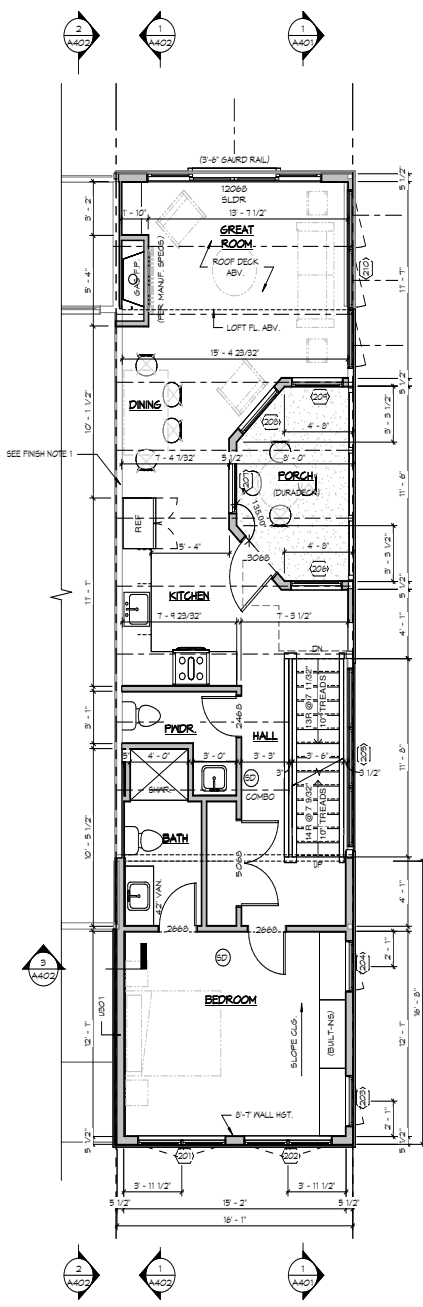
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SCALE: 1/4" = 1'-0"		
JOB No. e25062		
ISSUE DATE:		



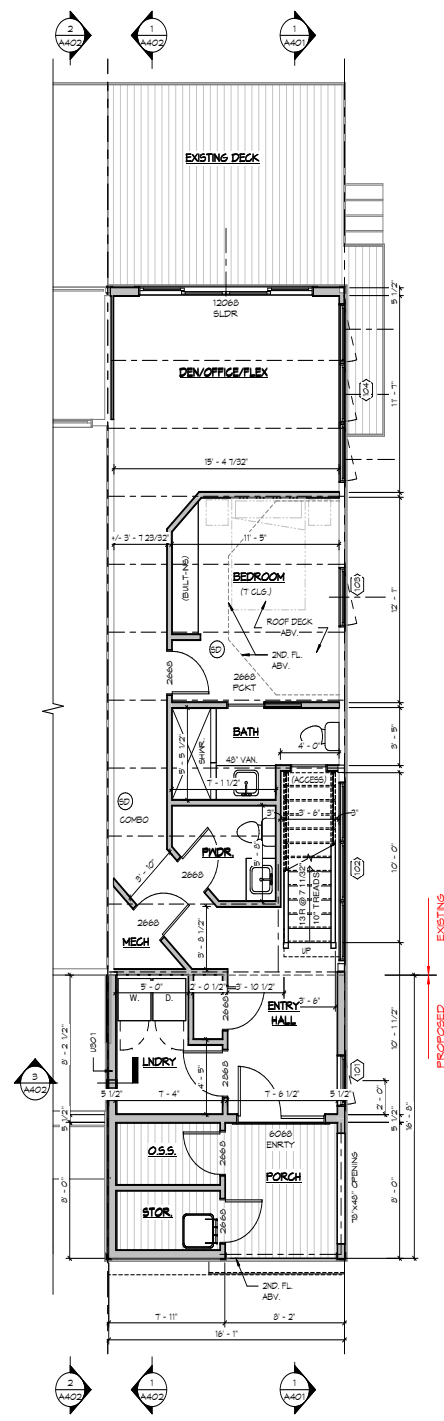
④ ROOF PLAN (PROPOSED)  
1/4" = 1'-0"



③ THIRD FLOOR (PROPOSED)  
1/4" = 1'-0"



③ SECOND FLOOR (PROPOSED)  
1/4" = 1'-0"



① FIRST FLOOR (PROPOSED)  
1/4" = 1'-0"

**PARTITION LEGEND:**

	EXISTING WALLS
	DEMO WALLS
	NEW WALLS

REV.	DATE	DESCRIPTION	BY

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20.10-38.00

**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 LOVES, DE 19958  
 302.643.0777  
 www.elementny.com

**CD REVIEW**  
 02-03-26

DSN	DRW	CHKD
DDW	DDW	BB
SCALE:		1/4" = 1'-0"
JOB No.		e25062
ISSUE DATE:		

