SHORELINE AND WATERWAY MANAGEMENT SECTION

Coastal Construction Application

Application Submitted: **09/01/2026**
To construct a single family dwelling with a 10' cantilevered deck and retractable steps
on Lot(s) 3, Block(s) 8, Town of South Bethany, in Sussex County, Delaware

Tax Map # **134-20.08-192.00**

Applicant Information

Name: Jeff Staniszewski

Property Type: Residential: Single Family

Activities:

- Accessory structures
  - Cantilevered decks : Seaward
  - Decks : Seaward
  - Driveways : Seaward
  - Elevators : Seaward
  - Skirting : Seaward
  - Steps/Stairs : Seaward
- New construction
  - New dwellings : Seaward

Site Work:

Will there be any lot clearing or excavation at the site?
No
Will any sand be removed from the site?
Will sand or fill be added to the site?
No
What will be the reason for placement of sand or fill?
How much sand will be added?
What will be the source of the sand/fill?
What method will be used to deposit the sand/fill?
Do you know who will be conducting the work?
Contractor Name
Contractor Phone number

Landscaping:

Will there be any landscaping?
Yes
Will you bring in topsoil or mulch?
Yes
Are there any structures including irrigation systems proposed in your landscape design?
Yes

What type of structures being proposed?

Driveway, Flower boxes, Irrigation systems

Other structure description:

Flood Zone Information:

In which NFIP Flood Zone(s) is the property located?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

In which NFIP Flood Zone(s) is the proposed construction taking place?

VE - Area of 100 -year flooding where wave action could reach above 3 feet

What is the Base Flood Elevation (NAVD88)?

12

What is the effective/revised date of the FIRM panel used for flood zone determination?

06/19/2018

Will any enclosures, such as entrances, storage areas, elevators, showers, skirting, utilities etc., be constructed below the first living floor?

Yes

Will any concrete, brick or asphalt be used? This could be for flooring, driveways, sidewalks, patios etc.

No

Where will the concrete, brick or asphalt be used?

Dune Preservation Information:

What mitigating measures will be taken to prevent disturbance and damage to the dune during construction?

Sand/silt Fence marking the location of the Building Line, Planting bare or disturbed areas with native dune vegetation, Keeping all equipment personnel and supplies off the dune

Other measure(s) description:

Wetlands:

Will any work be occurring on regulated wetlands located on this lot?

No

Septic:

Is there a septic system on the lot?

No

What is the Septic Permit # of the system (optional)?

Dune Encroachment Information:

Can the proposed structure be located completely landward of the DNREC Building Line by placing the exterior wall of the structure on the setback line established for the landward property boundary?

No

By occupying all of the area available between the side yard setbacks, can the proposed structure be located entirely landward of the DNREC Building Line?

No

The square footage of the footprint of the proposed structure must be no greater than the average square footage (living space only) of the adjacent structures within the smallest subset of lots. Does this step eliminate construction over the DNREC Building Line? Please show square footages of adjacent structures below.

No

Penetration over the DNREC Building Line may not exceed the average encroachment (ft.) of the adjacent structures (living space only) within the smallest subset of lots (above). Please show encroachment distances of adjacent structures below.

Tax parcel id	Lot number	Block	Living Footprint (sq ft)	Encroachment (Feet)

134-20.08-191.01	7	1	1439	56.82
134-20.08-191.00	1	8	1496	61.63
134-20.08-192.01	2	8	1778	67.35
134-20.08-193.00	4	8	1458	64.15
134-20.08-194.00	5	8	1419	63.01
134-20.08-195.00	6	8	1569	67.33

Cantilevered Deck Information:

Complete the chart to determine the average distance over the Building Line

Tax parcel id	Lot number	Block	Distance over Building Line (Feet)
134-20.08-191.01	7	1	71.82
134-20.08-191.00	1	8	78.12
134-20.08-192.01	2	8	79.30
134-20.08-193.00	4	8	72.66
134-20.08-194.00	5	8	82.54
134-20.08-195.00	6	8	79.74

Topographic survey and design document

NOTES:

OWNER: SB SEASCAPE, LLC
485 HARBOR DRIVE N.
INDIAN ROCKS BEACH, FL 33785

THIS DRAWING DOES NOT VERIFY THE LOCATION, EXISTENCE, AND/OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS CROSSING THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT VERIFY THE EXISTENCE AND/OR NON-EXISTENCE OF WETLANDS OR PLANT SPECIES.

THIS DRAWING DOES NOT VERIFY UTILITIES, OR ANY OTHER SUBSURFACE OBJECTS.

ALL SETBACKS MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION. HOME OWNER ASSOCIATION AND COMMUNITY BYLAWS MAY MANDATE MORE RESTRICTIVE SETBACKS AND SHALL BE THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION TO VERIFY CONFORMANCE TO SUCH RESTRICTIONS.

NO TITLE SEARCH WAS PROVIDED NOR STIPULATED.

THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON 10-1-2025, BY SCALED ENGINEERING, INC. BOUNDARY INFORMATION WAS TAKEN FROM DEED BOOK 6327 PAGE 57 (THE CURRENT DEED OF RECORD), PLAT BOOK 6 PAGE 2 AND OTHER DOCUMENTS OF PUBLIC RECORD AND HAS BEEN ROTATED TO DELAWARE STATE PLANE COORDINATE SYSTEM (NAD83).

THIS PROPERTY IS IMPACTED BY THE 100 YEAR FLOOD ZONE, DELINEATED BY THE NATIONAL FLOOD INSURANCE PROGRAM AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 10005C0518K REVISED MARCH 16, 2015 (ZONE VE, EL 12').

BUILDING RESTRICTION LINE SETBACKS:

FRONT: 20'

SIDE: 8'

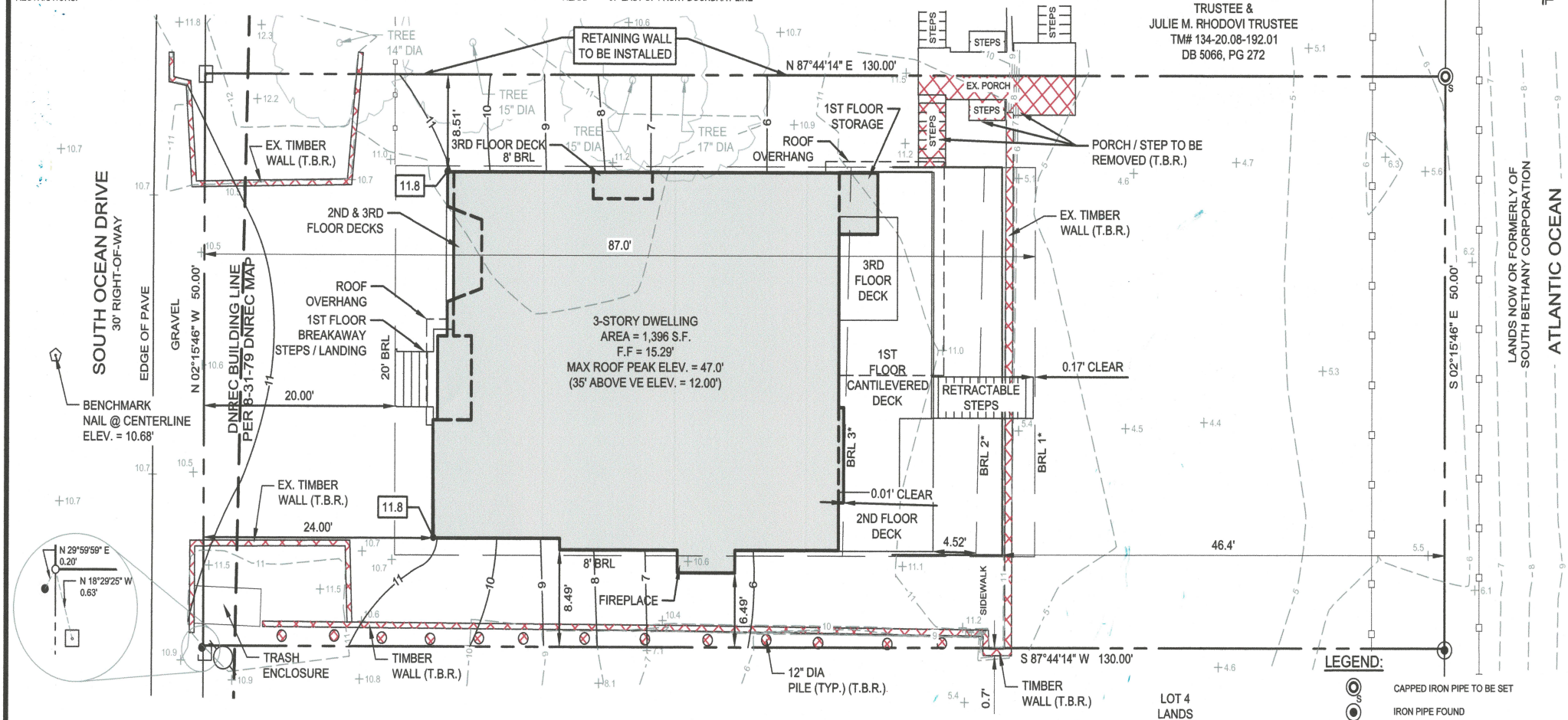
REAR: 87' EAST OF FRONT BOUNDARY LINE

REAR BUILDING RESTRICTION LINE NOTES:

BRL 1* 87' EAST OF FRONT BOUNDARY LINE (BRL PER TOWN OF SOUTH BETHANY)

BRL 2* 77.36' FROM DNREC BUILDING LINE (CANTILEVERED DECK SETBACK) - 4-STEP PROCESS

BRL*3 63.38' FROM DNREC BUILDING LINE (BUILDING SETBACK) - 4-STEP PROCES



PROPOSED CONDITIONS SITE PLAN

FOR PROPERTY KNOWN AS:
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930
LOT 3, BLOCK 8 - SOUTH BETHANY CORPORATION
TM: # 134-20.08-192.00
BALTIMORE HUNDRED | SUSSEX COUNTY | DELAWARE

DATE: AUGUST 24, 2026
CLASS: SUBURBAN
LOT AREA: 6,500 SQ.FT.
(0.1492 AC.)

SCALE: 1" = 10'
PROJECT: MACH036
FB: ____

0' 5' 10'
1" = 10'

LEGEND:

- CAPPED IRON PIPE TO BE SET
- IRON PIPE FOUND
- IRON REBAR FOUND
- CONCRETE MONUMENT FOUND
- UTILITY POLE
- SUBJECT BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- BRL — BUILDING RESTRICTION LINE
- FENCE
- 8 — EXISTING CONTOUR
- 8.3 — EXISTING SPOT
- 10 — PROPOSED CONTOUR
- PROPOSED DWELLING

SURVEYOR CERTIFICATION:

I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RYAN M. PHIFER, P.L.S. DE No. 829 — DATE 8/27/2026

No. 829

SCALED. ENGINEERING
Scaled Engineering Inc.
20246 Coastal Highway
Rehoboth Beach, DE 19971
Phone: (302) 227-7808

Adjacent property owners document

Printable page

PARID: 134-20.08-191.01
KEARNEY JOHN F TTEE REV TR

700 OCEAN DR S

Property Information

Property Location:	700 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$1,045,800
100% Total Value	$3,301,600

Legal

Legal Description	SOUTH BETHANY OCEAN DRIVE LOT 7 BLK 1 W/IMP.

Owners

Owner	Co-owner	Address	City	State	Zip
KEARNEY JOHN F TTEE REV TR	MARY PAULA KEARNEY TTEE REV TR	17201 PALOMINO CT	OLNEY	MD	20832

Printable page

PARID: 134-20.08-191.00
BENSER INC 702 OCEAN DR S

Property Information

Property Location:	702 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$391,000
100% Total Value	$2,646,800

Legal

Legal Description	SOUTH BETHANY OCEAN DR. LOT 1 BLK 8 W/IMP.

Owners

Owner	Co-owner	Address	City	State	Zip
BENSER INC		44 GARLINGER AVE	HAGERSTOWN	MD	21740

Printable page

PARID: 134-20.08-192.01
HOLDEN-MOUNT SARAH K TTEE JULIE M 704 OCEAN DR S

Property Information

Property Location:	704 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$575,300
100% Total Value	$2,831,100

Legal

Legal Description	S BETHANY OCEAN DR LOT 2 BLK 8

Owners

Owner	Co-owner	Address	City	State	Zip
HOLDEN-MOUNT SARAH K TTEE JULIE M	RHODOVI TTEE OF SKH AND JMR REV TR	9614 MEADOW FLOWERS CT	LAUREL	MD	20723

Printable page

PARID: 134-20.08-193.00
BELT GLENN D

800 OCEAN DR S

Property Information

Property Location:	800 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$1,381,300
100% Total Value	$3,637,100

Legal

Legal Description	S BETHANY OCEAN DR LOT 4 BLK 8 W/IMP

Owners

Owner	Co-owner	Address	City	State	Zip
BELT GLENN D	ELIZABETH A BELT	12605 BARTO LN	REISTERSTOWN	MD	21136

Printable page

PARID: 134-20.08-194.00
BRUNE ELIZABETH R 802 OCEAN DR S

Property Information

Property Location:	802 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$741,400
100% Total Value	$2,997,200

Legal

Legal Description	S BETHANY OCEAN DR LOT 5 BLK 8

Owners

Owner	Co-owner	Address	City	State	Zip
BRUNE ELIZABETH R	MARTHA B GAINES	17 RAWHIDE CIR	PALM DESERT	CA	92211

Printable page

PARID: 134-20.08-195.00
MILLS JOHN R

804 OCEAN DR S

Property Information

Property Location:	804 S OCEAN DR
Unit:	
City:	BETHANY BEACH
State:	DE
Zip:	19930
Class:	R-Residential
Use Code (LUC):	101-Single Family Dwelling
Town	SB-South Bethany
Tax District:	134 – BALTIMORE
School District:	1 - INDIAN RIVER
Fire District:	70-Bethany Beach
Calc'd Acres:	.1492
Frontage:	50
Depth:	130.000
Irr Lot:	
Plot Book Page:	/PB
100% Land Value:	$2,255,800
100% Improvement Value	$692,400
100% Total Value	$2,948,200

Legal

Legal Description	S BETHANY OCEAN DR LOT 6 BLK 8

Owners

Owner	Co-owner	Address	City	State	Zip
MILLS JOHN R	ELLEN M MILLS	342 NORTH DR	SEVERNA PARK	MD	21146

Foundation Pile/Layout Plan

ROGERS RESIDENCE

706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

APPLICABLE CODES:

- VE-12' + 24" FREEBOARD = 14'
- LOT AREA = 6,500 SQFT
- 12' (DNREC LINE)
- GROUND FLOOR - 15' 4.25"
- FIRST FLOOR - 24' 6.75"
- SECOND FLOOR - 34' 5.5"
- HEIGHT=
  1. ℄ OF STREET (10.68') + 35' = 45.68' (freeboard is BFE +2 ')
  2. VE ZONE = BFE + 35 = 47' (freeboard/struct is BFE +2')

- MINIMAL GRADING ALLOWED
  1. FAR = 4,615 SQFT ; LAR = 3,900 SQFT
  2. LIVIBLE FOOTPRINT PER DNREC = 1,526.5 SQFT
  3. 4:12 MIN ROOF PITCH
  4. COVERAGE BELOW 12" DOES NOT COUNT
  5. SET BACKS
     A. SIDE SETBACKS = 8'
     B. FRONT = 20'
     C. REAR = PER DNREC BLOCK PLAN
     D. REAR DECK = PER DNREC BLOCK PLAN

SQUARE FOOTAGES

SQUARE FOOTAGE:

LAR ALLOWABLE:	**3,900**	**SQFT**
GROUND FLOOR	1,357	SQFT
FIRST FLOOR	1,320	SQFT
SECOND FLOOR	1,194	SQFT
LAR TOTALS	**3,871**	**SQFT**

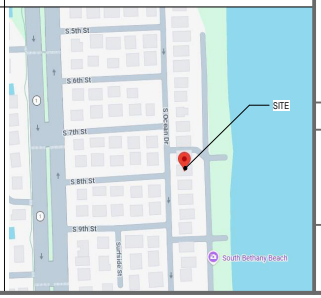
FAR ALLOWABLE:	**4,615**	**SQFT**
GROUND FLOOR	1,678	SQFT
FIRST FLOOR	1,664	SQFT
SECOND FLOOR	1,270	SQFT
FAR TOTALS	**4,612**	**SQFT**

SHEET INDEX

CS	COVER SHEET
A-100	FOUNDATION & GROUND FLOOR PLANS
A-101	FIRST & SECOND FLOOR PLANS
A-102	ROOF PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS
A-300	WALL SECTIONS
A-301	BUILDING SECTION
S-101	PILE & GROUND FLOOR FRAMING PLAN
S-102	FIRST FLOOR FRAMING & SECOND FLOOR FRAMING PLAN
S-103	ROOF FRAMING PLAN
S-501	TYPICAL DETAILS & SECTION
S-502	SECTIONS
S-503	SCHEDULES & GENERAL NOTES

VICINITY MAP

NOT TO SCALE



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410-353-659

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STRUCTURAL ENGINEER

PILOT TOWN ENGINEERING
17585 Nassau Commons Blvd.
Unit 3- Lewes, DE 19958
PHONE: 302-703-1770
www.pilottownengineering.com

DOUGLASS S KUCHTA
NO. S5-0018898
STATE OF DELAWARE
REGISTERED ARCHITECT

Douglass Kuchta

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: TJD

COVER SHEET

CS

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EXTERIOR DOOR SCHEDULE

DOOR #	OPERATION	FRAME SIZE WIDTH	FRAME SIZE HEIGHT	PANEL DEPTH	COMMENTS
GROUND FLR. SUB					
g001		3' - 6"	7' - 0"	1 3/4"	
g002	SWING	2' - 0"	7' - 0"	1 3/4"	
g003		9' - 0"	7' - 0"	1 3/4"	

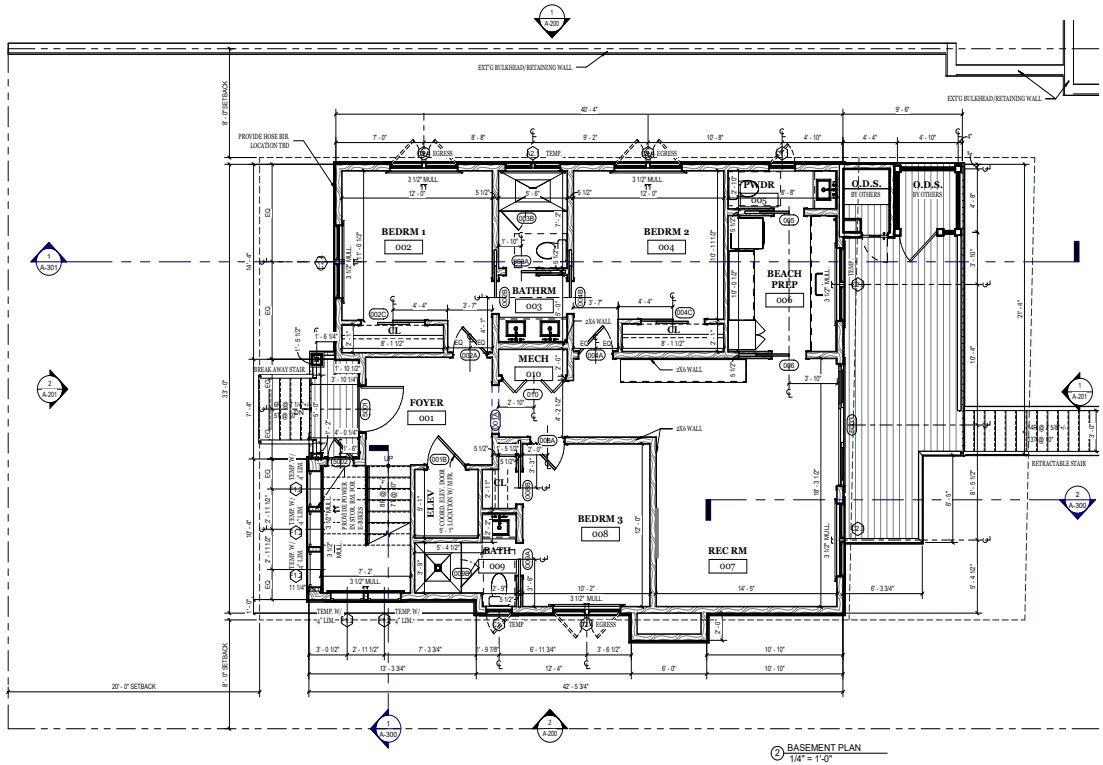
INTERIOR DOOR SCHEDULE

DOOR #	OPERATION	PANEL SIZE WIDTH	PANEL SIZE HEIGHT	PANEL DEPTH	COMMENTS
GROUND FLR. SUB					
001A	CASED OPENING	3' - 0"	7' - 0"	0"	
001B	SWING	3' - 0"	7' - 0"	1 3/4"	
002A	SWING	2' - 8"	7' - 0"	1 3/4"	
002B	POCKET	2' - 4"	7' - 0"	1 3/4"	
002C	SLIDING - 2	5' - 0"	7' - 0"	1 3/4"	
003A	POCKET	2' - 4"	7' - 0"	1 3/4"	
003B	SHOWER	2' - 0"	5' - 11 3/4"	1 1/2"	
004A	SWING	2' - 8"	7' - 0"	1 3/4"	
004B	POCKET	2' - 4"	7' - 0"	1 3/4"	
004C	SLIDING - 2	5' - 0"	7' - 0"	1 3/4"	
005	POCKET	2' - 4"	7' - 0"	1 3/4"	
006	POCKET	2' - 8"	7' - 0"	1 3/4"	
008A	SWING	2' - 8"	7' - 0"	1 3/4"	
008B	POCKET	2' - 4"	7' - 0"	1 3/4"	
009A	POCKET	2' - 4"	7' - 0"	1 3/4"	
009B	SHOWER	2' - 0"	5' - 11 3/4"	1 1/2"	
010	BIFOLD - 2	5' - 0"	7' - 0"	1 3/4"	