**A201**

**FLOOR & ROOF PLANS**

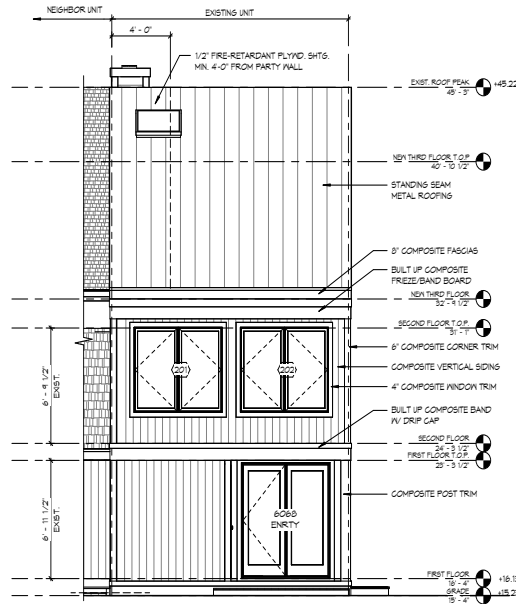
WINDOW SCHEDULE						
Mark	Operation	Width	Height	Head Height	Sill Height	Comments
101		3'-0"	6'-4"	6'-10"	0'-6"	TEMP.
102		10'-6"	6'-4"	6'-10"	0'-6"	TEMP.
103		3'-6"	6'-4"	6'-10"	0'-6"	EGRESS
104		10'-6"	6'-4"	6'-10"	0'-6"	3 WIDE TEMP.
201	GSMT	6'-0"	3'-0"	6'-10"	1'-10"	2 WIDE
202	GSMT	6'-0"	5'-0"	6'-10"	1'-10"	2 WIDE
203		3'-0"	5'-0"	6'-10"	1'-10"	
204		3'-0"	5'-0"	6'-10"	1'-10"	
205		10'-6"	6'-8"	6'-10"	0'-2"	3 WIDE TEMP.
205T		10'-6"	3'-0"	2'-2"	<0'-10"	3 WIDE
206		3'-6"	6'-4"	6'-10"	0'-6"	TEMP.
207		3'-6"	6'-4"	6'-10"	0'-6"	TEMP.
208		3'-6"	6'-4"	6'-10"	0'-6"	TEMP.
209		3'-6"	6'-4"	6'-10"	0'-6"	TEMP.
210		10'-6"	6'-4"	6'-10"	0'-6"	3 WIDE TEMP. IV FALL PROTECTION
301		3'-0"	6'-0"	6'-10"	0'-10"	TEMP.
302		10'-6"	6'-0"	6'-10"	0'-10"	3 WIDE TEMP. IV FALL PROTECTION



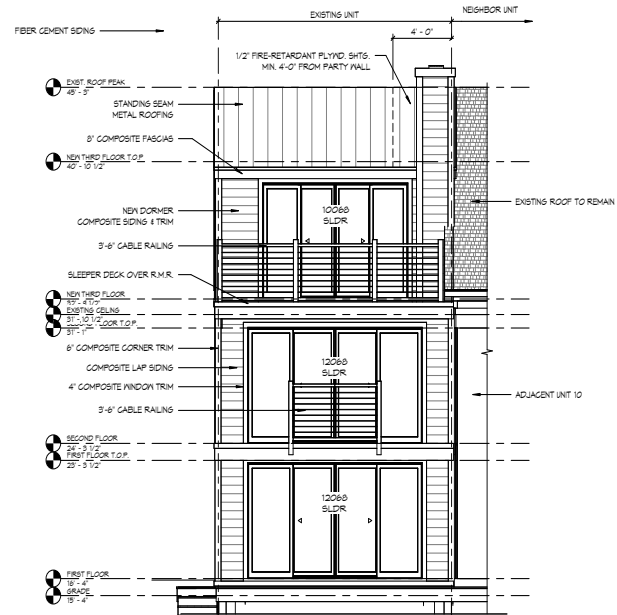
1 RIGHT SIDE ELEVATION (PROPOSED)  
1/4" = 1'-0"



4 PARKING VIEW



2 FRONT ELEVATION (PROPOSED)  
1/4" = 1'-0"



3 REAR ELEVATION (PROPOSED)  
1/4" = 1'-0"

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**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20,10-38.00

**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 302.643.0777  
 www.elementnj.com

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 02-03-26

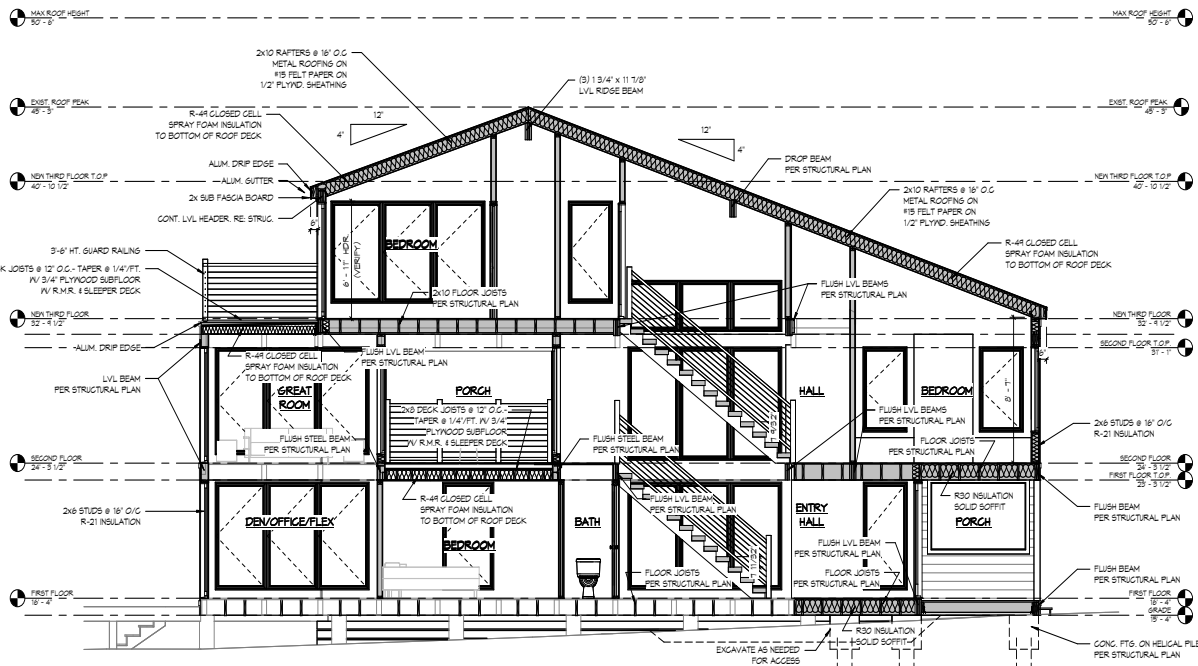
DSN	DRN	CHKD
DDN	DDN	BB
SCALE: 1/4" = 1'-0"		
JOB No. e25062		
ISSUE DATE:		



2 KITCHEN TO GREAT ROOM VIEW



3 SECTION VIEW



3 KITCHEN TO STAIR VIEW

REV.	DATE	DESCRIPTION	BY

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 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20,10-38.00

**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 LOUIS, DE 19958  
 302.643.0777  
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**CD REVIEW**  
 02-03-26

DSN	DRW	CHKD
Designer	Author	Checker
SCALE: 1/4" = 1'-0"	JOB No. e25062	ISSUE DATE:



**STRUCTURAL NOTES**

**STRUCTURAL DESIGN CRITERIA**

- DESIGN LOADS ARE IN ACCORDANCE WITH IRC 2021, ASG 1-16, AND THE APPLICABLE LOCAL CODES OR AS NOTED BELOW.
  - DEAD LOAD
    - ROOF 20 PSF
    - FLOOR 20 PSF
  - LIVE LOAD
    - FLOOR SEE CHART
- BUILDING OCCUPANCY CATEGORY II
- SNOW LOADING:
  - GROUND SNOW LOAD 20 PSF
  - FLAT-ROOF SNOW LOAD 20 PSF
- WIND LOADING:
  - BASIC WIND SPEED (3 SEC GUST) 122 MPH
  - EXPOSURE CATEGORY C

**FOUNDATION**

- THE ASSUMED NET ALLOWABLE SOIL BEARING CAPACITY IS 1200 PSF UNLESS NOTED OTHERWISE. SOIL BEARING PRESSURE SHALL BE VERIFIED AT THE TIME OF EXCAVATION AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IF THE ACTUAL BEARING PRESSURE IS LESS THAN THE DESIGN PRESSURE.
- BOTTOM OF ALL FOOTINGS SUBJECT TO FREEZE/THAW CONDITIONS SHALL BE A MINIMUM OF TWO FEET BELOW FINISH GRADE OR TOP OF SLAB ELEVATION, WHICHEVER IS LOWER.
- FOUNDATION DESIGN IS BASED ON REMOVAL OF ALL ORGANIC MATERIAL AND/OR MATERIAL SUBJECT TO ROT OR CORROSION. BOTTOM OF FOOTINGS SUBGRADE IS TO BE BEARING ON SUITABLE NATURAL SOILS AND/OR COMPACTED STRUCTURAL FILL.
- COMPACTED STRUCTURAL FILL BENEATH ALL SLABS ON GRADE, FOUNDATIONS AND ADJACENT TO FOUNDATION WALLS SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT POONDING OF SURFACE RUNOFF NEAR THE SURFACES.
- FOUNDATION WATERPROOFING TO BE (1) COAT OF SPRAY APPLICATION (60 MILS THICK) OF TUFF-N-DRI POLYMER ENHANCED ASPHALT LIQUID APPLIED MEMBRANE OR EQUAL.

**HELICAL PILES**

- HELICAL SCREW PILES SHALL BE MANUFACTURED BY THE AB, CHANGE CO. OR APPROVED EQUAL.
- PILES SHALL BE INSTALLED BY THE MANUFACTURER'S AUTHORIZED INSTALLATION CONTRACTOR WHO HAS SATISFIED THE CERTIFICATION REQUIREMENTS RELATING TO THE TECHNICAL ASPECTS OF THE PRODUCT AND THE INSTALLATION TECHNIQUES.
- ALL HELICAL PILES SHALL BE HOT-DIP GALVANIZED.
- INSTALLATION TORQUE SHALL BE MONITORED THROUGHOUT THE INSTALLATION PROCESS.
- HELICAL PILES SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWN ON THE PLANS.
- APPROPRIATE HELICAL PILE SELECTION WILL CONSIDER DESIGN LOAD PLUS SAFETY FACTOR, SOIL PARAMETERS AND THE INSTALLATION TORQUE VS. CAPACITY EQUATION AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE MINIMUM SAFETY FACTOR IS 2.0.