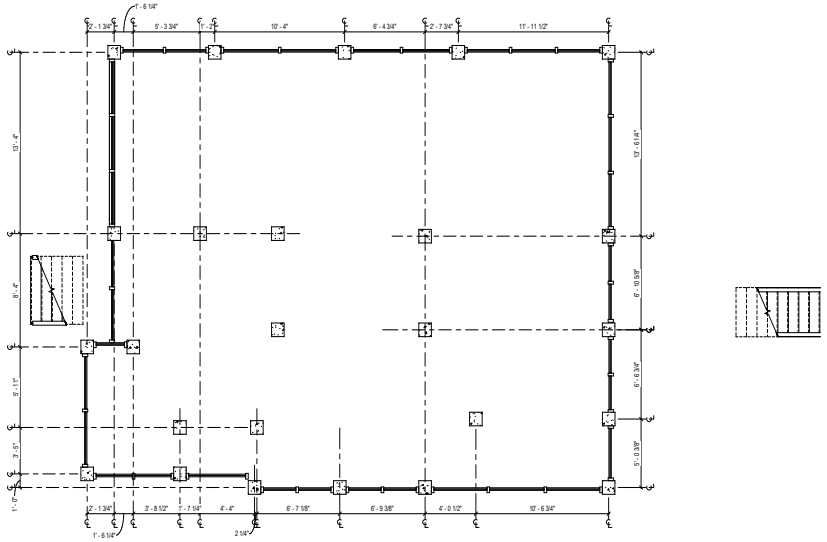
WINDOW SCHEDULE

MARK	OPERATION	UNIT SIZE WIDTH	UNIT SIZE HEIGHT	COMMENTS
A1.2	AWNING	2' - 6"	3' - 0"	
A2.2	AWNING-2	4' - 3 1/2"	2' - 6"	
C1.1	CASEMENT	2' - 0"	3' - 6"	
C1.3	CASEMENT	2' - 0"	4' - 0"	
C1.4	CASEMENT	2' - 6"	4' - 6"	
C2.1	CASEMENT - 2	4' - 0"	4' - 6"	
C2.2	CASEMENT - 2	5' - 0"	4' - 6"	
C2.3	CASEMENT - 2	5' - 3 1/2"	3' - 6"	MULLED
C2.4	CASEMENT - 2	5' - 3 1/2"	4' - 0"	MULLED
C2.5	CASEMENT - 2	5' - 3 1/2"	6' - 0"	MULLED W/ 4" LIMITER
C2.6	CASEMENT - 2	5' - 7 1/2"	5' - 0"	MULLED
C2.7	CASEMENT - 2	5' - 10"	4' - 0"	MULLED
F1.1	FIXED	2' - 8"	2' - 0"	
F1.2	FIXED	2' - 8"	4' - 0"	
F1.3	FIXED	2' - 8"	7' - 0"	
SL1	SKYLIGHT	1' - 9 1/2"	2' - 3"	VELUX C01

EXISTING CONSTRUCTION TO REMAIN
NEW STUD CONSTRUCTION
NEW CMU CONSTRUCTION
NEW CONCRETE CONSTRUCTION



② BASEMENT PLAN
1/4" = 1'-0"



① FOUNDATION PLAN
1/4" = 1'-0"

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SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: TJD, CRD

FOUNDATION & GROUND FLOOR PLANS

A-100

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EXTERIOR DOOR SCHEDULE

DOOR #	OPERATION	FRAME SIZE WIDTH	FRAME SIZE HEIGHT	PANEL DEPTH	COMMENTS
1ST FLOOR SUB					
S201		12' - 5"	7' - 10 23/32"	2 1/4"	
S202		12' - 5"	7' - 10 23/32"	2 1/4"	
S203	FRENCH SLIDER RA	5' - 0"	8' - 0"	1 3/4"	
2ND FLOOR SUB					
S201	FRENCH SLIDER RA	5' - 0"	7' - 0"	1 3/4"	

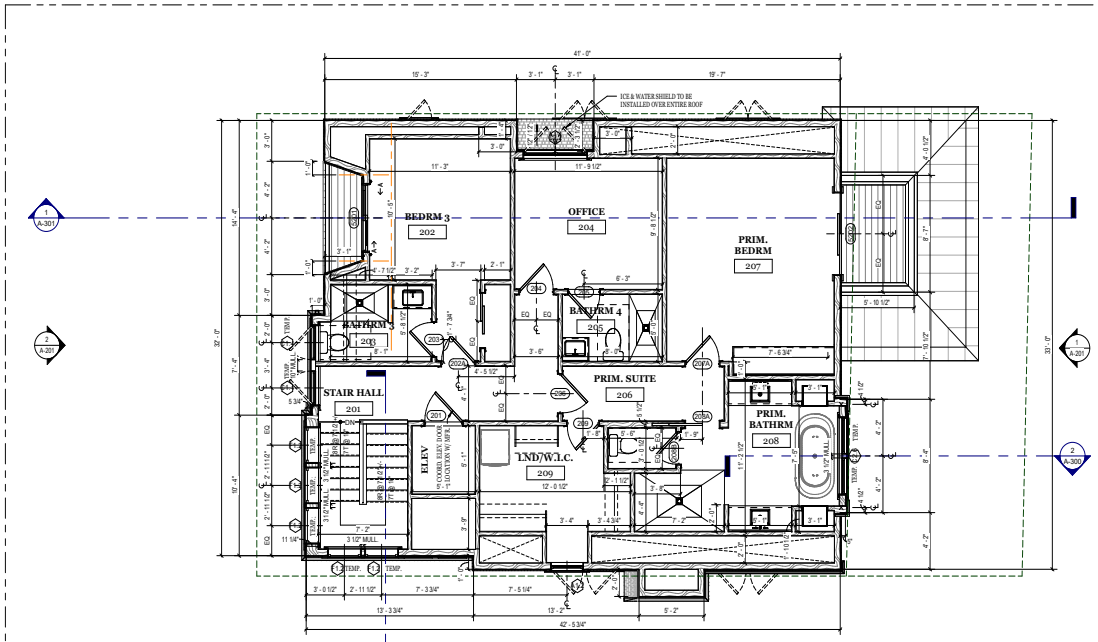
INTERIOR DOOR SCHEDULE

DOOR #	OPERATION	PANEL SIZE WIDTH	PANEL SIZE HEIGHT	PANEL DEPTH	COMMENTS
1ST FLOOR SUB					
101	SWING	3' - 0"	7' - 0"	1 3/4"	
102	SWING	2' - 6"	7' - 0"	1 3/4"	
103	POCKET	2' - 6"	7' - 0"	1 3/4"	
104	SWING	2' - 8"	7' - 0"	1 3/4"	
105	CASED OPENING	2' - 8"	7' - 0"	0"	
2ND FLOOR SUB					
201	SWING	3' - 0"	7' - 0"	1 3/4"	
201A	SWING	2' - 8"	7' - 0"	1 3/4"	
203	SWING	2' - 6"	7' - 0"	1 3/4"	
204	SWING	2' - 8"	7' - 0"	1 3/4"	
206	SWING	2' - 10"	7' - 0"	1 3/4"	
207A	SWING	2' - 8"	7' - 0"	1 3/4"	
208A	POCKET	2' - 8"	7' - 0"	1 3/4"	
208B	SWING	2' - 4"	7' - 0"	1 3/4"	
209	SWING	2' - 6"	7' - 0"	1 3/4"	
2ND FLOOR					

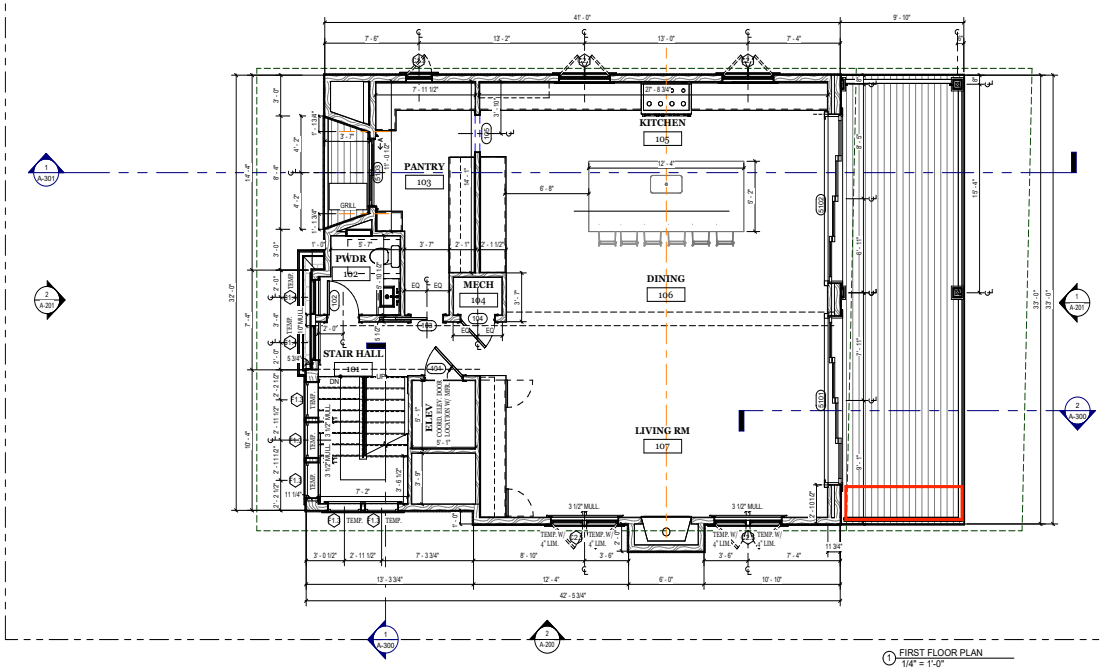
WINDOW SCHEDULE

MARK	OPERATION	UNIT SIZE WIDTH	UNIT SIZE HEIGHT	COMMENTS
A1.2	AWNING	2' - 6"	3' - 0"	
A2.1	AWNING-2	4' - 3 1/2"	3' - 6"	
C1.1	CASEMENT	2' - 0"	3' - 6"	
C1.3	CASEMENT	2' - 0"	4' - 0"	
C1.4	CASEMENT	2' - 6"	4' - 6"	
C2.1	CASEMENT -2	4' - 0"	4' - 0"	
C2.2	CASEMENT -2	5' - 0"	4' - 6"	
C2.3	CASEMENT - 2	5' - 3 1/2"	3' - 6"	MULLED
C2.4	CASEMENT - 2	5' - 3 1/2"	4' - 6"	MULLED
C2.5	CASEMENT - 2	5' - 3 1/2"	6' - 0"	MULLED W/ 4" LIMITER
C2.6	CASEMENT - 2	5' - 7 1/2"	5' - 0"	MULLED
C2.7	CASEMENT - 2	5' - 10"	4' - 0"	MULLED
F1.1	FIXED	2' - 8"	2' - 0"	
F1.2	FIXED	2' - 8"	4' - 0"	
F1.3	FIXED	2' - 8"	7' - 0"	
SL.1	SKYLIGHT	1' - 9 1/2"	2' - 5"	VELUX C01

EXISTING CONSTRUCTION TO REMAIN
NEW STUD CONSTRUCTION
NEW CMU CONSTRUCTION
NEW CONCRETE CONSTRUCTION



② SECOND FLOOR PLAN
1/4" = 1'-0"



① FIRST FLOOR PLAN
1/4" = 1'-0"

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DOUGLASS S KUCHTA
NO. S5-0018898
STATE OF DELAWARE
REGISTERED ARCHITECT

Douglass Kuchta

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706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

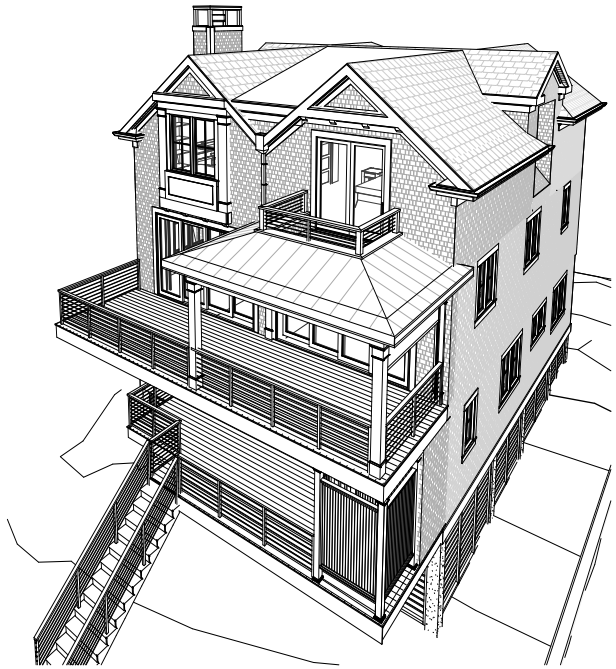
REVISIONS		
NO.	DATE	DESCRIPTION

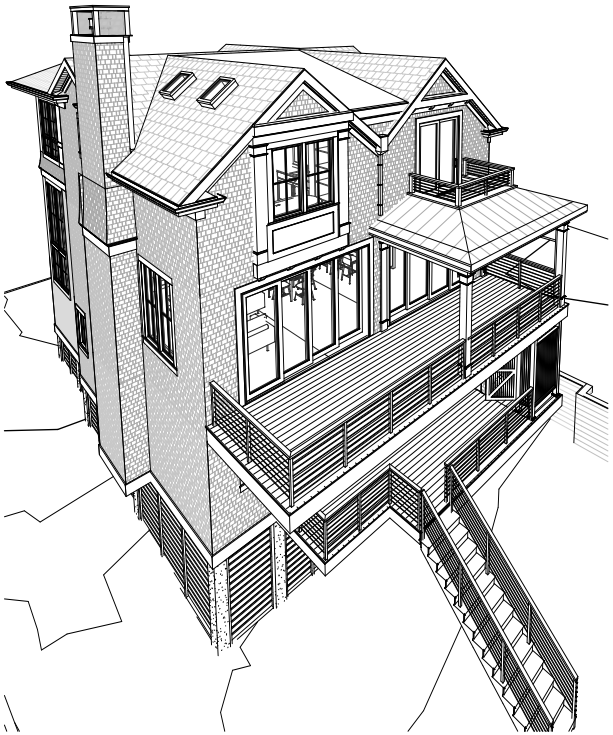
JOB NO: 26-015
DRAWN BY: TJD, CKD

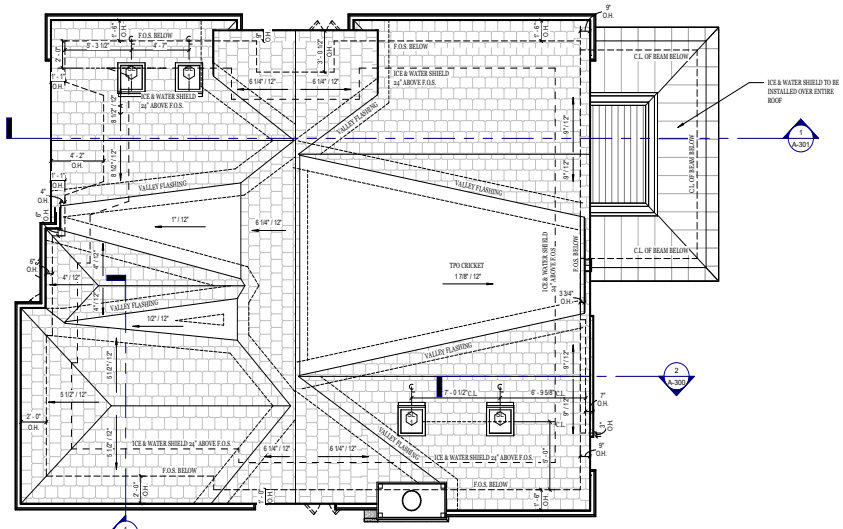
FIRST & SECOND FLOOR PLANS

A-101

8/19/2026 12:17:29 PM







1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

A-102

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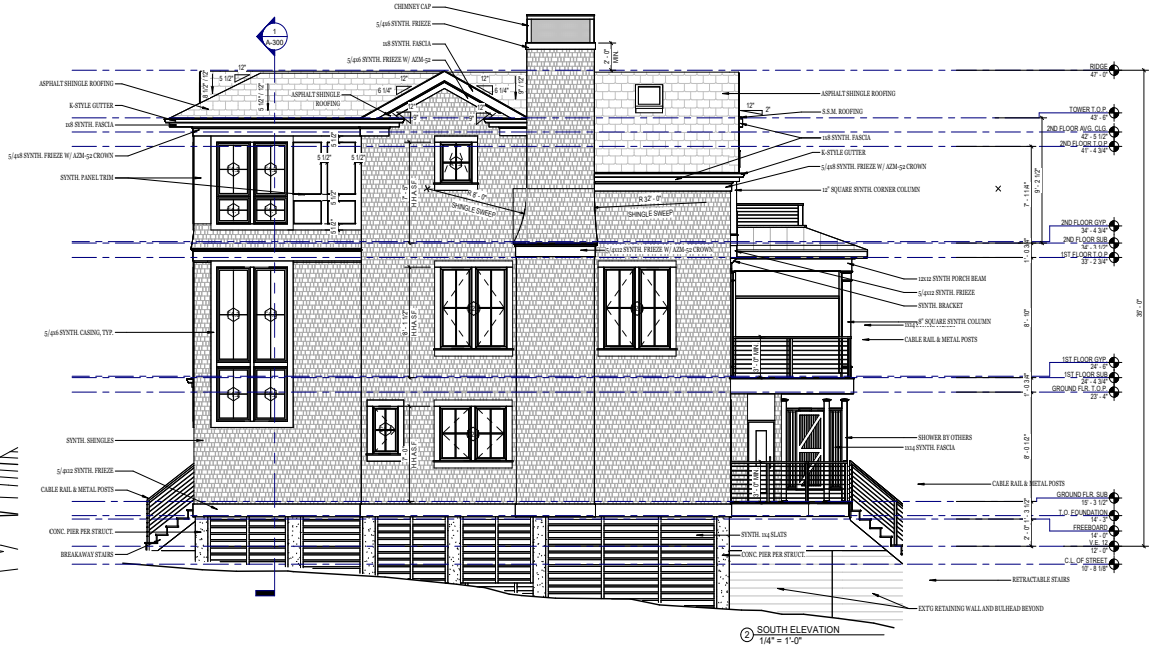
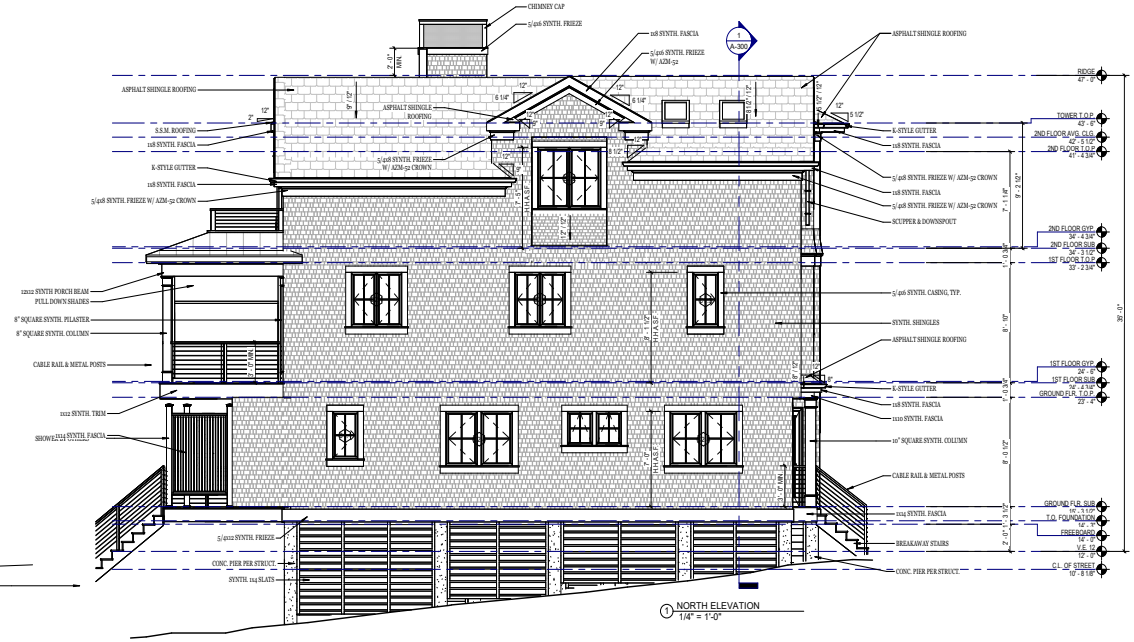