**CONCRETE**

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318, MOST RECENT EDITION.
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3500 PSI FOR ALL FOUNDATIONS AND PIERS AND 4000 PSI FOR ALL SLABS. SLUMP AT TIME OF PLACEMENT SHALL BE MIN 3 INCHES AND MAXIMUM 5 INCHES.
- ALL CONCRETE EXPOSED TO THE EXTERIOR SHALL BE AIR-ENTRAINED (8 ± 1%).
- DO NOT PLACE CONCRETE AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
- REINFORCING BARS SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. LAP ALL BARS MIN. 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- WELDED WIRE FABRIC SHALL BE ASTM A-105 AND/OR ASTM A491 AND MIN. GRADE 40. IT SHALL BE PROVIDED IN FLAT SHEETS AND LAPPED A MIN. OF 6 INCHES.
- CONTROL JOINTS IN SLABS ON GRADE SHALL BE LOCATED AT MAX. 10'-0" O.C. PANELS SHALL BE AS SQUARE AS POSSIBLE. LENGTH SHOULD NOT EXCEED 15 TIMES THE WIDTH.

**MASONRY**

- ALL MASONRY SHALL CONFORM TO ACI 530, LATEST EDITION.
- ALL CONCRETE MASONRY UNITS SHALL BE ASTM C70, GRADE N, TYPE 1 STANDARD WEIGHT BLOCKS.
- ALL MORTAR SHALL BE ASTM C270 TYPE M OR S WITH A MIN. COMPRESSIVE STRENGTH OF 1500 PSI AT 28 DAYS.
- GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. GROUT CORES TO BE GROUTED AS INDICATED PER PLANS AND DETAILS.

**STEEL**

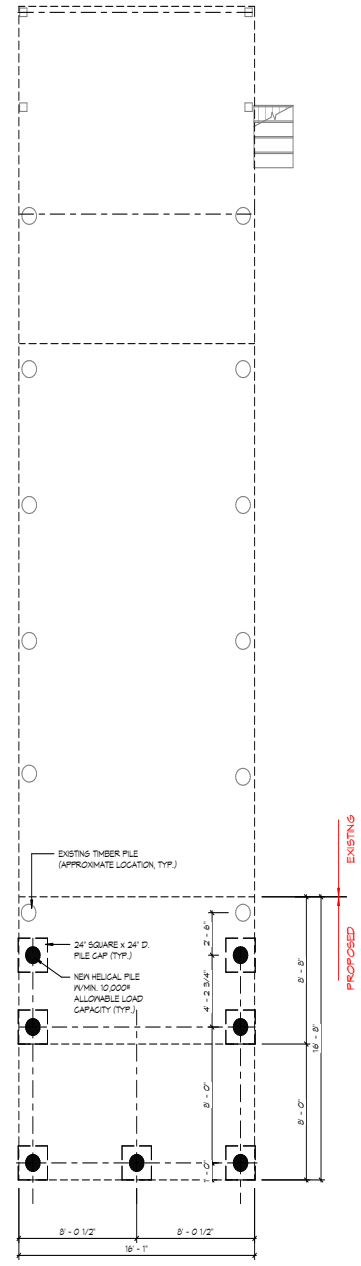
- ALL STRUCTURAL STEEL FABRICATION, ERECTION AND CONNECTIONS SHALL CONFORM TO THE LATEST AISC CODE.
- STRUCTURAL STEEL SHAPES SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
  - STRUCTURAL STEEL WIDE FLANGE (WF) SHAPES: A992
  - STRUCTURAL PIPE: A53 GR. B
  - HOLLOW STRUCTURAL (HSS) SHAPES: A500 GR. B
  - STEEL BARS, ANGLES AND PLATES: A36
  - OTHER STRUCTURAL SHAPES, U.N.G.: A36
- SUBMIT ALL STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION.
- ALL STEEL SHALL BE PAINTED WITH A SHOP COAT OF RUST INHIBITIVE PAINT UNLESS IT IS RECEIVING FIREPROOFING. ALL STEEL EXPOSED TO WEATHER SHALL BE PAINTED WITH A RUST INHIBITIVE PRIMER AND TOP COATED OR HOT DIPPED GALVANIZED.
- ORIENT ALL NATURAL CAMBER UP DURING FABRICATION AND ERECTION.
- ALL CONNECTIONS SHALL BE BOLTED USING 3/4" O.D. ASTM A325 HIGH STRENGTH BOLTS OR WELDED AS DESIGNED BY THE STEEL FABRICATOR, UNLESS NOTED OTHERWISE.
- WELDING SHALL CONFORM TO AWS D11.1 - LATEST EDITION. STEEL WELDING RODS (ELECTRODES) TO BE E70XX FOR STEEL CONNECTIONS.
- FLAT DEPTH CONNECTIONS TO BE USED FOR ALL BEAM TO COLUMN CONNECTIONS.
- STEEL MEMBERS SHALL BE PRE-DRILLED WITH HOLES AT 24" O.C. STAGGERED AS REQUIRED FOR NALER PLATES AND WEB PACKING. CONTRACTOR TO COORDINATE WITH FABRICATOR REGARDING MEMBER LOCATIONS.