② SOUTH ELEVATION
1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"

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ELEVATIONS

A-200

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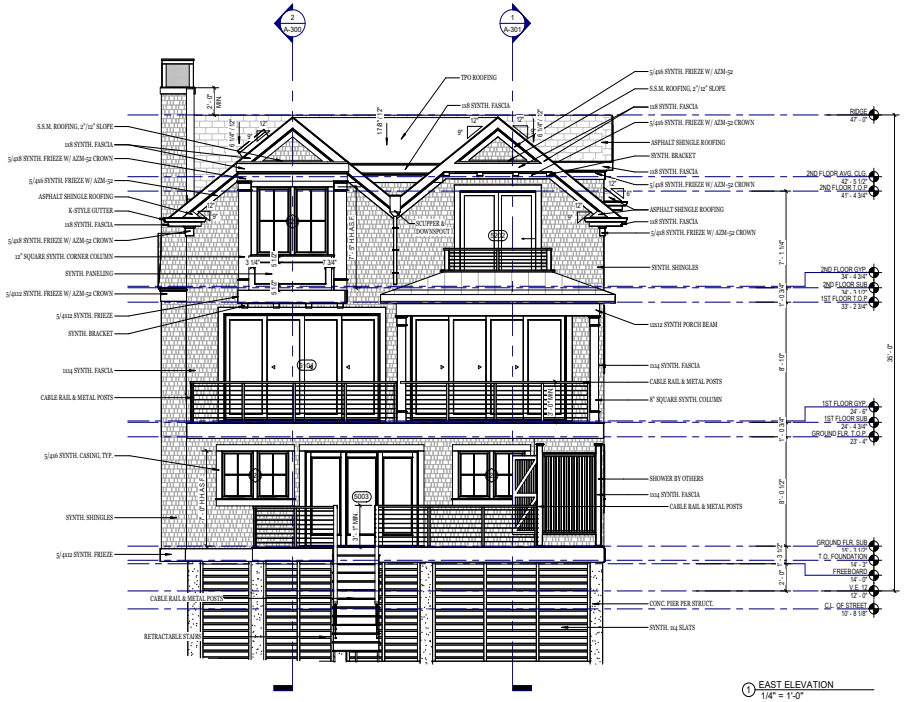
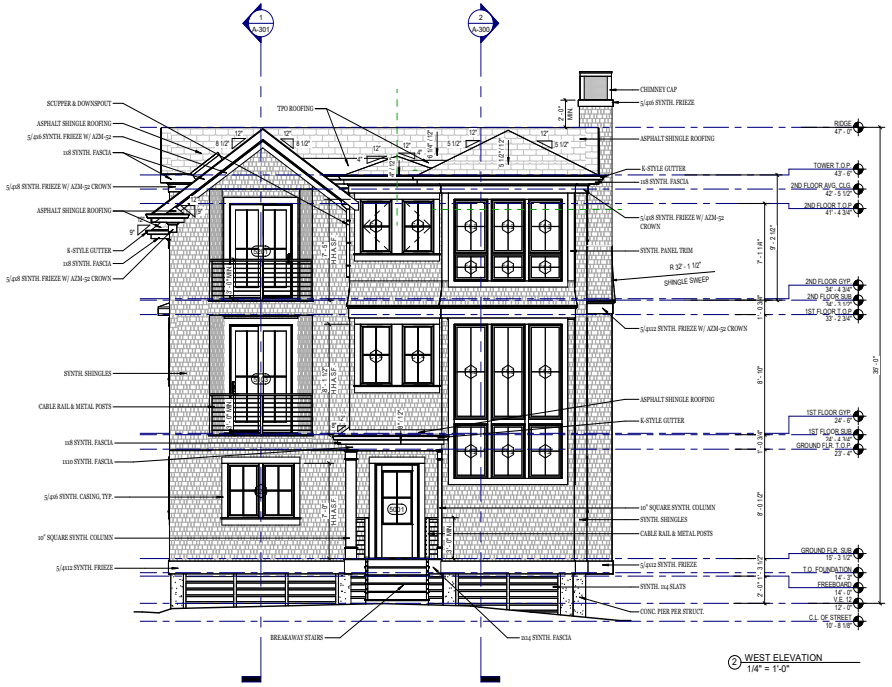


1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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		X

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ELEVATIONS

A-201

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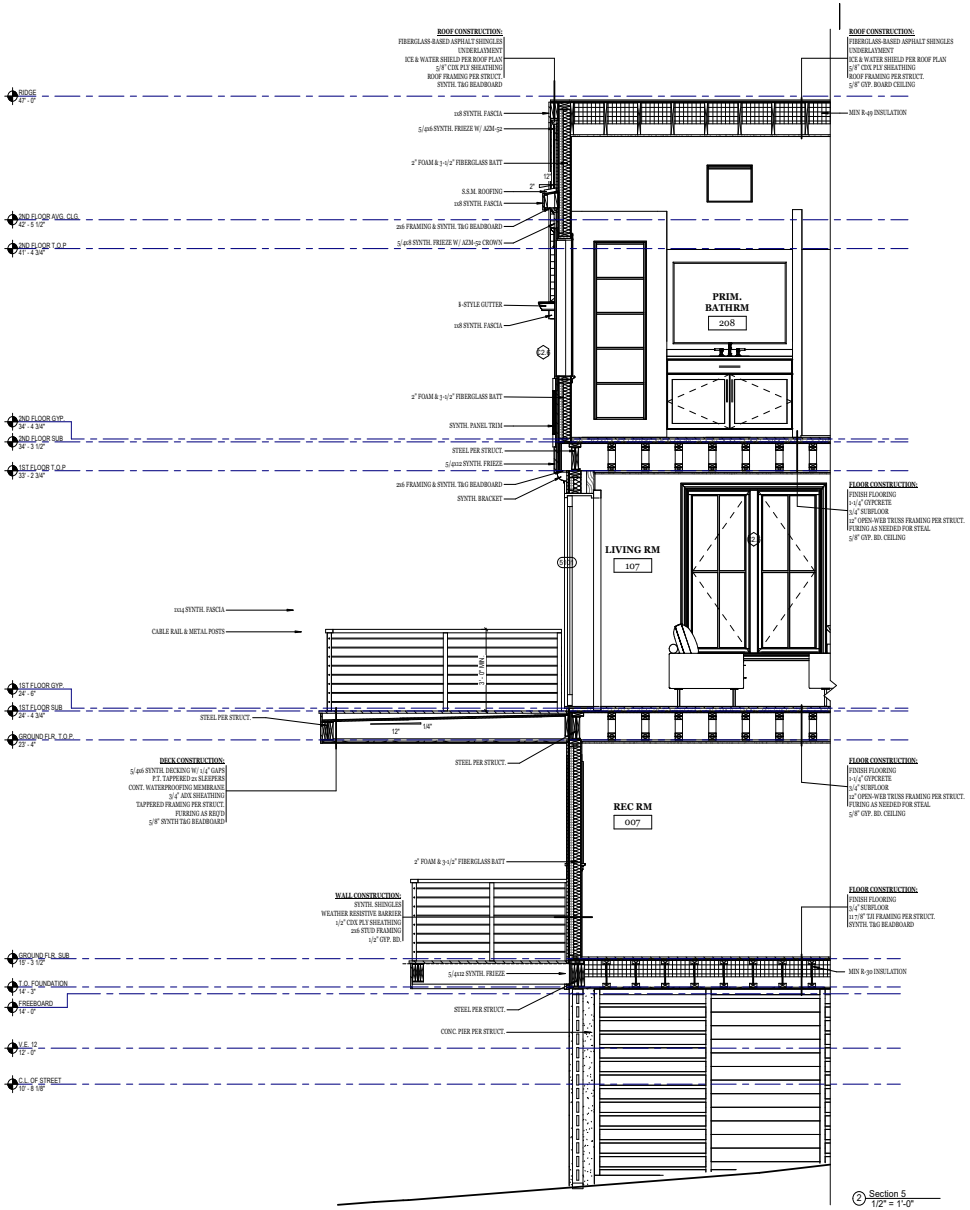
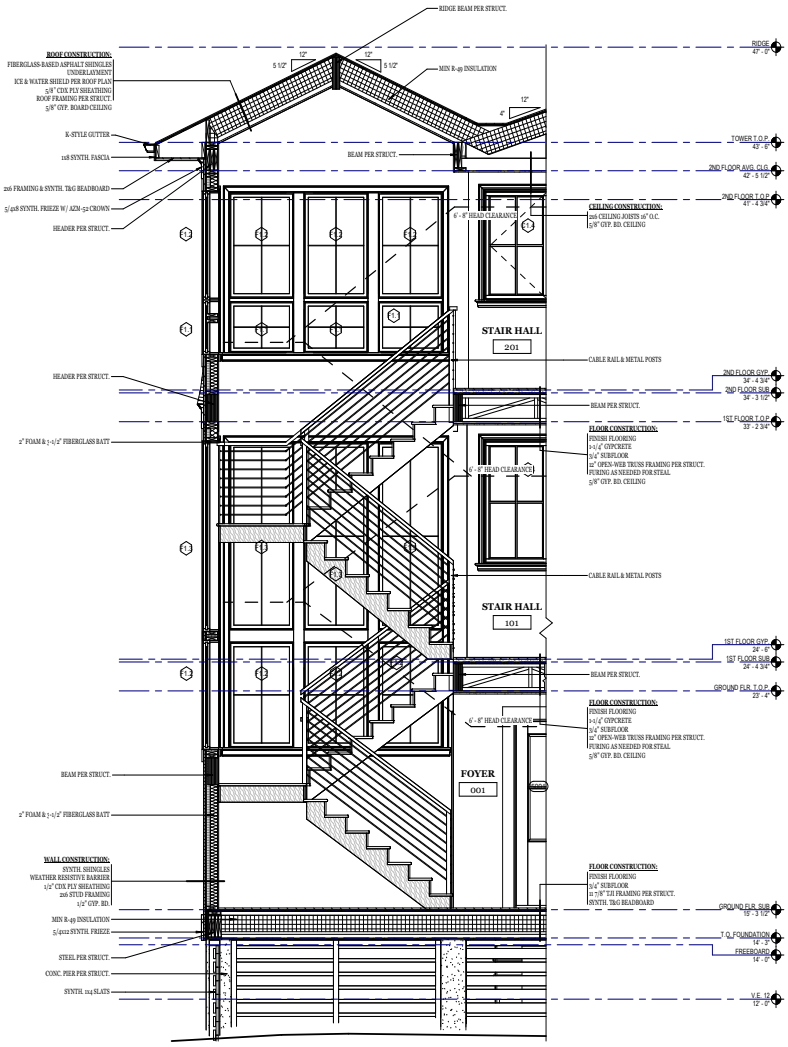


2 Section 5
1/2" = 1'-0"



1 STAIR SECTION
1/2" = 1'-0"

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WALL SECTIONS

A-300

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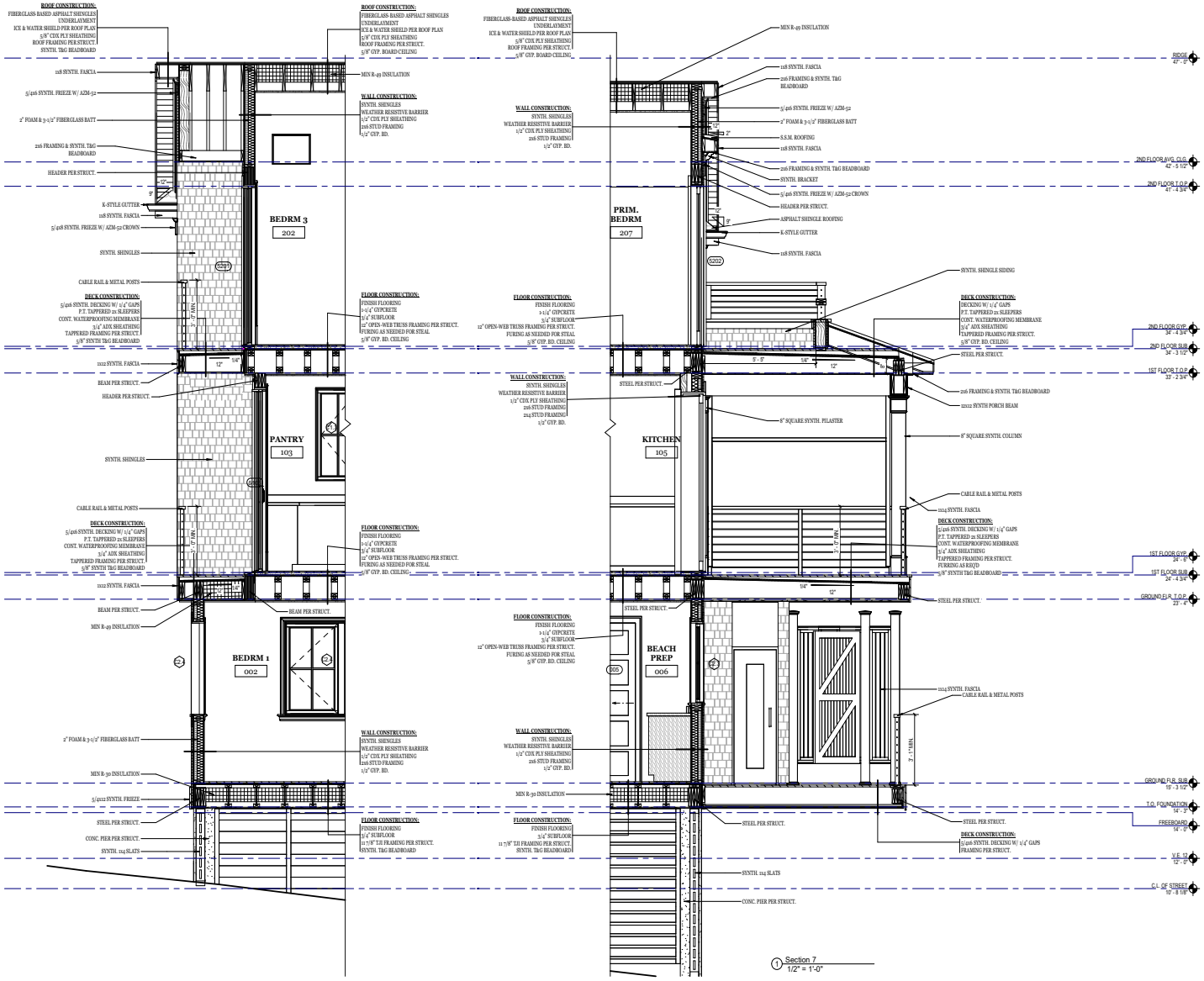

1 Section 7
1/2" = 1'-0"

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BUILDING SECTION

A-301

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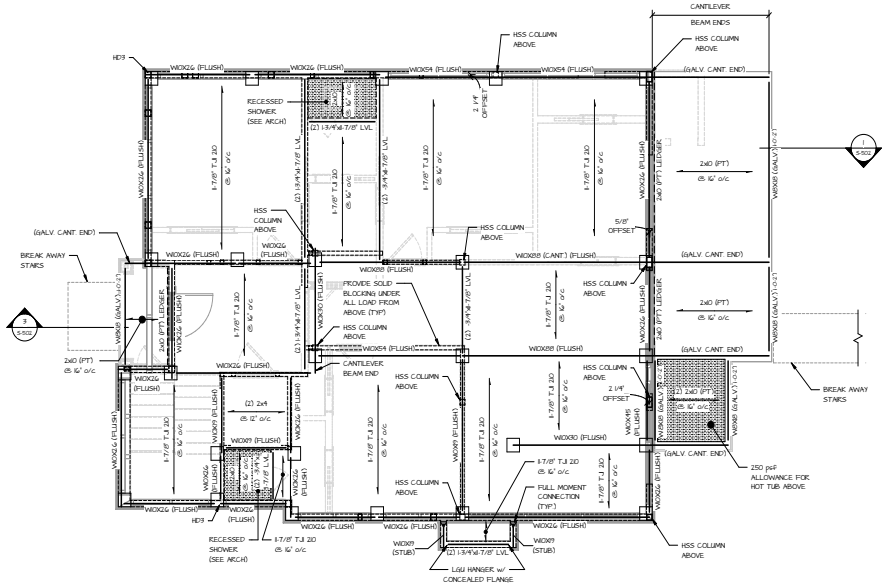
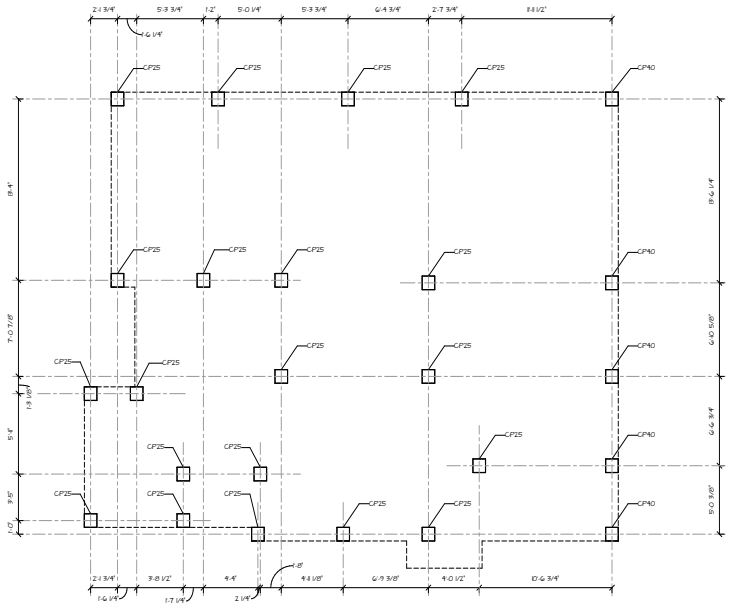


2 S-101 GROUND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. (PT) INDICATES PRESSURE TREATED.
2. TOP OF ALL STEEL BEAMS TO BE (2") BELOW TOP OF FLOOR JOISTS.
3. ALL 1-7/8" LVL MEMBERS TO BE FLUSH w/ FLOOR JOIST UNLESS NOTES OTHERWISE.
4. PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS FROM ABOVE.
5. ALL EXPOSED STEEL TO BE HOT DIP GALVANIZED.



1 S-101 PILE PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. CP25 INDICATES 12" x 12" CONCRETE w/ 25 TON MINIMUM CAPACITY.
2. CP40 INDICATES 12" x 12" CONCRETE w/ 40 TON MINIMUM CAPACITY.

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MARK A. NAUMANN
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8/18/2026
No. 17819
PROFESSIONAL ENGINEER

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PILE & GROUND FLOOR FRAMING PLAN

S-101

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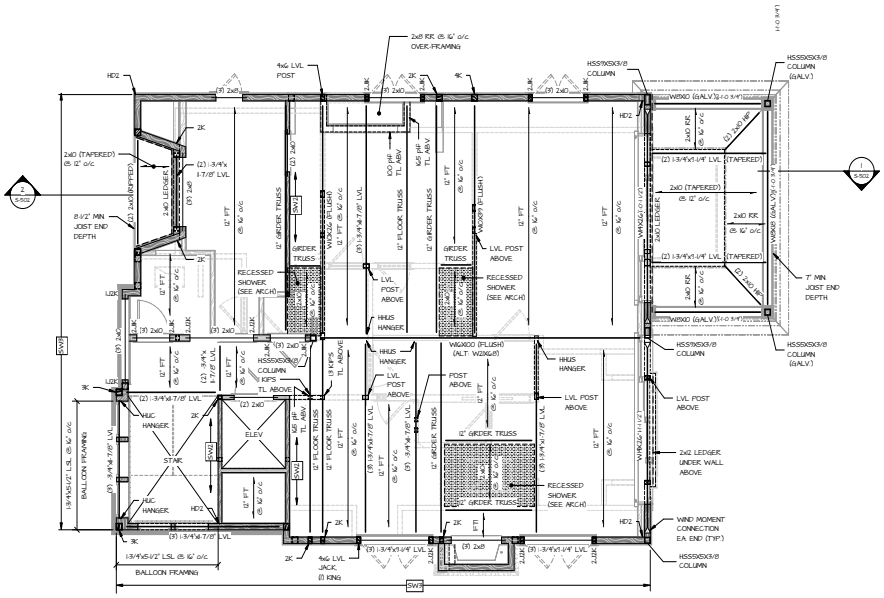
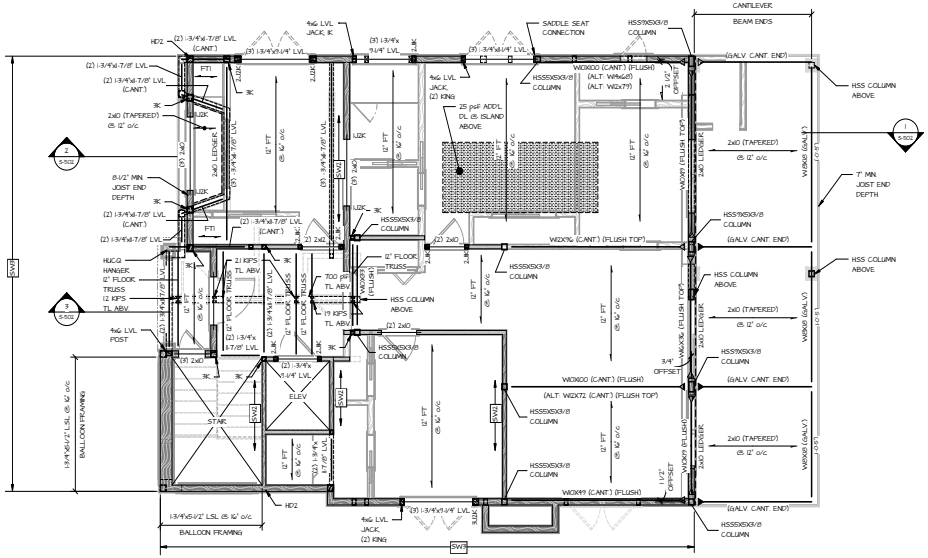


2 S-102 SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...J,K INDICATES NUMBER OF JACK & KING STUDS
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. TOP OF FLUSH STEEL BEAMS TO BE (1-1/2") BELOW TOP OF FLOOR TRUSSES UNLESS NOTED OTHERWISE.
4. 'FT' INDICATES FLOOR TRUSS.
5. 'FT1' INDICATES 12" FLOOR TRUSS @ 16" o/c
6. RR INDICATES ROOF RAFTER.



1 S-102 FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...J,K INDICATES NUMBER OF JACK & KING STUDS
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. TOP OF FLUSH STEEL BEAMS TO BE (1-1/2") BELOW TOP OF FLOOR TRUSSES UNLESS NOTED OTHERWISE.
4. 'FT' INDICATES FLOOR TRUSS.
5. 'FT1' INDICATES 12" FLOOR TRUSS @ 16" o/c
6. PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS FROM ABOVE.
7. ALL EXPOSED STEEL TO BE HOT DIP GALVANIZED.

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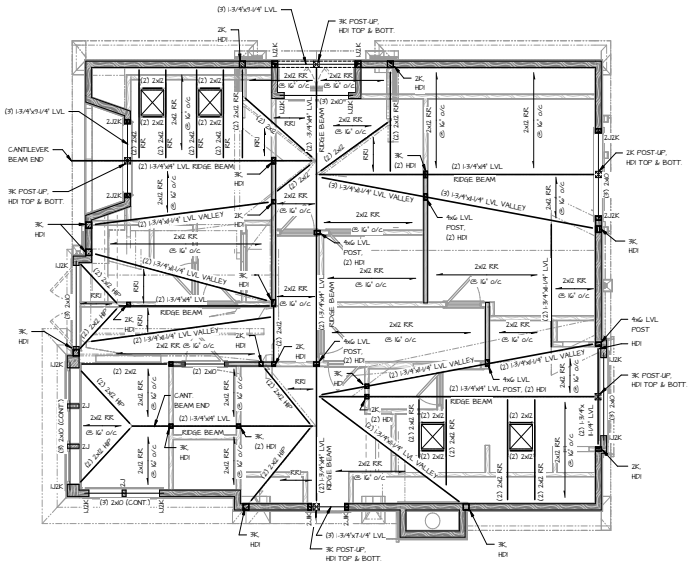
REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

FIRST FLOOR FRAMING & SECOND FLOOR FRAMING PLAN

S-102

PM 8/18/2026 10:09:26 PM



1 S-103 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...L/K INDICATES NUMBER OF JACK & KING STUDS.
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. 'RFR' INDICATES ROOF RAFTER.
4. 'RFR1' INDICATES 2x12 ROOF RAFTER @ 16" o/c.

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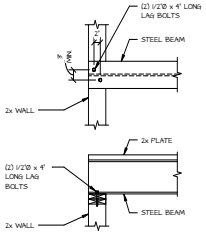
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

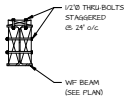
ROOF FRAMING PLAN

S-103

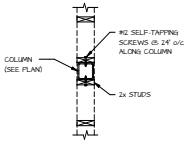
PM 8/13/2026 2:09:26 PM



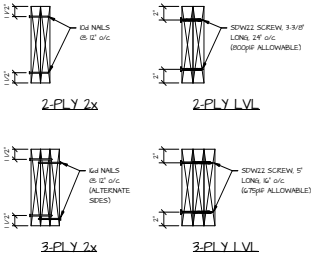
STEEL BEAM ON WOOD DETAIL



TYPICAL 'PACKED-OUT' WF BEAM



TYPICAL WALL STUDS TO STEEL COLUMN



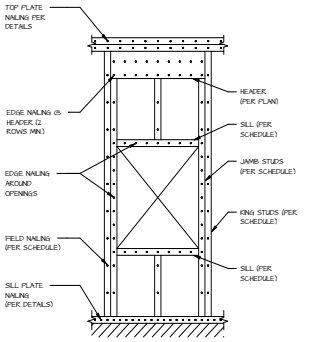
2-PLY 2x

2-PLY LVL

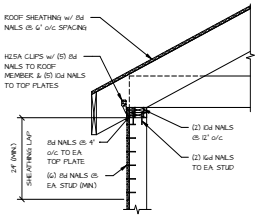
3-PLY 2x

3-PLY LVL

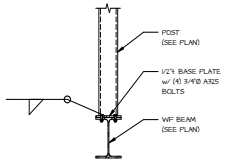
TYPICAL BUILT-UP BEAM DETAIL



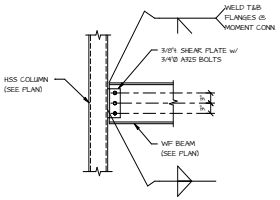
TYPICAL OPENING FRAMING



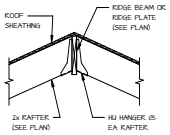
TYPICAL ROOF FRAMING



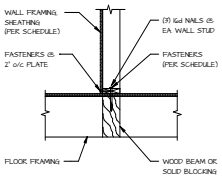
TYPICAL POST-UP CONNECTION



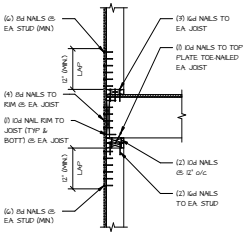
TYPICAL BEAM TO COLUMN CONNECTION



TYPICAL RAFTER TO RIDGE DETAIL

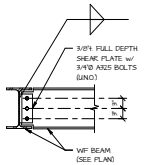


TYPICAL WALL TO BEAM FRAMING

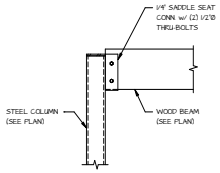


TYPICAL FLOOR TO FLOOR FRAMING

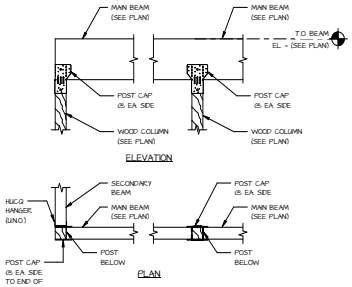
(SHEATHING LAP*)



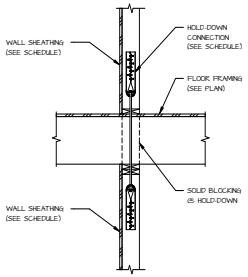
TYPICAL BEAM TO BEAM CONNECTION



SADDLE SEAT CONNECTION

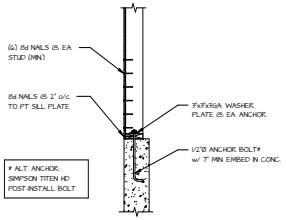


AC / ACHZ POST CAP DETAILS

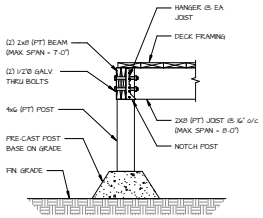


TYPICAL WALL END HOLD-DOWN DETAIL

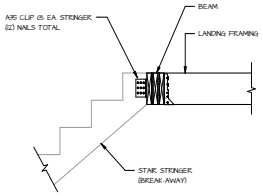
(AT WOOD FLOOR FRAMING)



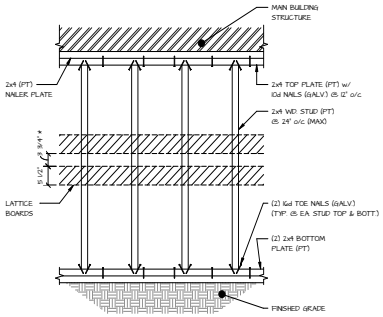
TYPICAL SILL ON FDN FRAMING



TYPICAL BREAKAWAY POST DETAIL

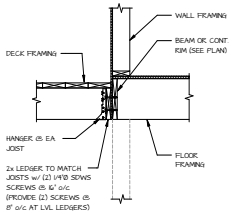


TYPICAL BREAKAWAY STAIR CONNECTION DETAIL

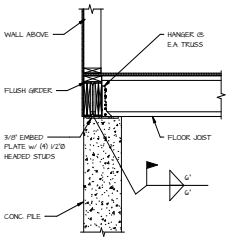


TYPICAL FEMA LATTICE DETAIL

* MINIMUM 3-3/4" SPACE BETWEEN 5-1/2" LATTICE BOARDS TO MEET 40% OPENING RATIO REQUIRED BY FEMA



TYPICAL LEDGER FRAMING



TYPICAL EDGE GIRDER DETAIL

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PROFESSIONAL ENGINEER

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

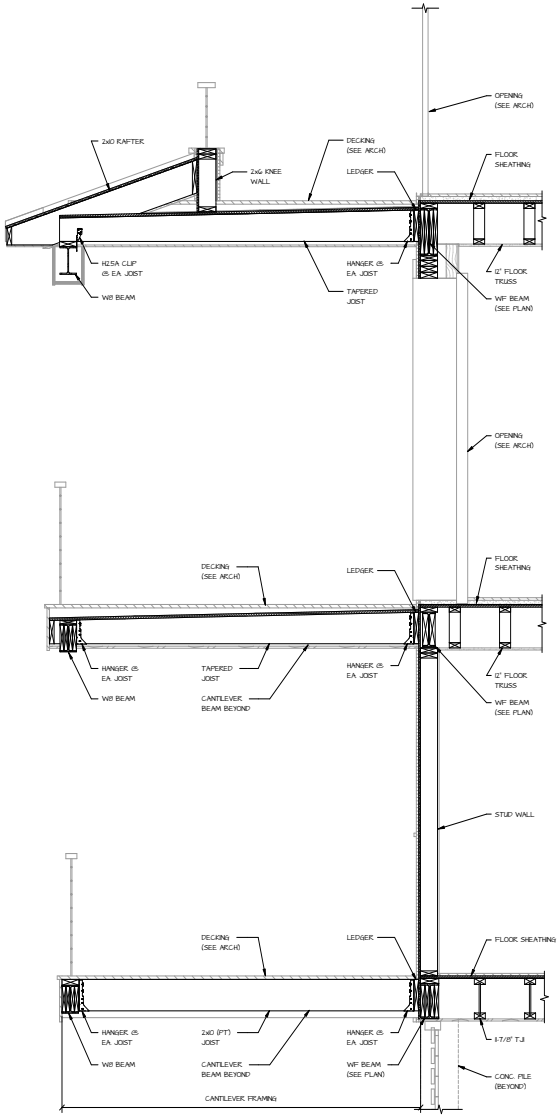
REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

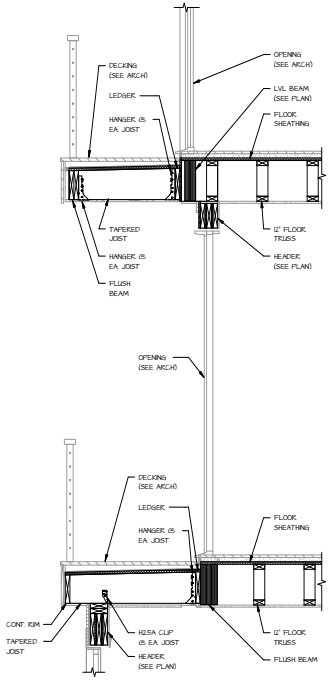
TYPICAL DETAILS & SECTIONS

S-501

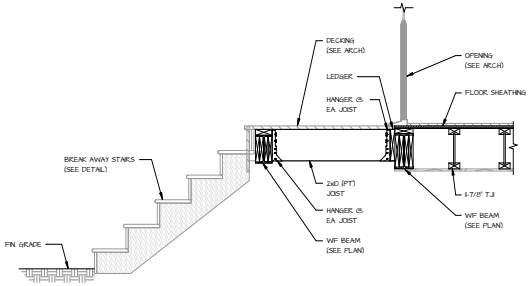
DGJ E:\CAD\S-0000.DWG 8/13/26



SECTION 1 / S-502



SECTION 2 / S-502



SECTION 3 / S-502

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

SECTIONS

S-502

PLOT DATE: 08/13/26

PROJECT SPECIFICATIONS & GENERAL NOTES

STRUCTURAL NOTES

1. PILOTTOWN ENGINEERING HAS DESIGNED ONLY THE STRUCTURAL ELEMENTS REPRESENTED ON THESE DRAWINGS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN. PILOTTOWN ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED CHANGES TO THESE DRAWINGS.
2. ANY ADDITIONAL CONSTRUCTION ADMINISTRATION SERVICES OR CHANGES TO THE PLANS WILL BE PAID FOR BY THE CONTRACTOR. UNLESS SPECIFICALLY APPROVED, ALL REQUESTED CHANGES IN WORK BY THE CONTRACTOR ARE CONSIDERED TO BE COMPLETED AT NO ADDITIONAL COST AND ARE SUBJECT TO THE APPROVAL OF THE DESIGN TEAM AND OWNER.
3. ALL STRUCTURAL INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AS WELL AS ALL REFERENCED STANDARDS CONTAINED THEREIN.
4. SCALING OF DRAWINGS TO DETERMINE DIMENSIONS OF ELEMENTS IS NOT PERMITTED.
5. DESIGN LOADS FOR THE PROJECT ARE LISTED AS FOLLOWS:
   a. SLAB ON GRADE LIVE LOAD: 100 psf
   b. SLAB ON GRADE DEAD LOAD: 50 psf
   c. FLOOR LIVE LOAD: 40 psf
   d. FLOOR DEAD LOAD: 15 psf
   e. DECK LIVE LOAD: 60 psf
   f. DECK DEAD LOAD: 10 psf
   g. ROOF LIVE LOAD: 30 psf
   h. ROOF DEAD LOAD: 20 psf
6. SNOW LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
   a. P_g = 20 psf
   b. I = 1.0
   c. C_t = 1.1
   d. C_e = 1.0
   e. P_f = 20 psf
7. LATERAL WIND LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
   a. V_{ult} = 130 mph
   b. V_{ASD} = 110 mph
   c. Risk Category = II
   d. Exposure Category = D
   e. Internal Pressure Coefficient = +/- 0.18
8. SEISMIC DESIGN CATEGORY = A
9. IN ACCORDANCE WITH FEMA REQUIREMENTS:
   a. THE BOTTOM OF THE LOWEST HORIZONTAL MEMBER OF THE GROUND FLOOR FRAMING LEVEL IS ELEVATED ABOVE THE BASE FLOOD ELEVATION.
   b. THE PILES AND STRUCTURE ATTACHED THERETO IS ANCHORED TO RESIST FLOTATION, COLLAPSE AND LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER LOADS ACTING SIMULTANEOUSLY ON ALL BUILDING COMPONENTS.
10. ALL FRAMING AT AND BELOW DESIGN FLOOD ELEVATION TO BE PRESSURE TREATED MATERIAL.
11. ALL DOORS TO BE BOTTOM SUPPORTED UNLESS NOTED OTHERWISE. NOTIFY ENGINEER OF ANY DOORS TO BE HUNG FROM FRAMING OR REQUIRING STRICTER DEFLECTION CRITERIA.
12. CONTRACTORS TO ALLOW FOR A 10 BUSINESS DAY REVIEW PERIOD BY THE DESIGN TEAM FOR ALL SHOP DRAWINGS REQUIRED.

FOUNDATIONS

1. ALL CONCRETE PILES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI WITH REINFORCING FOR THE FULL LENGTH OF THE PILE. PILES TO BE DRIVEN TO A MINIMUM CAPACITY OF 25 TONS. SEE PLAN FOR LOCATIONS OF HIGHER CAPACITY PILES REQUIRED.

STEEL

1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. ALL STRUCTURAL STEEL WIDE FLANGE (W) SHAPES SHALL BE ASTM A992 GRADE 50 (V50). ALL STRUCTURAL STEEL S, M, AND HP SHAPES SHALL BE ASTM A572 GRADE 50 (V50). ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL STEEL RECTANGULAR/SQUARE HOLLOW STRUCTURAL SECTIONS SHALL BE ASTM A500 GRADE B, FY=46 KSI.
3. ALL STEEL SHALL BE THOROUGHLY CLEANED IN ACCORDANCE WITH SSPC- SP3 AND HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
4. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED, AS DESCRIBED IN "LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE", AWS D1.1, TO PERFORM THE TYPE OF WORK REQUIRED.
5. ALL BOLTS USED FOR THE ANCHORAGE TO CONCRETE AS SPECIFIED ON THE DRAWINGS SHALL CONFORM TO ASTM F1554.
6. ALL STEEL WELDING RODS SHALL BE AS FOLLOWS:
   A. E70XX FOR STEEL CONNECTIONS
7. SUBMIT ALL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY FABRICATION.
8. STEEL FABRICATOR IS SOLELY RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR FOR THE PURPOSE OF SURVEYING AND VERIFICATION OF EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, ELEVATION, AND DIMENSIONS OF WALLS AND FRAMING THAT EXIST AT THE TIME OF THE STEEL ERECTION.
9. ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED. ANY POINTS OF WELDING SHALL BE TOUCHED UP IN THE FIELD WITH A ZINC-RICH PAINT BY THE STEEL ERECTOR.