LIVE LOADS (MINIMUM UNIFORMLY DISTRIBUTED IN PSF)		
USE	LIVE LOAD	REF. IRC SECTION A301.5 FOR ADDITIONAL NOTES & SPECIFICATIONS.
UNINHABITABLE ATTICS (V/O STORAGE)	10	A. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES WHICHEVER PRODUCES THE GREATER STRESSES.
UNINHABITABLE ATTICS (UNLIMITED STORAGE)	20	
HABITABLE ATTICS & ATTICS SERVED (V/FIRED STAIRS)	30	B. DESIGN LOAD: 200# AT ANY POINT IN ANY DIRECTION, UNIFORM LOAD OF 30 #/FOOT LATERALLY AT TOP OF RAIL, 100#/FOOT VERTICALLY AT TOP OF RAIL. UNIFORM LOAD IS APPLIED SIMULTANEOUSLY WITH UNIFORM LOAD.
BALCONIES (EXT.) AND DECKS	40	
SHOWERALS AND HAIRCRAPE	200	
SLEEPING ROOMS	30	
ROOMS OTHER THAN SLEEPING ROOMS	40	
STAIRS*	40	

**FRAMING NOTES**

- DESIGN LOADS: (LL) FLOOR LOAD + 40 PSF, STAIR + 40 PSF, ROOF + 20 PSF, DECK + 40 PSF.
- ALL SAWN LUMBER MEMBERS SHALL BE #2 SPF (Fb = 875 psi, Fv = 135 psi, AND E = 1400 ksi) OR BETTER.
- ALL LVL BEAMS OR HEADERS SHALL BE GRADE 2.0E MICROLAM LVL (Fb = 2800 psi, Fv = 225 psi, AND E = 2.0 x 10<sup>6</sup> psi) OR BETTER.
- PSL COLUMNS SHALL BE GRADE 1.0E PARALLAM PSL (F<sub>comp</sub> = 545 psi, F<sub>comp</sub> = 2500 psi, Fv = 190, E = 1.8 x 10<sup>6</sup> psi) OR BETTER.
- PSL BEAMS SHALL BE GRADE 2.0E PARALLAM PSL (Fb = 2900 psi, Fv = 290 psi, AND E = 2.0 x 10<sup>6</sup> psi) OR BETTER.
- ALL PSL BEAMS & COLUMNS USED FOR EXTERIOR CONSTRUCTION AND EXPOSED TO THE ELEMENTS SHALL BE PARALLAM PLUS @ SERVICE LEVEL 1 (POLYMERIZED PSL INDICATED ON PLANS AS (P)) OR APPROVED EQUAL. (COLUMNS: F<sub>comp</sub> = 305 psi, F<sub>comp</sub> = 1725 psi, Fv = 170 psi, AND E = 1.45 x 10<sup>6</sup> psi; BEAMS: Fb = 2275 psi, Fv = 215 psi, E = 1.65 x 10<sup>6</sup> psi)
- ALL LVL MEMBERS USED IN EXTERIOR CONSTRUCTION ABOVE-GROUND APPLICATIONS (IC2B) SHALL BE SPECIFICALLY DESIGNATED AS TREATED AND FROM PACIFIC WOOD TECH OR EQUAL WITH THE FOLLOWING MATERIAL PROPERTIES (Fb = 2000 psi; Fv = 225 psi; E = 2,000,000 psi) OR BETTER.
- ALL EXTERIOR WALLS SHALL BE 2 x 8 STUD U.N.G. AND ALL INTERIOR WALLS SHALL BE 2 x 4 STUD U.N.G.
- ALL EXTERIOR HEADERS TO BE MIN. (3) 2 x 10 U.N.G. ALL INTERIOR HEADERS @ INTERIOR LOAD BEARING WALLS TO BE MIN. (2) 2 x 8 (2 x 4 WALL) OR (3) 2 x 8 (2 x 4 WALL) U.N.G.
- ALL HEADERS AT NON-BEARING CONDITIONS SHALL BE AS FOLLOWS:
 