TIMBER

1. ALL STRUCTURAL TIMBER FRAMING, WALLS, BLOCKING, ETC SHALL BE HEM FIR #2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 850 PSI Fv = 150 PSI E = 1,300,000 PSI

   ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
2. ALL FRAMER SERIES LUMBER SHALL BE M-12, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 1600 PSI Fv = 175 PSI E = 1,600,000 PSI
3. ALL EXTERIOR TIMBER FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE (SYP) #1 MINIMUM, STRESS GRADE LUMBER. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 1000 PSI Fv = 175 PSI E = 1,600,000 PSI
4. ALL STRUCTURAL TIMBER FOR WOOD TRUSS FRAMING SHALL BE SOUTHERN YELLOW PINE (SYP) #3 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 500 PSI Fv = 175 PSI E = 1,100,000 PSI

   ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".
5. ALL GLUE-LAMINATED BEAMS SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE, DOUGLAS FIR OR APPROVED EQUAL CONFORMING TO AITC 117-84 "STANDARD SPECIFICATION FOR STRUCTURAL GLUE-LAMINATED TIMBER OF SOFTWOOD SPECIES". THE MINIMUM ALLOWABLE PROPERTIES FOR GLUE-LAMINATED BEAMS ARE AS FOLLOWS:

   Fb = 2400 PSI Fv = 265 PSI E = 1,800,000 PSI.
6. ALL MICRO-LAM BEAMS (LVL) SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR MICRO-LAM BEAMS ARE AS FOLLOWS:

   Fb = 2600 PSI Fv = 285 PSI E = 1,900,000 PSI.
7. ALL PARALLAM BEAMS SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVAL EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR PARALLAM BEAMS ARE AS FOLLOWS:

   Fb = 2900 PSI Fv = 290 PSI E = 2,000,000 PSI
8. MAXIMUM DEFLECTION CRITERIA:
   A. FLOOR FRAMING = LL/600, TL/360
   B. ROOF FRAMING = LL/360, TL/240
9. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH LATEST EDITIONS OF THE FOLLOWING STANDARDS:
   A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION: TIMBER CONSTRUCTION MANUAL.
   B. AMERICAN WOOD COUNCIL: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
   C. AMERICAN PLYWOOD ASSOCIATION: PLYWOOD DESIGN SPECIFICATION.
   D. AMERICAN WOOD-PRESERVERS ASSOCIATION STANDARDS.
10. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TRUSS PLATE INSTITUTE (TPI) STANDARDS:
    A. THE NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, TPI 1.
    B. RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, DSB-89.
    C. GUIDE TO GOOD PRACTICE FOR INSTALLING, RESTRAINING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, BCSI.

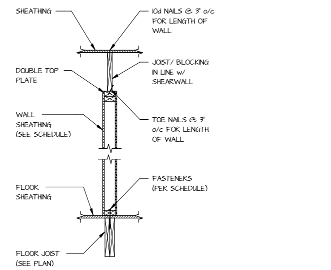
1. ALL PRE-ENGINEERED WOOD JOISTS (TJI,TJL,TJM,TJS,TJW, etc) AS NOTED ON PLAN SHALL BE AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL BRACING AND BRIDGING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

12. ALL TIMBER CONNECTIONS SHALL BE MADE USING PREFABRICATED CONNECTORS. TOE-NAILING IS NOT PERMITTED. SUBMIT MANUFACTURER'S DATA FOR REVIEW. FASTENERS SHALL BE AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL.
13. PROVIDE POST CAPS AND BASES AT ALL WOOD POSTS BY SIMPSON STRONGTIE OR APPROVED EQUAL.
14. PROVIDE A MINIMUM OF (2) STUDS FOR ALL HEADERS AND BEAMS UNLESS NOTED OTHERWISE.
15. ALL EXPOSED FASTENERS AND CONNECTIONS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
16. WOOD FLOOR TRUSSES ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE WOOD TRUSS, OR JOIST FABRICATOR SIGNED AND SEALED CALCULATIONS ARE TO BE SUBMITTED FOR REVIEW AND APPROVAL. DESIGNS SHALL REFLECT THE LOADING SHOWN IN THE STRUCTURAL DOCUMENTS. TRUSS FABRICATOR SHALL PROVIDE PREFABRICATED HANGERS AND CONNECTORS AS REQUIRED.
17. PROVIDE MINIMUM CONTINUOUS SOLID BLOCKING OR CROSS-BRIDGING LINES AT 8'-0" O/C MAX SPACING FOR ALL
    A. WOOD JOISTS.
    B. WOOD RAFTERS
    C. FLOOR TRUSSES
    D. PROVIDE ADDITIONAL X-BRIDGING AS REQUIRED BY FABRICATOR.
    E. PROVIDE A MINIMUM OF ONE LINE OF BLOCKING OR CROSS BRIDGING FOR ALL SPANS.
18. TREATED LUMBER SHALL BE PROVIDED AT ALL LOCATIONS WHERE LUMBER IS IN CONTACT WITH CONCRETE AND MASONRY FOUNDATION WALLS OR AT EXTERIOR OF BUILDING.
19. PROVIDE MINIMUM HU SERIES HANGERS CORRESPONDING TO BEAM DEPTH AT ALL FLUSH BEAMS UNLESS NOTED OTHERWISE.
20. PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE.
21. PROVIDE 2x BLOCKING BETWEEN WOOD STUDS AT INTERIOR BEARING WALLS AT 24" o/c.
22. SHEATHING FOR WALLS SHALL BE 1/2" THICK 32/16 SPAN RATING APA WOOD SHEATHING, EXPOSURE 1. ALL SHEATHING SHALL BE PLACED HORIZONTALLY AND SECURED IN ACCORDANCE WITH THE SHEAR WALL SCHEDULE SHOWN ON THE STRUCTURAL DRAWINGS. ALL JOINTS IN SHEATHING SHALL BE STAGGERED.
23. SHEATHING FOR FLOORS SHALL BE 3/4" THICK 20" SPAN RATING APA FLOOR SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. ALL EDGES IN FLOOR SHEATHING SHALL BE TONGUE & GROOVE. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD FLOOR DIAPHRAGMS.
24. SHEATHING FOR ROOFS SHALL BE 5/8" THICK 40/20 SPAN RATING APA PLYWOOD SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. FOR ROOF SHEATHING, USE PANEL CLIPS OR LUMBER BLOCKED EDGE SUPPORTS AS RECOMMENDED BY APA. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD ROOF DIAPHRAGMS.
25. PROVIDE (2) SIMPSON SDWS SCREWS AT 16" o/c OR EQUAL FOR DECK LEDGERS TO RIM BOARD UNLESS NOTED OTHERWISE. PROVIDE SIMPSON DTT2Z-SDS2.5 DECK-TO-HOUSE LATERAL CONNECTION WITHIN 24" FROM EACH END OF DECKS.

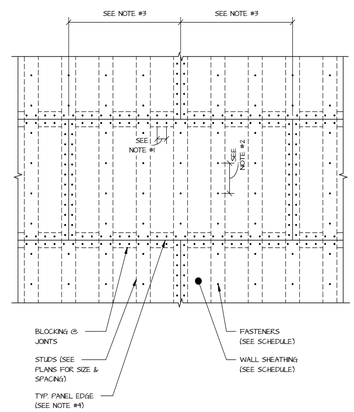
SHEAR WALL FRAMING SCHEDULE

MARK	SHEATHING	FASTENING	FLR TO FLR CONN.	WALL TO BEAM CONN.
SW1 SHEARWALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	8d NAILS @ 4" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	SHEATHING LAP/ NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING
SW2 SHEARWALL	1/2" GYPSUM BOARD w/ BLOCKED JOINTS (BOTH SIDES)	5d COOLER NAILS* @ 4" o/c SPACING @ PANEL EDGES & IN FIELD	10d NAILS @ 3" o/c (SEE DETAIL)	1/4"x5" SDS SCREW @ 32" o/c MAX INTO BEAM OR BLOCKING
SW3 SHEARWALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	8d NAILS @ 3" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	SHEATHING LAP/ NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING

*ALT. FASTENER: #6 SCREWS



TYPICAL INTERIOR SHEAR WALL DETAIL



TYPICAL SHEAR WALL PANEL FASTENING PATTERN

NOTES:
1) SEE SHEAR WALL SCHEDULE FOR NAIL SPACING AT PANEL EDGES.
2) SEE SHEAR WALL SCHEDULE FOR NAIL SPACING IN PANEL FIELD.
3) STAGGER ALL JOINTS IN SHEATHING.
4) SHEATHING SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKING. PANEL EDGES INCLUDE EDGES OF SHEATHING AROUND WINDOW AND DOOR OPENINGS.
5) SEE PLANS AND DETAILS FOR STUD SIZE AND SPACING.

FASTENER SCHEDULE

TYPE	PROPERTIES
5d COOLER NAIL	0.086"Ø x 1-5/8" LONG
6d COOLER NAIL	0.092"Ø x 1-7/8" LONG
8d NAIL	0.131"Ø x 2-1/2" LONG
10d NAIL	0.148"Ø x 3" LONG
16d NAIL	0.162"Ø x 3-1/2" LONG
#6 SCREW	0.138"Ø
#8 SCREW	0.164"Ø
#10 SCREW	0.190"Ø

HOLD-DOWN SCHEDULE

- SEE PLAN FOR HOLD-DOWN DESIGNATION LOCATION -

MARK	TYPE
HD1	SIMPSON H6 HURRICANE TIE
HD2	(2) SIMPSON HDUE3-SDS3 HOLDOWNS w/ 5/8"Ø THREADED ROD THRU FLOOR
HD3	SIMPSON HDUE5-SDS3 HOLDOWN w/ 5/8"Ø THREADED ROD THRU BEAM

SHEAR CONNECTION CAPACITY

BEAM SIZE	NUMBER OF 3/4"Ø A325 BOLTS	MAXIMUM SHEAR LOAD (kips)
W8	(2)	24.5
W10	(2)	24.5
W12	(3)	38.3
W14	(3)	38.3
W16	(4)	52.2
W18	(5)	65.2
W21	(6)	77.4
W24	(7)	89.5

MINIMUM HEADER SCHEDULE

MAX SPAN	SIZE (CLEAR SPAN)
4'-6"	(2) 2x10
6'-6"	(2) 2x12
8'-6"	(2) 1-3/4"x9-1/4" LVL

MINIMUM EXTERIOR JAMBS

MAX SPAN	JACKS	KINGS
5'-0"	(1)	(1)
6'-0"	(2)	(1)
7'-0"	(2)	(2)
SINGLE GARAGE	(2)	(2)
DOUBLE GARAGE	(2)	(3)

MINIMUM INTERIOR JAMBS

MAX SPAN	JACKS	KINGS
4'-0"	(1)	(1)
8'-0"	(2)	(1)

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STRUCTURAL ENGINEER
PILOT TOWN ENGINEERING
17585 Nassau Commons Blvd.
Unit 3- Lewes, DE 19958
PHONE: 302-703-1770
www.pilottownengineering.com
PROJECT NUMBER: 105.045

MARK A. NAUMAN II LICENSE 8/19/2026 No. 17515 DELAWARE PROFESSIONAL ENGINEER

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-005
DRAWN BY: JWB

SCHEDULES & GENERAL NOTES

S-503

8/12/2026 3:09:21 PM

Deed/Lease/Sales contract

CONTRACT FOR CONSTRUCTION

THIS AGREEMENT, is made this September 26th, 2025 by and between MARNIE CUSTOM HOMES, LLC, a Delaware limited liability company (hereinafter, "Contractor"), *and* SB Seascape LLC hereafter collectively referred to as "Owner"):

WHEREAS Contractor is authorized to construct homes in the State of Delaware and is fully and appropriately licensed and insured per industry standards, and

WHEREAS, Owner is the owner of real property known as **TAX MAP 134-20.08-192.00** being known as **706 South Ocean Drive, South Bethany Beach DE 19930** (the "Premises"), and desires to engage Contractor to build and construct a new home on the Premises,

NOW THEREFORE, the parties hereby undertake and agree as follows:

1. CONSIDERATION: In consideration of the full performance of the covenants, promises and performance provided for herein, Owner agrees to pay Contractor the **COST for the construction of a new home on the Premises PLUS A FEE OF 20%. THE COST SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, SUBCONTRACTS, DEMOLITION and PERMIT FEES FOR CONSTRUCTION AS FURTHER DESCRIBED IN THE CONTRACT DOCUMENTS. Owner shall pay the entire cost of construction plus Contractor's Fee.** Contractor will not make adjustments to the Scope of Construction without notice to and the consent of Owner. Contractor shall prepare a Draw Schedule which shall detail the estimated costs and fees. Owner acknowledges that the Draw Schedule contains estimates regarding the percent complete and the scheduling of tasks. Owner is responsible for payment of all costs plus the Contractor's Fee.

Contractor shall notify Owner when draw payments are due under the Draw Schedule, and payment shall be made by Owner within five (5) days of such notice by Contractor.

2. COMPLETION OF HOME: Contractor agrees to obtain a certificate of occupancy **within nine (9)-months from the completion of the foundation**, subject however, to any delays beyond the control of the Contractor which may include but are not limited to acts of God, weather, war, availability of materials, Owner caused delays, governmental requirements or regulations, issuance of building permits, compliance with building, zoning, and planning laws, ordinances, regulation or orders, and litigation or threatened litigation pertaining to any of the foregoing. The nine (9) month period shall be extended by the length of time of any community building moratorium or restriction.

3. CONTRACT DOCUMENTS: The following documents, all of which are incorporated by reference as if fully set forth herein, constitute the Contract Documents: (a) this Agreement, (b) the Building Permit, (c) the Draw Schedule, (d) the Plans and Specifications, (e) Owner's Selection Sheet, and (f) changes agreed to by Owner and Contractor.

4. CONTRACTOR'S DUTIES: The new home shall be constructed in accordance with the Contract Documents, and Contractor shall construct the new home and be responsible for completion of all construction up to and including the issuance of the Certificate of Occupancy.

5. OWNERS' DUTIES: Owner represents and warrants to Contractor as follows:

(a) Owner has fee simple title to the Premises which is good and marketable and insurable by a reputable title insurance company, and that Owner is authorized to enter into this Agreement;
(b) Adequate access to the Premises exists, such that Contractor can without hindrance perform its obligations under this Agreement;
(c) The Premises is presently free and clear of any and all encumbrances, easements, liens and restrictions which may impair the Contractor's performance;
(d) Owner will cooperate with Contractor and will not obstruct or hinder Contractor's work;

(e) Owner will timely make all Owner required selections and timely provide Owner provided equipment;
(f) Owner shall pay Contractor in accordance with the Draw Schedule and this Agreement.

If Owner is in breach of any of the foregoing representations and warranties, Contractor shall, at its option, with five (5) days' notice to cure, have the right to terminate this Agreement. In the event of termination, Contractor shall be entitled to retain all draw payments received and to recover from Owner all costs, fees, and Contractor's Fee for work performed to the date of termination, and any costs of termination or liability to third parties as a result of the termination.

6. SELECTIONS: Contractor will construct the new home from the Owner's Selection Sheet. The Selection Sheet shall be based on the Owner's selections in consultation with the Contractor. Owner shall make all selections within 60 days of the Construction Start Date. Should Owner fail to make selections as required, Contractor will make the selections which shall be binding on the Owner.

7. PAYMENT: After notice to Owner that the work required to obtain a draw is complete, the Owner shall pay Contractor within five (5) days from the date of notice by bank wire transfer or check**.** If payment is not made to Contractor within five (5) days of notice then Contractor may, at its option, stop work until payment of the draw is made. The contract time shall be extended. Any additional costs and expenses incurred due to an Owner's failure to pay shall be the responsibility of the Owner. Owner shall pay a late fee of 5% percent if any draw payment is more than ten (10) days late.

8. CHANGES/OWNER SUPPLIED MATERIAL OR EQUIPMENT:
(a) Owner may make changes in the work with Contractor's consent. Owner agrees to pay 100% of the cost of any such change plus Contractor's Fee in the immediately following draw. Owner acknowledges that changes may impact the schedule and constitute an Owner caused delay.
(b) Contractor has the absolute right to refuse to allow Owner to supply any of the material or equipment for the work. Any Owner supplied material or equipment must be included in the Contract Documents at the time this Contract is entered into, and the Owner must timely supply the purchase documents and installation information to the Contractor. If the Contract Documents permit Owner to supply any material or equipment, Contractor shall be entitled to Contractor's Fee on the cost of any such material or equipment. Any expenses incurred by Contractor due to the late delivery of any Owner supplied material or equipment shall be paid to Contractor by Owner, and the contract time shall be extended.
(c) Storage of any Owner supplied material or equipment is the sole responsibility of the Owner and shall not interfere with the Contractor's work. The Owner may store supplied material or equipment at the construction site with the consent of the Contractor.
(d) Any delays due to late delivery shall constitute an Owner caused delay.

9. WARRANTIES: Contractor shall provide Owner any Manufacturer's warranties and surveys upon receipt of the Final Draw payment. Contractor shall perform the work required by the Contract Documents in compliance with applicable homebuilding industry standards, and in accordance with local standards and practices then in effect. Contractor warrants that Contractor supplied materials incorporated into the new home shall be new and of good quality; and that Contractor's work shall be free from defects and/or deficiencies for a period of one year from the date of issuance of the certificate of occupancy. Owner shall notify Contractor of any warranty work in writing and Contactor shall promptly remedy any such defective or deficient work.

10. INDEMNIFICATION: To the fullest extent permitted by law, Contractor shall indemnify and hold harmless Owner from and against claims, damages, losses and expenses, arising out of or resulting from performance of Contractor's work under this Agreement, provided that any such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the work itself), but only to the extent caused by the negligent acts or omissions of Contractor or anyone directly or indirectly employed by Contractor or anyone for whose acts Contractor may be liable.

11 ASSIGNMENT/SUBCONTRACTORS: This Agreement may not be assigned by either party. Owner acknowledges that Contactor contracts with various subcontractors to perform portions of the work on such

terms and with such conditions as the Contractor reasonably believes to be consistent with industry pricing and standards. Contractor agrees to provide Owner with a list of its subcontractors upon the request of Owner.

12. RISK OF LOSS: The risk of loss shall be the responsibility of Owner at all times including during the construction of the new home. Contractor shall obtain "Builder's All Risk Extended Coverage" insurance which shall be part of the cost of construction paid for by Owner.

13. POSSESSION: Owner shall not take possession of the new home until the Final Draw has been paid to Contractor. Until payment of the Final Draw, Owner hereby gives Contractor full authority and permission to occupy and possess the Premises. This authority shall be deemed a license to occupy the Premises by Contractor as necessary to perform this Agreement. Prior to payment of the Final Draw, Contractor shall have the absolute right to allow others entry onto the Premises, including the right to exhibit the new home.

14. INSPECTION AND TURNOVER: Owner shall only be entitled to inspect the new home upon reasonable advance notice to Contractor. The Agreement shall be closed out as follows:
(a) Pre-Completion walk-through: Two weeks prior to the issuance of the Certificate of Occupancy, Owner and Contractor shall inspect the new home. The parties will identify those items remaining to be completed or corrected and include those items on a punch list. At that time, Contractor shall provide to the Owner the final Projected Cost of construction of the new home and the amount of the Final Draw.
(b) Settlement walk-through/Turnover: Upon issuance of the Certificate of Occupancy, Owner and Contractor shall inspect the new home. The parties will identify those punch list items remaining to be completed and create a final, agreed punch list. Owner shall pay the Final Draw less 3% of the Final Draw amount. Contractor shall provide to Owner all keys.
(c) 30-day walk-through: 30 days after Settlement, Owner and Contractor shall inspect the new home. The parties shall identify those items remaining to be performed from the punch list and identify any warranty items to be performed. Contractor shall correct these items as quickly as possible, and in no event later than ninety (90) days of the issuance of Certificate of Occupancy**.** The time shall be extended for delays beyond the control of the Contractor, including any community building moratorium or restriction.
(d) The 3% withheld from the Final Draw, along with any adjustments to the final Projected Cost of the work for actual costs incurred, shall be due when Contractor completes all punch list items. Upon receipt of this payment, Contractor will furnish releases of lien to Owner.