OPENING	HEADER
UP TO 4'-0"	(2) 2 x 8
4'-0" TO 6'-0"	(2) 2 x 8
6'-0" TO 9'-0"	(2) 2 x 10
- PROVIDE 2 x 4 FLAT BLOCKING BETWEEN JOISTS WHERE PARALLEL WALLS LIE BETWEEN.
- PROVIDE MIN. DOUBLE FLOOR JOISTS UNDER BEARING WALLS RUNNING PARALLEL TO JOIST SYSTEM.
- POST AND BLOCK SOLID BENEATH ALL POINT LOADS TO FOUNDATION OR SUPPORTING MEMBERS BELOW WITH MIN. (3) 2x4 U.N.G. CROSS SECTION DIMENSIONS OF POST BELOW MUST BE EQUAL TO OR GREATER THAN POST ABOVE.
- ALL POINT LOADS FROM STEEL & LVL BEAMS INCLUDING RIDGE HP & VALLY BEAMS SHALL BE SUPPORTED BY MINIMUM (3) 2x6, (3) 2x4, OR SOLID COLUMNS AS SHOWN ON PLANS.
- BALLOON FRAME ALL TWO STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. SOLID HORIZONTAL BLOCKING IS REQUIRED BETWEEN STUDS AT MIDPOINT OR AT THIRD POINTS FOR STUDS OVER 16'-0".
- ALL WOOD FRAMING MATERIAL IN DIRECT CONTACT WITH MASONRY WALLS AND/OR CONCRETE FLOOR SLABS SHALL BE PRESSURE TREATED MATERIAL AND ALL FASTENERS USED SHALL BE COMPATIBLE WITH TREATMENT.
- ALL DIMENSIONS ARE FROM TO FACE OF FRAMING AND FOUNDATION WALLS, UNLESS NOTED OTHERWISE.
- INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
- ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED AND DETAILED BY THE MANUFACTURER. INSTALLATION AND STIFFENING IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WRITTEN INSTRUCTIONS.
- ALL CONSTRUCTION IN COASTAL FLOOD HAZARD ZONE AREAS TO MEET OR EXCEED THE REQUIREMENTS STATED IN FEMA TECHNICAL BULLETINS AND PER NFIP REGULATIONS.
- PROVIDE MECHANICAL CONNECTORS AT ALL LOCATIONS WHERE THE RAFTERS ARE HANGING FROM THE RIDGE BEAM. SIMPSON LRU2/LBU/SLS HANGERS OR EQUAL INSTALLED PER MFR. SPECIFICATIONS AND FOR THE APPROPRIATE ALLOWABLE LOADS ARE ACCEPTABLE.
- METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS (IE. CONSTRUCTION WITH PRESERVATIVE TREATED WOOD) SHALL BE IN ACCORDANCE WITH IRC R313 GUIDELINES FOR PRESERVATIVE-TREATED WOOD AND TABLE R507.2.3.



1 PILE LAYOUT PLAN  
1/4" = 1'-0"

**NOTES:**

- MIN. (3) 3 x 8 STUD POST AT ALL RIDGE TRUSS, STEEL & LVL BEAM BEARING LOCATIONS, U.N.G. POST/BLOCK SOLID TO FOUNDATION OR SUPPORTING MEMBER BELOW.
- ALL NEW EXTERIOR WALLS TO BE SHEAR WALL TYPE SMT, U.N.G. REFERENCE SHEAR WALL WALKING PATTERN 1 SCHEDULE SHEET S401.
- ALL NEW INTERIOR BEARING WALLS TO BE SHEAR WALL TYPE SMC. SEE SHEET S401.
- MINIMUM (3) 2 x 10 HDR. AT ALL NEW EXTERIOR OPENINGS UNLESS NOTED OTHERWISE.
- MIN. (2) 2 x 8 HDR. AT ALL INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE FIELD VERIFIED.

**NOTES & PILE LAYOUT PLAN**

REV.	DATE	DESCRIPTION

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971  
 TAX PARCEL # 334-20.10--38.00