15. CERTIFICATE OF OCCUPANCY: Issuance of the Certificate of Occupancy and the taking of possession by Owner shall constitute conclusive evidence of final completion of all items of construction except for uncompleted punch list items, and shall constitute final acceptance of the work by Owner and acknowledgement by Owner that the new home has been constructed in accordance with the Contract Documents.

16. PAYMENT/DEFAULT: In the event that Owner fails to make any payment when due then Contractor shall, after written notice with three additional days to cure, be entitled to suspend any further performance until the payment is made. Interest at 2% per month shall accrue on any payment over 30 days late. Time is of the essence with regard to any Owner payment due to Contractor under this Agreement. Owner's deposit shall not be refunded for any reason. In the event of any breach by Owner of this Agreement, or any failure by Owner to make payment as required herein, Owner shall be responsible for any and all attorney's fees, expert witness fees, arbitration fees and court costs and any other costs and expenses incurred by Contractor to enforce this Agreement or to recover any payment due.

17. PRE-CONSTRUCTION TERMINATION: If Owner terminates this Agreement prior to commencement of construction, Contractor shall be entitled to compensation for the following: 1) all costs incurred through the effective date of cancellation; 2) all costs for materials, labor, or subcontractor services which cannot be cancelled or refunded; 3) a reasonable allocation (as determined by Contractor) of Contractor's overhead and administrative costs, including, but not limited to, project management, permitting, coordination with third-party vendors or suppliers, and related services; and 4) as liquidated damages and not as a penalty, a cancellation fee which is intended to reasonably compensate Contractor for reserving scheduling capacity, providing preconstruction planning and coordination services, and foregoing other potential work

opportunities. The cancellation fee shall be the lesser of ten percent (10%) of the total estimated costs as reflected in the most current Draw Schedule or $100,000.00.

18. EXTENSION OF TIME: In the event completion is delayed due to acts of God, inclement weather, strikes, lockouts or other labor disputes, acts of war, emergency proclamation or government regulations affecting either Contractor or Contractor's suppliers of material or labor, Owner caused delays or for any other reason beyond Contractor's control, it is agreed that the delivery and completion date hereunder shall be extended for a period of time sufficient to enable Contractor to complete the work.

19. DISPUTE RESOLUTION/ CHOICE OF LAW: Any controversy or claim arising out of or relating to this Agreement, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association under its Construction Industry Arbitration Rules, and judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. **OWNER AND CONTRACTOR HEREBY WAIVE ANY RIGHT TO TRIAL BY JURY OF ANY DISPUTE ARISING OUT OF OR RELATING TO THIS AGREEMENT.** This Agreement shall be construed and interpreted in accordance with the laws of the State of Delaware. Owner hereby waives and Contractor shall not be liable for, any consequential damages arising out of or relating to this Agreement including, but not limited to, lost rental income, loss of use, rental expenses, lost income or profit, or increased loan or financing costs.

20. SEVERABILITY: If any provision of this Agreement is held to be invalid or unenforceable in any jurisdiction, such invalidity or unenforceability shall not affect the validity or enforceability of any other provision.

21. ENTIRE AGREEMENT: This Agreement contains the entire agreement between the parties. No modification of this Agreement shall be binding unless such modification shall be in writing and signed by an authorized agent of the parties hereto. The sole individual who is authorized to sign any agreement on behalf of Marnie Custom Homes or consent to any change in this Agreement is Marnie Oursler, Managing Member.

MARNIE CUSTOM HOMES, LLC

Marnie Oursler

By Marnie Oursler (Oct 1, 2025 08:45:42 EDT)

MARNIE OURSLER, Managing Member

Owner:

John Rogers

John Rogers (Sep 30, 2025 17:56:44 EDT)

Rev. 6/6/2025

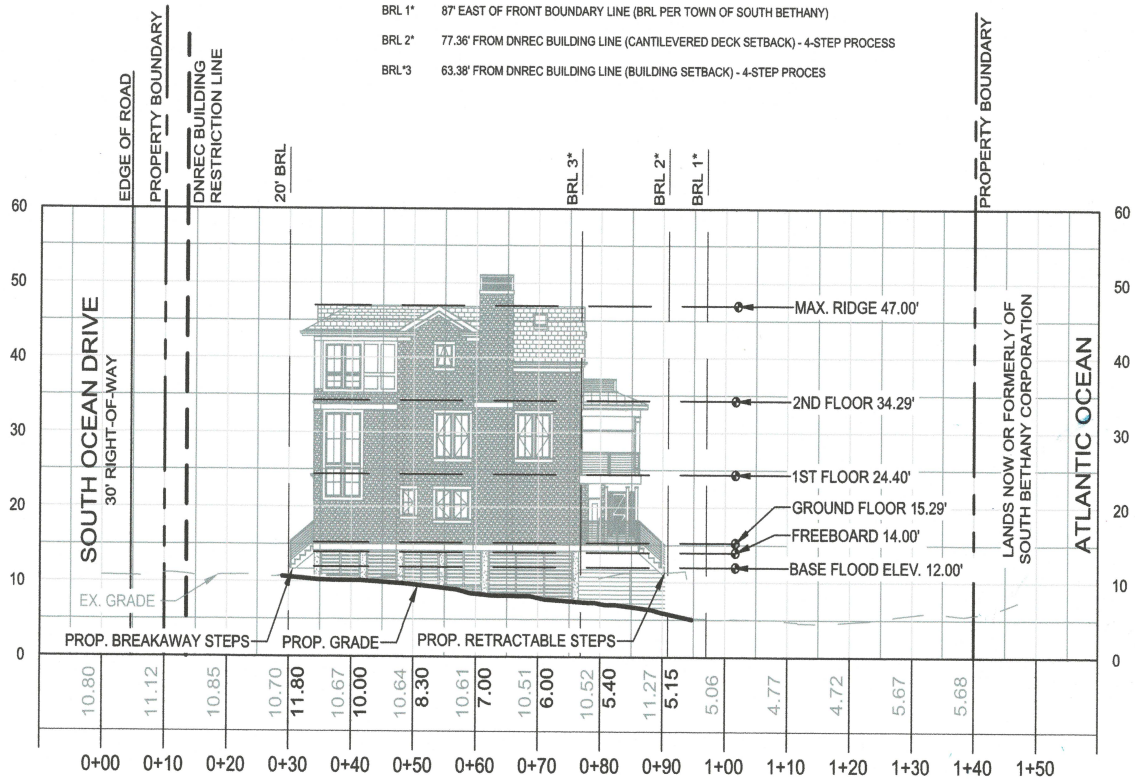
Structure profile view document

REAR BUILDING RESTRICTION LINE NOTES:

BRL 1* 87' EAST OF FRONT BOUNDARY LINE (BRL PER TOWN OF SOUTH BETHANY)

BRL 2* 77.36' FROM DNREC BUILDING LINE (CANTILEVERED DECK SETBACK) - 4-STEP PROCESS

BRL*3 63.38' FROM DNREC BUILDING LINE (BUILDING SETBACK) - 4-STEP PROCES



0' 10' 20'

HORIZ. 1" = 20'
VERT. 1" = 20'

DNREC PROFILE PLAN

FOR PROPERTY KNOWN AS:
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930
LOT 3, BLOCK 8 - SOUTH BETHANY CORPORATION
TM: # 134-20.08-192.00
BALTIMORE HUNDRED | SUSSEX COUNTY | DELAWARE
DATE: AUGUST 24, 2026 SCALE: 1" = 20'
PROJECT: MACH036

SURVEYOR CERTIFICATION:

I, RYAN M. PHIFER, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

RYAN M. PHIFER, P.L.S. DE No. 829 DATE 8/27/2026

RYAN M. PHIFER No. 829 REGISTERED PROFESSIONAL LAND SURVEYOR DELAWARE

SCALED. ENGINEERING
Scaled Engineering Inc.
20246 Coastal Highway
Rehoboth Beach, DE 19971
Phone: (302) 236-3600

NOTES:
BASE FLOOD ELEVATION MUST BE VERIFIED BY THE HOME OWNER, CONTRACTOR, AND HOMEOWNER'S ASSOCIATION PRIOR TO ANY CONSTRUCTION.

Cantilevered deck details plan document

ROGERS RESIDENCE

706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

APPLICABLE CODES:

- VE-12' + 24" FREEBOARD = 14'
- LOT AREA = 6,500 SQFT
- 12' (DNREC LINE)
- GROUND FLOOR - 15' 4.25"
- FIRST FLOOR - 24' 6.75"
- SECOND FLOOR - 34' 5.5"
- HEIGHT=
  1. ℄ OF STREET (10.68') + 35' = 45.68' (freeboard is BFE +2 ')
  2. VE ZONE = BFE + 35 = 47' (freeboard/struct is BFE +2')

- MINIMAL GRADING ALLOWED
  1. FAR = 4,615 SQFT ; LAR = 3,900 SQFT
  2. LIVIBLE FOOTPRINT PER DNREC = 1,526.5 SQFT
  3. 4:12 MIN ROOF PITCH
  4. COVERAGE BELOW 12" DOES NOT COUNT
  5. SET BACKS
     A. SIDE SETBACKS = 8'
     B. FRONT = 20'
     C. REAR = PER DNREC BLOCK PLAN
     D. REAR DECK = PER DNREC BLOCK PLAN

SQUARE FOOTAGES

SQUARE FOOTAGE:

LAR ALLOWABLE:	**3,900**	**SQFT**
GROUND FLOOR	1,357	SQFT
FIRST FLOOR	1,320	SQFT
SECOND FLOOR	1,194	SQFT
LAR TOTALS	**3,871**	**SQFT**

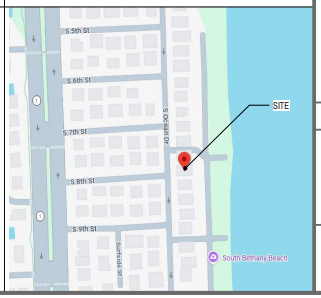
FAR ALLOWABLE:	**4,615**	**SQFT**
GROUND FLOOR	1,678	SQFT
FIRST FLOOR	1,664	SQFT
SECOND FLOOR	1,270	SQFT
FAR TOTALS	**4,612**	**SQFT**

SHEET INDEX

CS	COVER SHEET
A-100	FOUNDATION & GROUND FLOOR PLANS
A-101	FIRST & SECOND FLOOR PLANS
A-102	ROOF PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS
A-300	WALL SECTIONS
A-301	BUILDING SECTION
S-101	PILE & GROUND FLOOR FRAMING PLAN
S-102	FIRST FLOOR FRAMING & SECOND FLOOR FRAMING PLAN
S-103	ROOF FRAMING PLAN
S-501	TYPICAL DETAILS & SECTION
S-502	SECTIONS
S-503	SCHEDULES & GENERAL NOTES

VICINITY MAP

NOT TO SCALE



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www.marniehomes.com

STRUCTURAL ENGINEER

PILOT TOWN ENGINEERING
17585 Nassau Commons Blvd.
Unit 3- Lewes, DE 19958
PHONE: 302-703-1770
www.pilottownengineering.com

DOUGLASS S KUCHTA
NO. S5-0018898
STATE OF DELAWARE
REGISTERED ARCHITECT

Douglass Kuchta

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: TJD

COVER SHEET

CS

8/19/2026 12:17:23 PM

EXTERIOR DOOR SCHEDULE

DOOR #	OPERATION	FRAME SIZE WIDTH	FRAME SIZE HEIGHT	PANEL DEPTH	COMMENTS
GROUND FLR. SUB					
g001		3' - 6"	7' - 0"	1 3/4"	
g002	SWING	2' - 0"	7' - 0"	1 3/4"	
g003		9' - 0"	7' - 0"	1 3/4"	

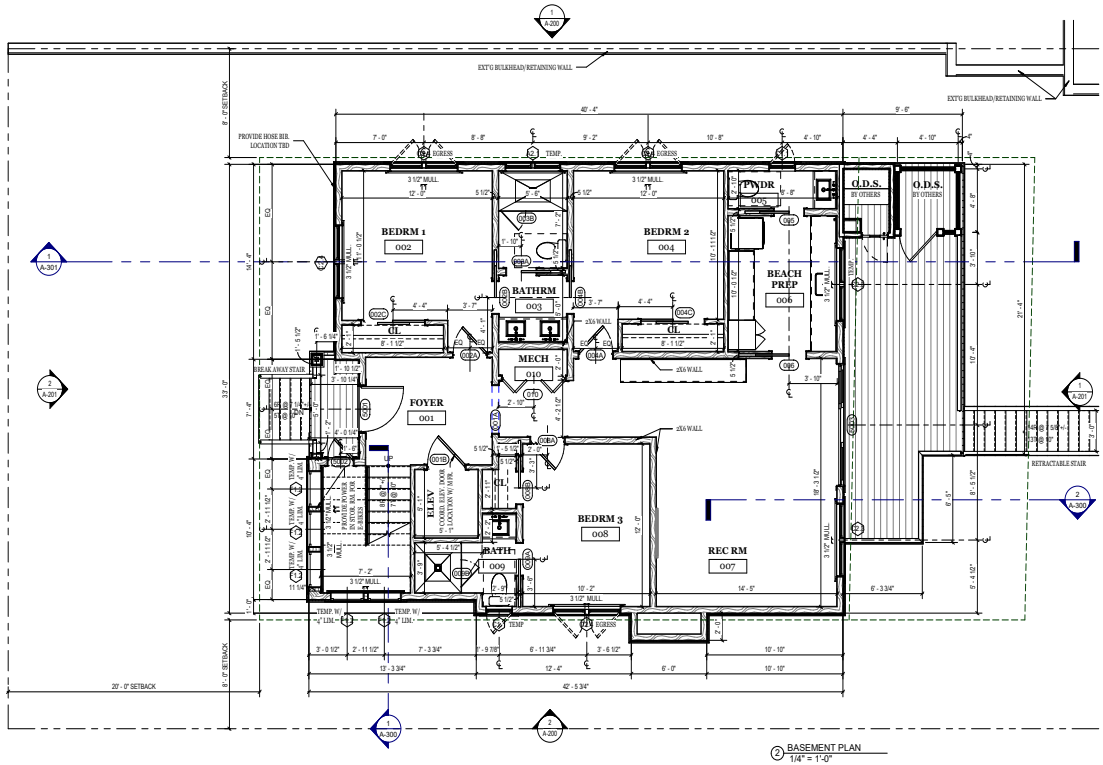
INTERIOR DOOR SCHEDULE

DOOR #	OPERATION	PANEL SIZE WIDTH	PANEL SIZE HEIGHT	PANEL DEPTH	COMMENTS
GROUND FLR. SUB					
001A	CASED OPENING	3' - 0"	7' - 0"	0"	
001B	SWING	3' - 0"	7' - 0"	1 3/4"	
002A	SWING	2' - 8"	7' - 0"	1 3/4"	
002B	POCKET	2' - 4"	7' - 0"	1 3/4"	
002C	SLIDING - 2	5' - 0"	7' - 0"	1 3/4"	
003A	POCKET	2' - 4"	7' - 0"	1 3/4"	
003B	SHOWER	2' - 0"	5' - 11 3/4"	1 1/2"	
004A	SWING	2' - 8"	7' - 0"	1 3/4"	
004B	POCKET	2' - 4"	7' - 0"	1 3/4"	
004C	SLIDING - 2	5' - 0"	7' - 0"	1 3/4"	
005	POCKET	2' - 4"	7' - 0"	1 3/4"	
006	POCKET	2' - 8"	7' - 0"	1 3/4"	
008A	SWING	2' - 8"	7' - 0"	1 3/4"	
008B	POCKET	2' - 4"	7' - 0"	1 3/4"	
009A	POCKET	2' - 4"	7' - 0"	1 3/4"	
009B	SHOWER	2' - 0"	5' - 11 3/4"	1 1/2"	
010	BIFOLD - 2	5' - 0"	7' - 0"	1 3/4"	

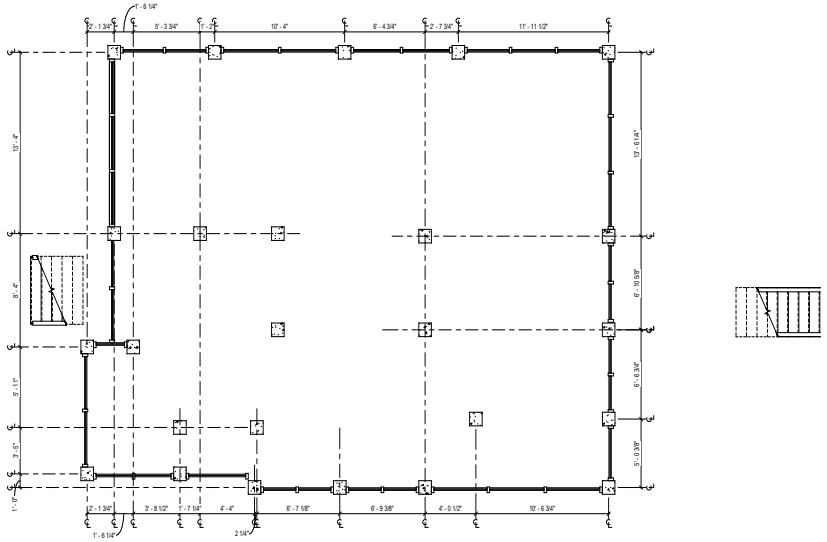
WINDOW SCHEDULE

MARK	OPERATION	UNIT SIZE WIDTH	UNIT SIZE HEIGHT	COMMENTS
A1.2	AWNING	2' - 6"	3' - 0"	
A2.2	AWNING-2	4' - 3 1/2"	2' - 6"	
C1.1	CASEMENT	2' - 0"	3' - 6"	
C1.3	CASEMENT	2' - 0"	4' - 0"	
C1.4	CASEMENT	2' - 6"	4' - 6"	
C2.1	CASEMENT - 2	4' - 0"	4' - 6"	
C2.2	CASEMENT - 2	5' - 0"	4' - 6"	
C2.3	CASEMENT - 2	5' - 3 1/2"	3' - 6"	MULLED
C2.4	CASEMENT - 2	5' - 3 1/2"	4' - 0"	MULLED
C2.5	CASEMENT - 2	5' - 3 1/2"	6' - 0"	MULLED W/ 4" LIMITER
C2.6	CASEMENT - 2	5' - 7 1/2"	5' - 0"	MULLED
C2.7	CASEMENT - 2	5' - 10"	4' - 0"	MULLED
F1.1	FIXED	2' - 8"	2' - 0"	
F1.2	FIXED	2' - 8"	4' - 0"	
F1.3	FIXED	2' - 8"	7' - 0"	
SL1	SKYLIGHT	1' - 9 1/2"	2' - 3"	VELUX C01

EXISTING CONSTRUCTION TO REMAIN
NEW STUD CONSTRUCTION
NEW CMU CONSTRUCTION
NEW CONCRETE CONSTRUCTION



② BASEMENT PLAN
1/4" = 1'-0"



① FOUNDATION PLAN
1/4" = 1'-0"

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DOUGLASS S KUCHTA
NO. S5-0018899
STATE OF DELAWARE
REGISTERED ARCHITECT

Douglass Kuchta

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: TJD, CRD

FOUNDATION & GROUND FLOOR PLANS

A-100

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EXTERIOR DOOR SCHEDULE

DOOR #	OPERATION	FRAME SIZE WIDTH	FRAME SIZE HEIGHT	PANEL DEPTH	COMMENTS
1ST FLOOR SUB					
S201		12' - 5"	7' - 10 23/32"	2 1/4"	
S202		12' - 5"	7' - 10 23/32"	2 1/4"	
S203	FRENCH SLIDER RA	5' - 0"	8' - 0"	1 3/4"	
2ND FLOOR SUB					
S201	FRENCH SLIDER RA	5' - 0"	7' - 0"	1 3/4"	