  
**ELEMENT**  
 115 W. Market Street, 2nd floor  
 Dover, DE 19958  
 302.683.0777  
 www.elementde.com

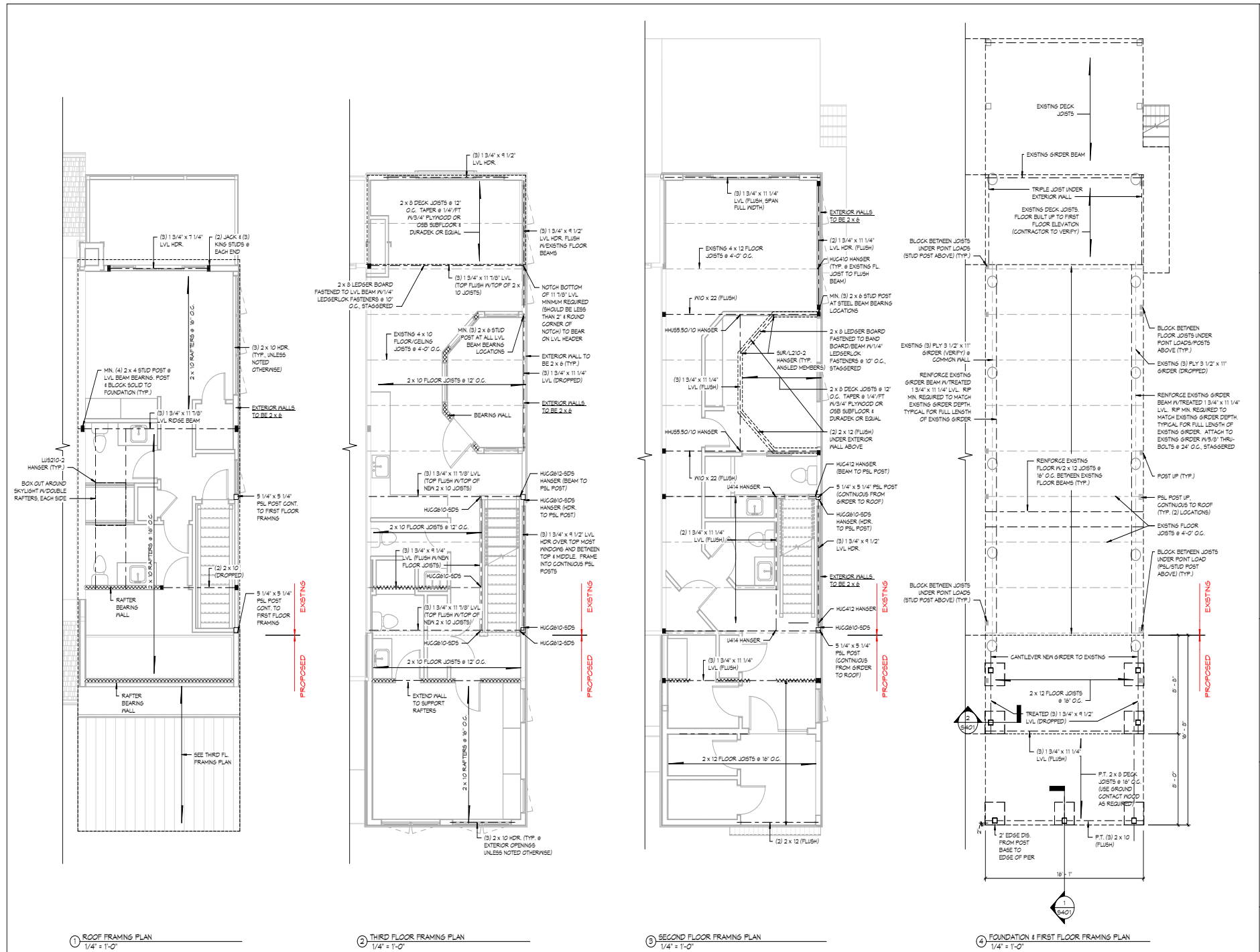
**CD REVIEW**  
 02-03-26

DSN	DRN	CHKD
-	JK	JK

SCALE: As indicated

JOB No. e25062

ISSUE DATE:



1 ROOF FRAMING PLAN  
1/4" = 1'-0"

2 THIRD FLOOR FRAMING PLAN  
1/4" = 1'-0"

3 SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

4 FOUNDATION & FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"

- NOTES:**
1. MIN. (3) 2 x 8 STUD POST AT ALL GRIDER TRUSS, STEEL I LVL BEAM BEARING LOCATIONS, UNO. POSTS BLOCK SOLID TO FOUNDATION OR SUPPORTING MEMBER BELOW.
  2. ALL NDN INTERIOR BEARING WALLS TO BE SHEAR WALL TYPE SMT, UNO. REFERENCE SHEAR WALL NALING PATTERN & SCHEDULE, SHEET S401.
  3. ALL NDN INTERIOR BEARING WALLS TO BE SHEAR WALL TYPE SPC, SEE SHEET S401.
  4. MINIMUM (3) 2 x 10 HDR. AT ALL NDN EXTERIOR OPENINGS UNLESS NOTED OTHERWISE.
  5. MIN. (2) 2 x 8 HDR. AT ALL INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
  6. ALL DIMENSIONS TO BE FIELD VERIFIED.

REV.	DATE	DESCRIPTION	BY

**ODEON RENOVATION**  
**9 SEASTRAND COURT,**  
**DENEY BEACH, DE 19971**

TAX PARCEL # 334-20,10-38.00

**ELEMENT**  
 115 W. MARKET STREET, 2ND FLOOR  
 LOUIS, DE 19958  
 302.643.0777  
 WWW.ELEMENTJD.COM

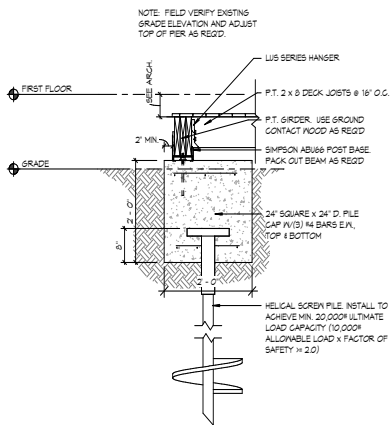
**CD REVIEW**  
**02-03-26**

DSN	DRN	CHKD
-	JK	JK

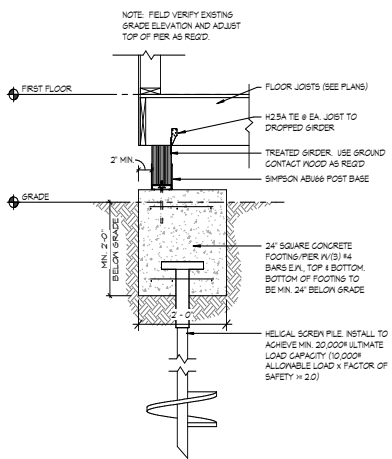
SCALE: 1/4" = 1'-0"

JOB No. e25062

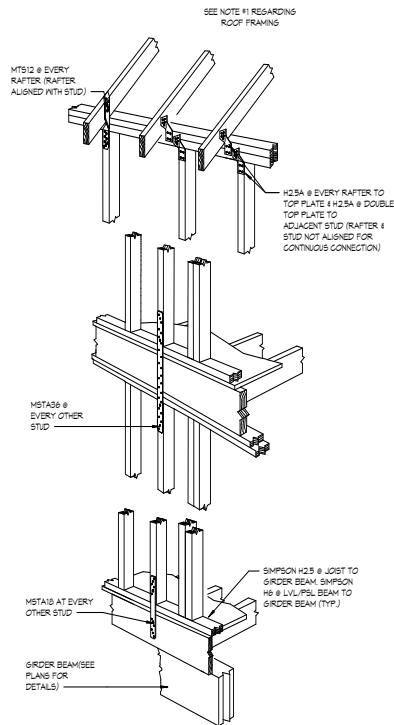
ISSUE DATE:



1 FRONT DECK PIER DETAIL  
3/4" = 1'-0"

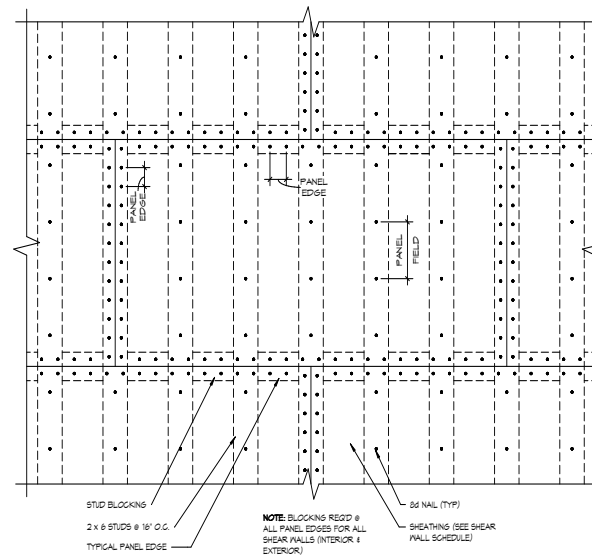


2 NEW GIRDER FOUNDATION  
3/4" = 1'-0"



**NOTES:**  
 1. ROOF FRAMING SELECT ONE OF TWO OPTIONS TO RESIST UPLIFT: A. CONNECT TRUSS/RAFTER DIRECTLY TO STUD B. CONNECT TRUSS/RAFTER TO TOP PLATE & TOP PLATES TO STUD  
 2. AS AN ALTERNATIVE TO THE FLOOR TO FLOOR STRAPPING ILLUSTRATED, CONTRACTOR MAY USE SHEATHING TO SPAN HORIZONTAL JOINTS. SHEATHING TO BE CONTINUOUS OVER JOINTS AND FASTENED TO FRAMING W/ 8d NAILS @ 8' O.C. @ PANEL EDGES & 12' O.C. IN THE FIELD.  
 3. BLOCK STEEL BEAMS AS REQUIRED TO INSTALL STRAPPING.

3 HURRICANE STRAPPING DETAIL  
3/8" = 1'-0"



4 SHEAR WALL NAILING PATTERN  
3/4" = 1'-0"

SHEAR WALL SCHEDULE		
MARK	SHEATHING	FASTENING
SM1	1/2" STRUCTURAL 1 SHEATHING, OR 1/2" OSB EXTERIOR ONLY, BLOCKED	8d NAILS @ 8' O.C. SPACING @ PANEL EDGES & 12' O.C. IN FIELD
SM2	1/2" GYPSUM BOARD, BOTH SIDES, BLOCKED	8d COOLER NAILS @ 1' O.C. SPACING @ PANEL EDGES (INCL. TOP & BOTTOM PLATES), 1' O.C. IN FIELD

\*\*\*ALL EXTERIOR WALL ON ALL FLOORS TO BE SHEAR WALL TYPE SM1 UNLESS NOTED OTHERWISE

**NOTES:**  
 1. REFERENCE 'SHEAR WALL NAILING PATTERN DETAIL' FOR ILLUSTRATION OF PANEL EDGE AND FIELD LOCATIONS  
 2. ALL SHEATHING PANEL EDGES SHALL BE NAILED DIRECTLY TO NAIL STUDS AND BLOCKING

REVISIONS	
REV.	DATE

**ODEON RENOVATION**  
 9 SEASTRAND COURT,  
 DEWEY BEACH, DE 19971

TAX PARCEL # 334-20.10-38.00

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 115 w. market street, 2nd floor  
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**CD REVIEW**  
 02-03-26

DSN	DRN	CHKD
-	JK	JK

SCALE: As indicated

JOB No. e25062

ISSUE DATE:

## **Adjacent property owners document**

Selected Features:

Parcels (2)



▶ 1) 334-20.10-37.00

[Zoom](#)

2) 334-20.10-37.00-A

[Zoom](#)

<i>BOOK</i>	5122
<i>PAGE</i>	42
<i>FULLNAME</i>	CARRI DEBRA
<i>MAILINGADDRESS</i>	105 CHRISTINA LANDING DR APT 1901
<i>CITY</i>	WILMINGTON
<i>STATE</i>	DE
<i>DESCRIPTION</i>	SEASTRAND
<i>DESCRIPTION2</i>	UNIT 10 BLDG B
<i>DESCRIPTION3</i>	IMP ON LSD LD RBTS
<i>LUC</i>	107
<i>SCHOOL</i>	6
<i>MUNI</i>	DB
<i>CAP</i>	0
<i>APRBLDG</i>	1.0296e+006
<i>APRLAND</i>	0
<i>PINWASSEMENTUNIT</i>	334-20.10-37.00-A
<i>PIN</i>	334-20.10-37.00
<i>ZIPCODE</i>	19801
<i>FRONTFOOT</i>	0
<i>DEPTH</i>	0
<i>FIRE</i>	86