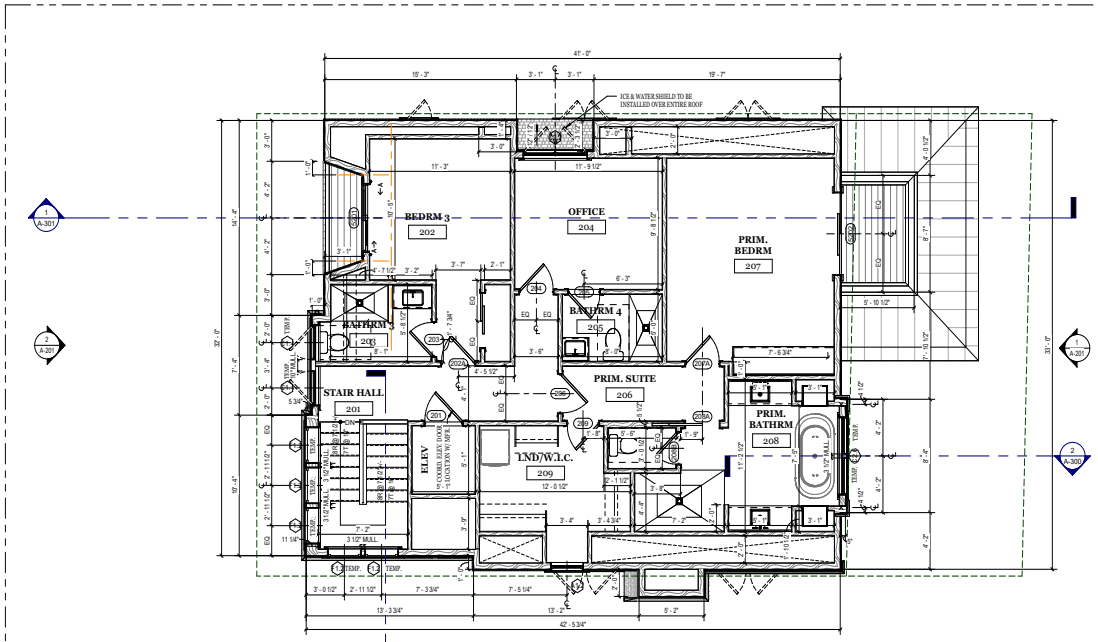
INTERIOR DOOR SCHEDULE

DOOR #	OPERATION	PANEL SIZE WIDTH	PANEL SIZE HEIGHT	PANEL DEPTH	COMMENTS
1ST FLOOR SUB					
101	SWING	3' - 0"	7' - 0"	1 3/4"	
102	SWING	2' - 6"	7' - 0"	1 3/4"	
103	POCKET	2' - 6"	7' - 0"	1 3/4"	
104	SWING	2' - 8"	7' - 0"	1 3/4"	
105	CASED OPENING	2' - 8"	7' - 0"	0"	
2ND FLOOR SUB					
201	SWING	3' - 0"	7' - 0"	1 3/4"	
201A	SWING	2' - 8"	7' - 0"	1 3/4"	
203	SWING	2' - 6"	7' - 0"	1 3/4"	
204	SWING	2' - 8"	7' - 0"	1 3/4"	
206	SWING	2' - 10"	7' - 0"	1 3/4"	
207A	SWING	2' - 8"	7' - 0"	1 3/4"	
208A	POCKET	2' - 8"	7' - 0"	1 3/4"	
208B	SWING	2' - 4"	7' - 0"	1 3/4"	
209	SWING	2' - 6"	7' - 0"	1 3/4"	
2ND FLOOR					

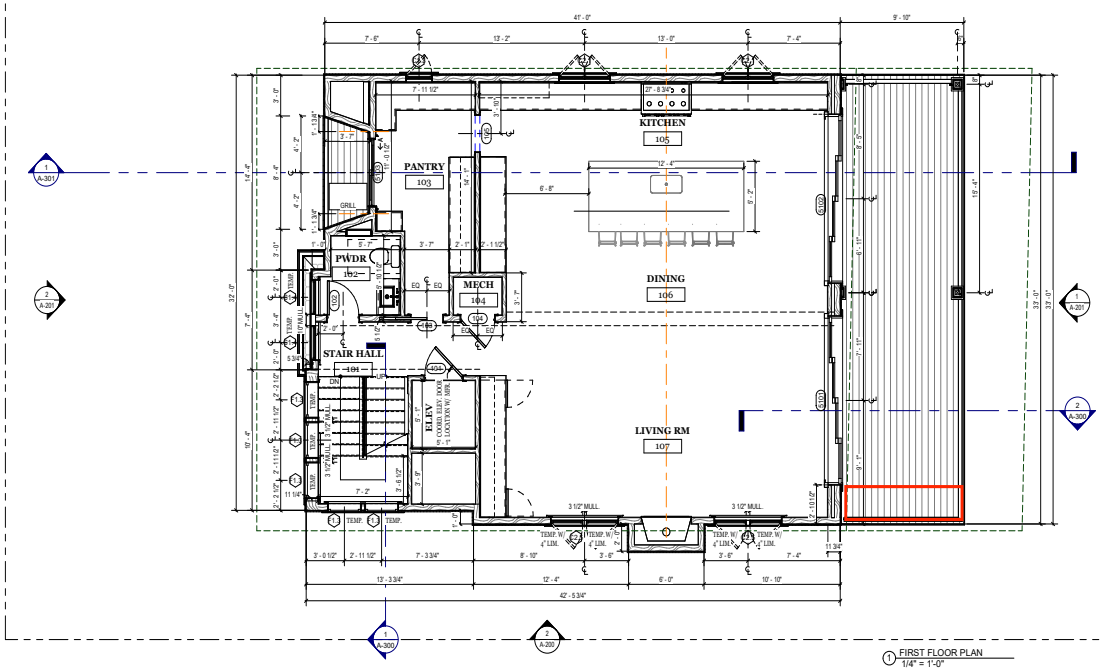
WINDOW SCHEDULE

MARK	OPERATION	UNIT SIZE WIDTH	UNIT SIZE HEIGHT	COMMENTS
A1.2	AWNING	2' - 6"	3' - 0"	
A2.1	AWNING-2	4' - 3 1/2"	3' - 6"	
C1.1	CASEMENT	2' - 0"	3' - 6"	
C1.3	CASEMENT	2' - 0"	4' - 0"	
C1.4	CASEMENT	2' - 6"	4' - 6"	
C2.1	CASEMENT -2	4' - 0"	4' - 0"	
C2.2	CASEMENT -2	5' - 0"	4' - 6"	
C2.3	CASEMENT - 2	5' - 3 1/2"	3' - 6"	MULLED
C2.4	CASEMENT - 2	5' - 3 1/2"	4' - 6"	MULLED
C2.5	CASEMENT - 2	5' - 3 1/2"	6' - 0"	MULLED W/ 4" LIMITER
C2.6	CASEMENT - 2	5' - 7 1/2"	5' - 0"	MULLED
C2.7	CASEMENT - 2	5' - 10"	4' - 0"	MULLED
F1.1	FIXED	2' - 8"	2' - 0"	
F1.2	FIXED	2' - 8"	4' - 0"	
F1.3	FIXED	2' - 8"	7' - 0"	
SL.1	SKYLIGHT	1' - 9 1/2"	2' - 5"	VELUX C01

EXISTING CONSTRUCTION TO REMAIN
NEW STUD CONSTRUCTION
NEW CMU CONSTRUCTION
NEW CONCRETE CONSTRUCTION



② SECOND FLOOR PLAN
1/4" = 1'-0"



① FIRST FLOOR PLAN
1/4" = 1'-0"

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DOUGLASS S KUCHTA
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STATE OF DELAWARE
REGISTERED ARCHITECT

Douglass Kuchta

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SOUTH BETHANY, DE 19930

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FIRST & SECOND FLOOR PLANS

A-101

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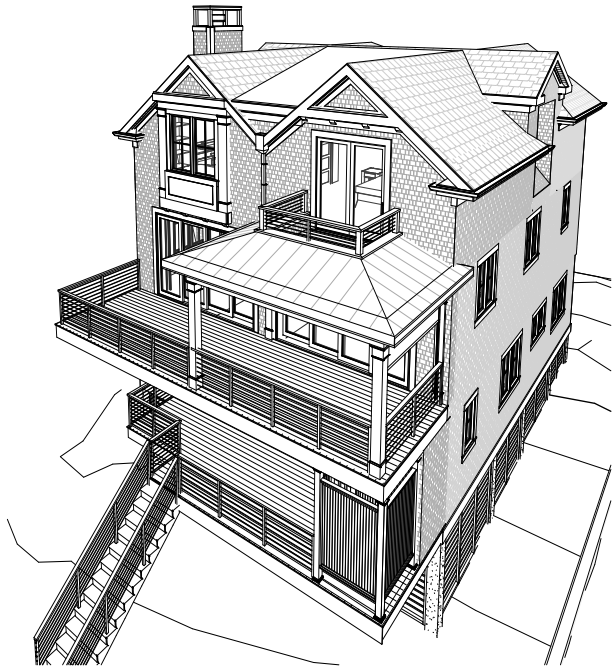

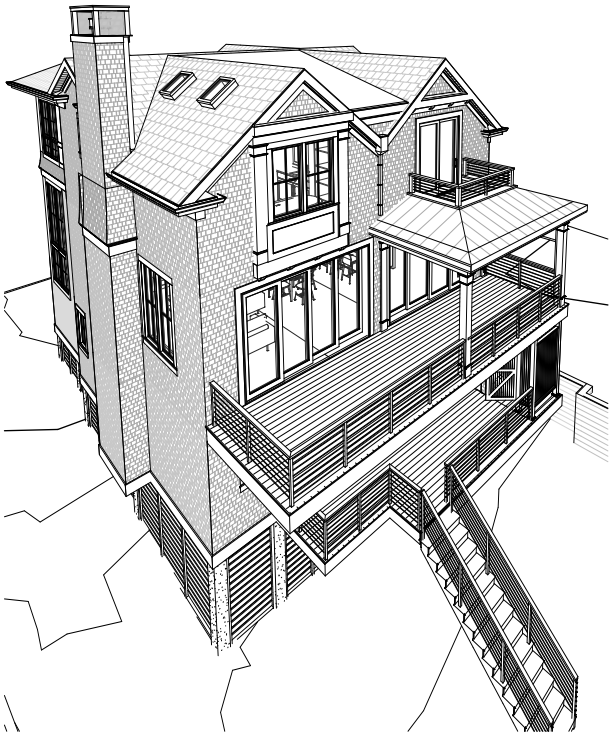

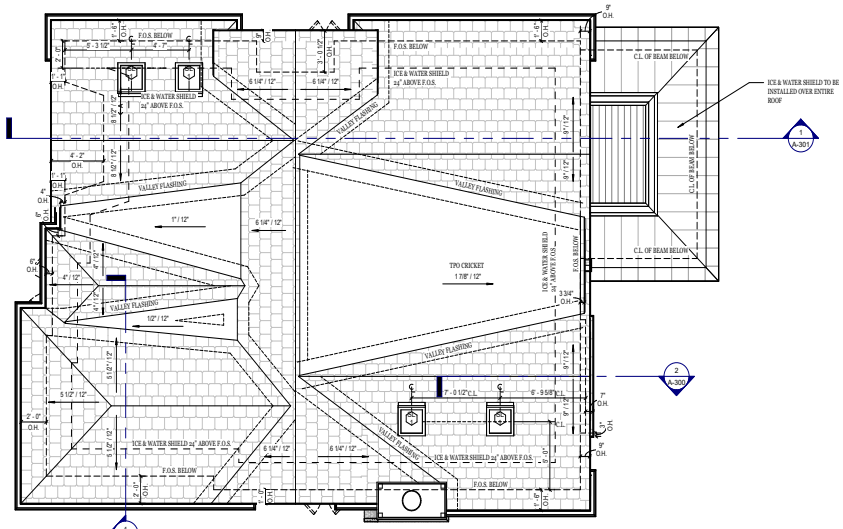

1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

A-102

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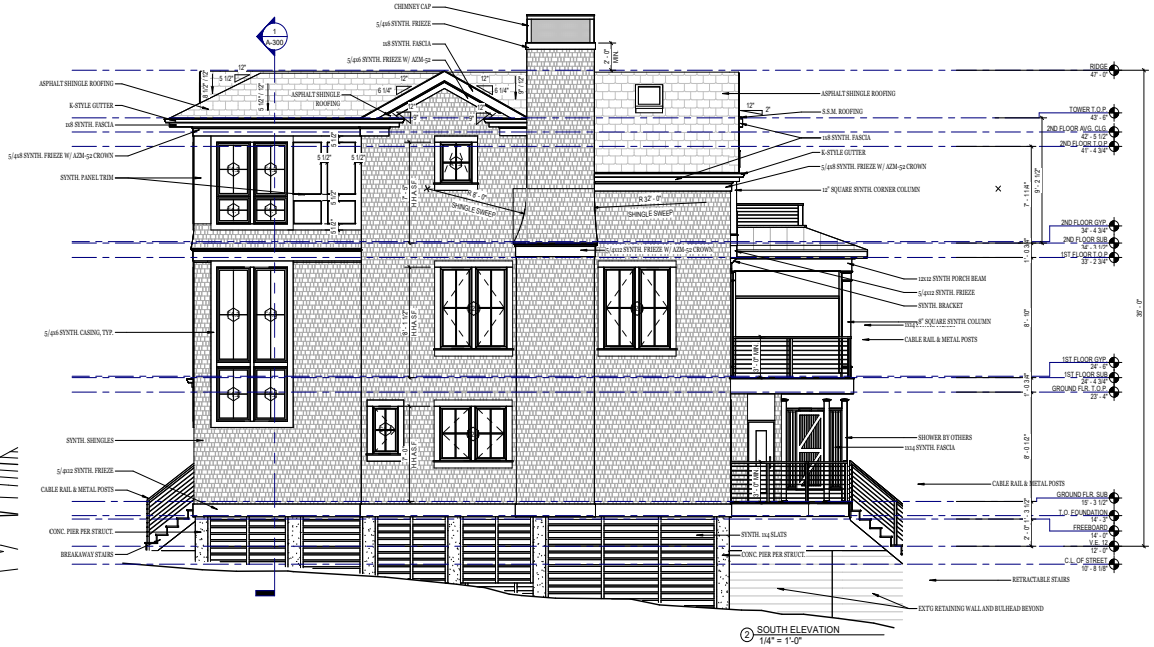
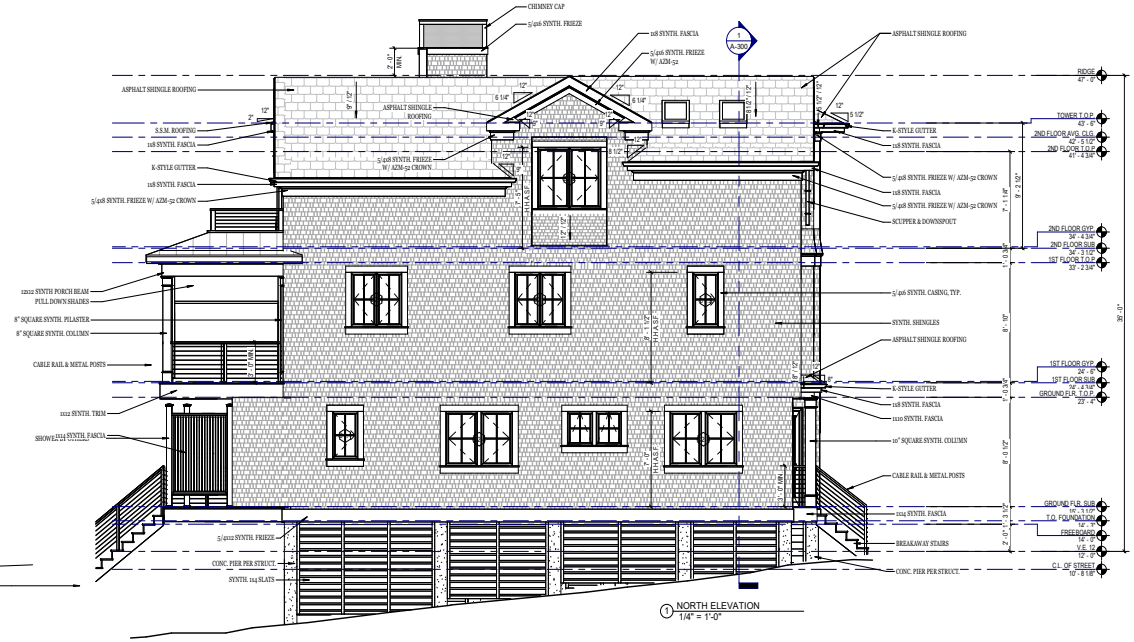


② SOUTH ELEVATION
1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"

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ELEVATIONS

A-200

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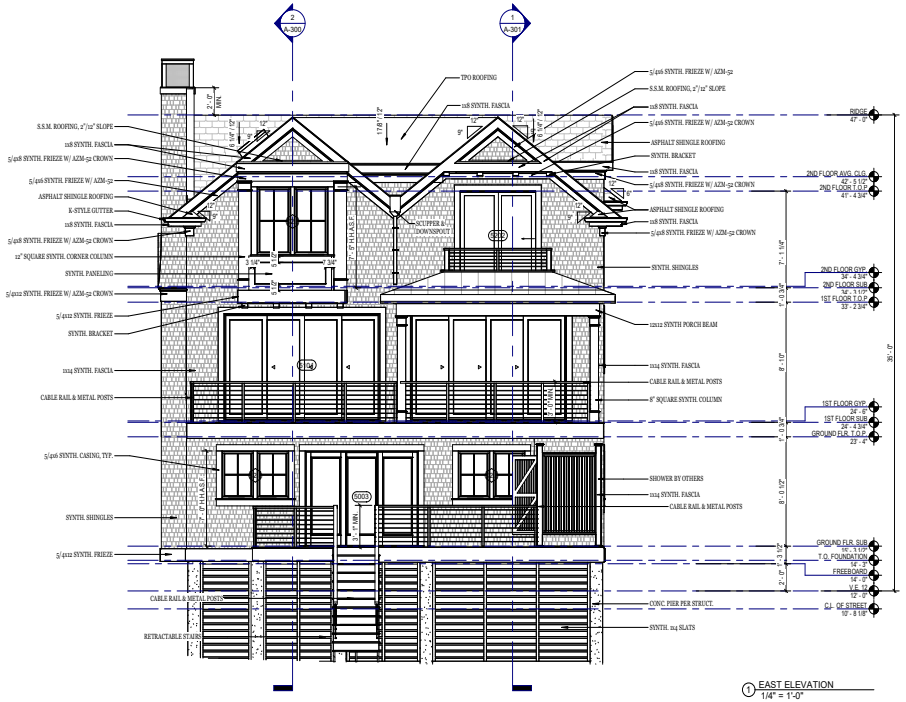
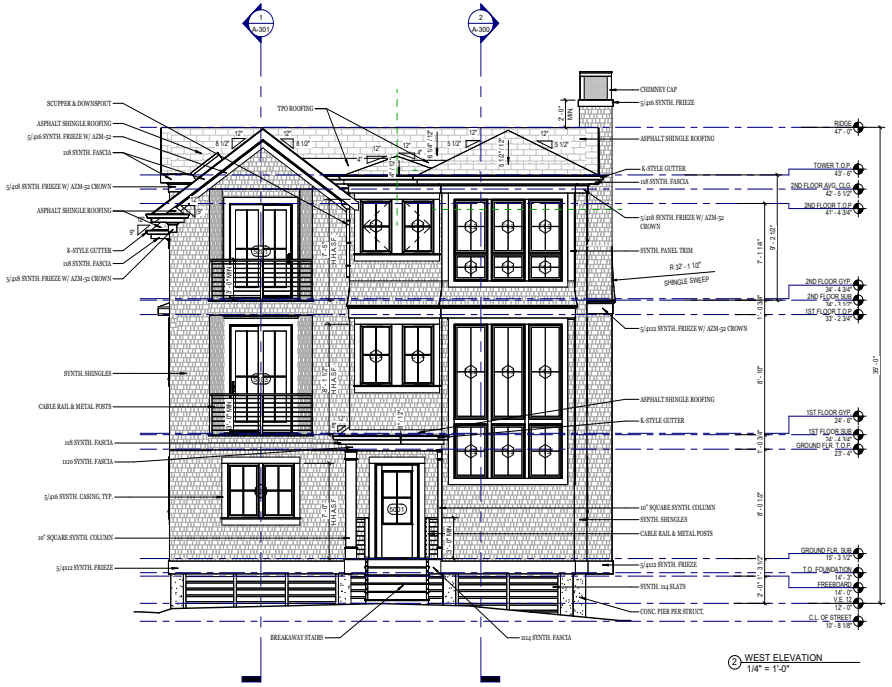


1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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NO.	DATE	DESCRIPTION
		X

JOB NO: 26-015
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ELEVATIONS

A-201

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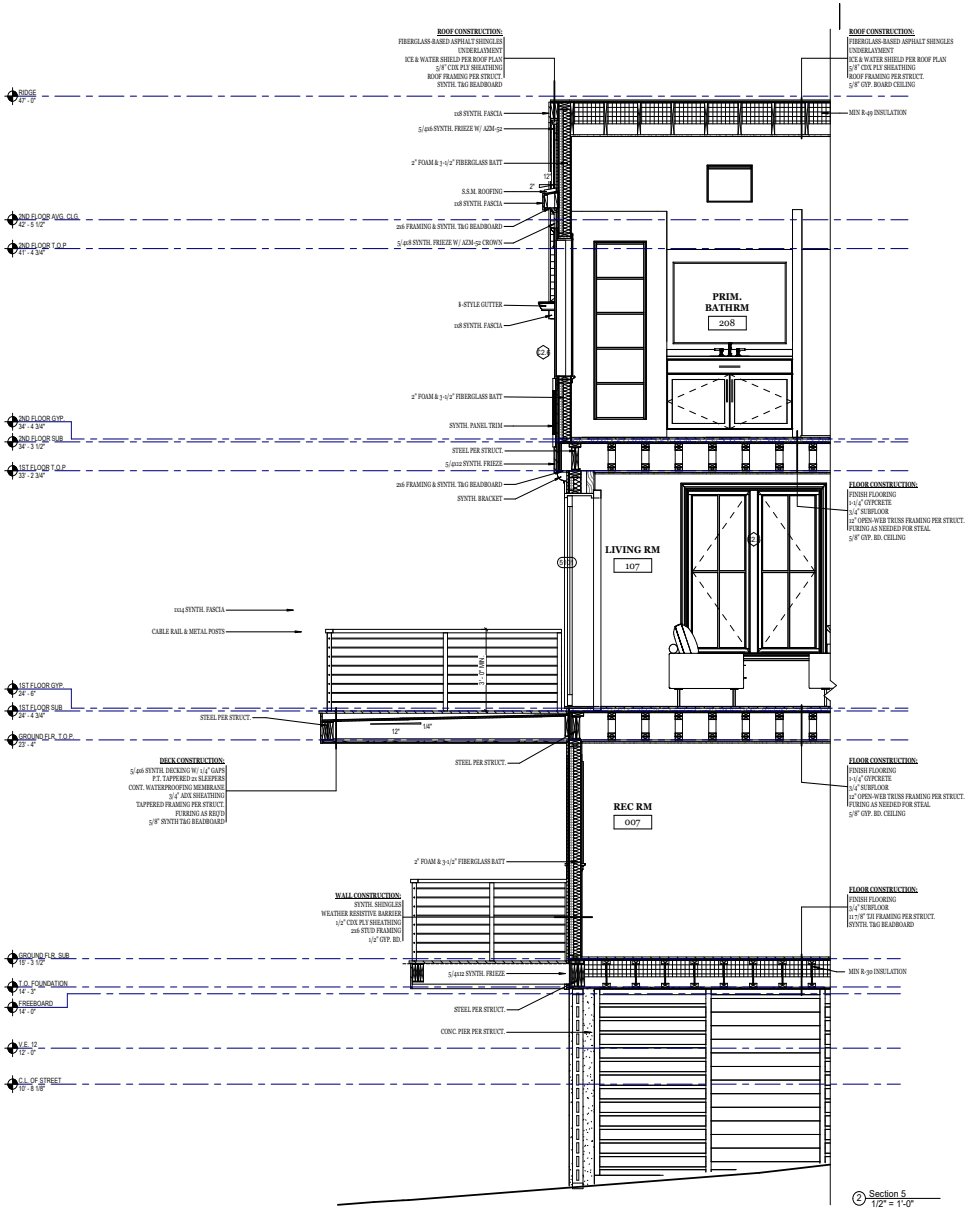
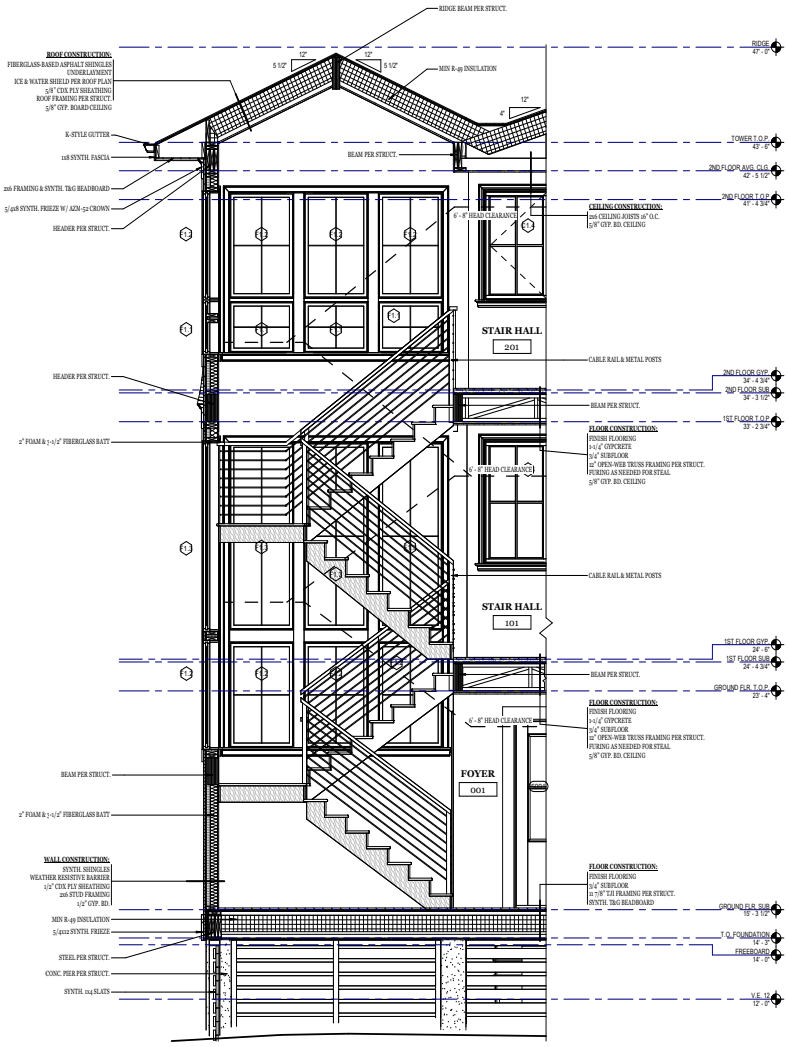


2 Section 5
1/2" = 1'-0"



1 STAIR SECTION
1/2" = 1'-0"

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NO.	DATE	DESCRIPTION

JOB NO: 26-015
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WALL SECTIONS

A-300

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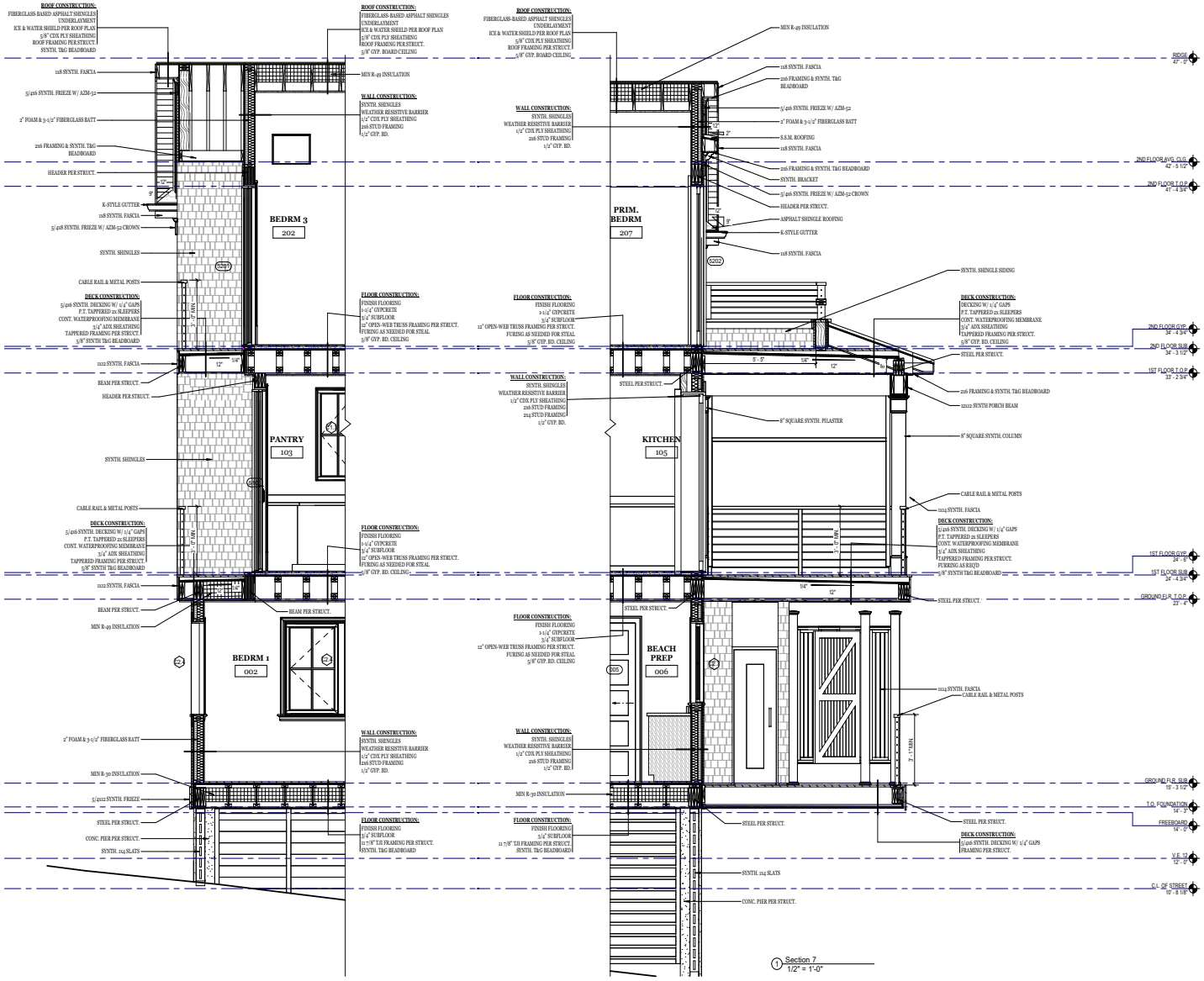

1 Section 7
1/2" = 1'-0"

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706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8.19.2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: TJD, CRD

BUILDING SECTION

A-301

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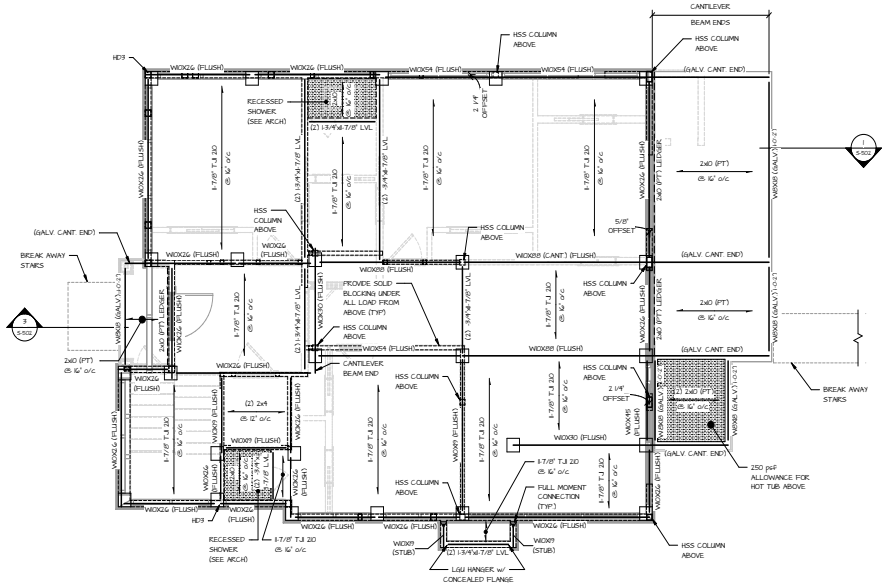
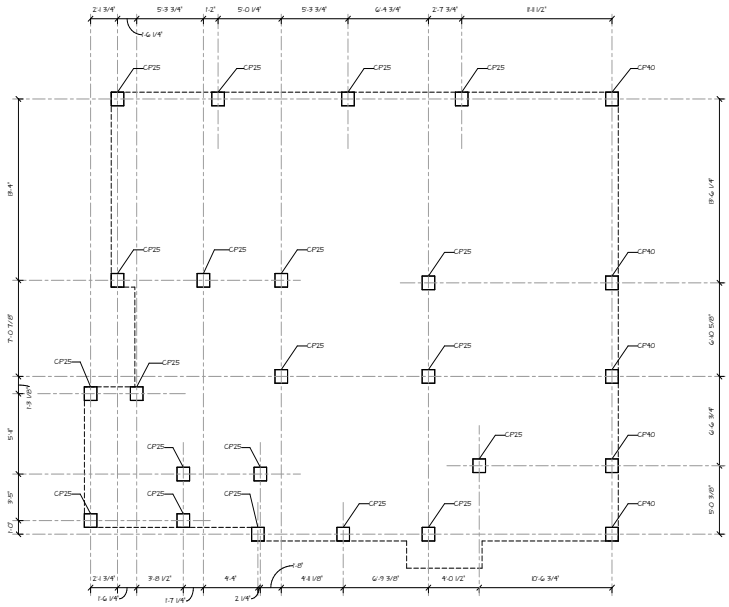


2 S-101 GROUND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. (PT) INDICATES PRESSURE TREATED.
2. TOP OF ALL STEEL BEAMS TO BE (2") BELOW TOP OF FLOOR JOISTS.
3. ALL 1-7/8" LVL MEMBERS TO BE FLUSH w/ FLOOR JOIST UNLESS NOTES OTHERWISE.
4. PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS FROM ABOVE.
5. ALL EXPOSED STEEL TO BE HOT DIP GALVANIZED.



1 S-101 PILE PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. CP25 INDICATES 12" x 12" CONCRETE w/ 25 TON MINIMUM CAPACITY.
2. CP40 INDICATES 12" x 12" CONCRETE w/ 40 TON MINIMUM CAPACITY.

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PROJECT NUMBER: 25-145

MARK A. NAUMANN
LICENSED
8/18/2026
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PROFESSIONAL ENGINEER

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PILE & GROUND FLOOR FRAMING PLAN

S-101

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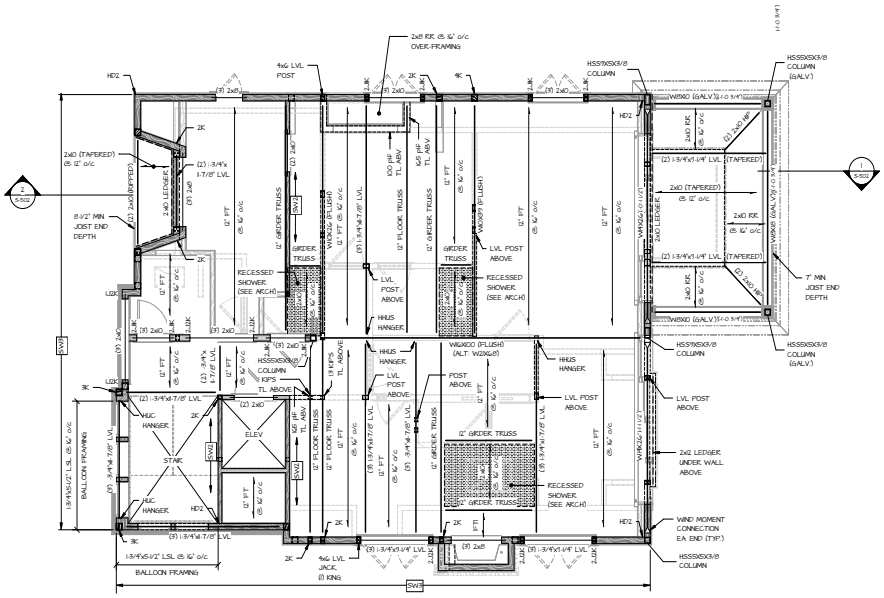
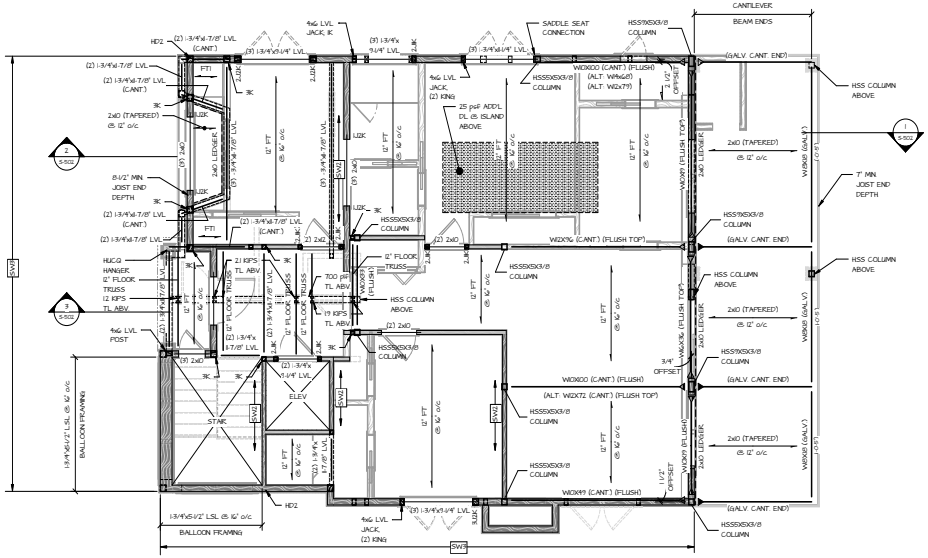


2 S-102 SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...J,K INDICATES NUMBER OF JACK & KING STUDS
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. TOP OF FLUSH STEEL BEAMS TO BE (1-1/2") BELOW TOP OF FLOOR TRUSSES UNLESS NOTED OTHERWISE.
4. 'FT' INDICATES FLOOR TRUSS.
5. 'FT1' INDICATES 12" FLOOR TRUSS @ 16" o/c
6. RR INDICATES ROOF RAFTER.



1 S-102 FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...J,K INDICATES NUMBER OF JACK & KING STUDS
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. TOP OF FLUSH STEEL BEAMS TO BE (1-1/2") BELOW TOP OF FLOOR TRUSSES UNLESS NOTED OTHERWISE.
4. 'FT' INDICATES FLOOR TRUSS.
5. 'FT1' INDICATES 12" FLOOR TRUSS @ 16" o/c
6. PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS FROM ABOVE.
7. ALL EXPOSED STEEL TO BE HOT DIP GALVANIZED.

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PHONE: 302-703-1770
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PROJECT NUMBER: 05-145

MARK A. NAUMANN
LICENSED
8/18/2026
No. 17819
PROFESSIONAL ENGINEER

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ROGERS RESIDENCE

706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

FIRST FLOOR FRAMING & SECOND FLOOR FRAMING PLAN

S-102

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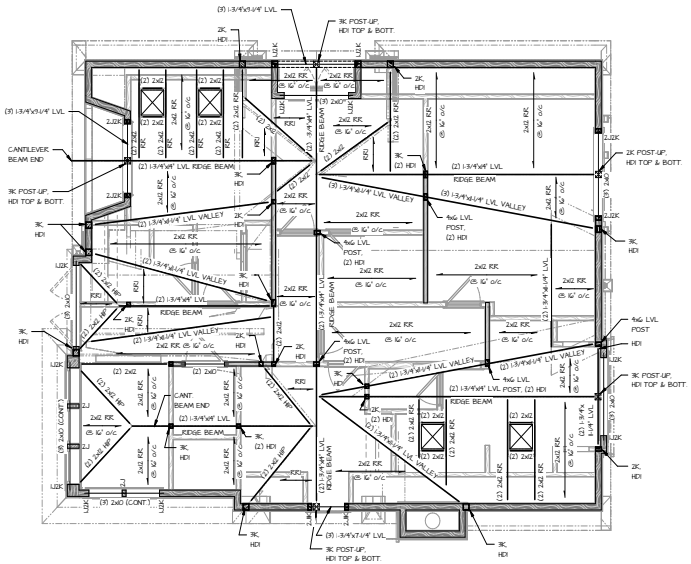

1 S-103 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ...L/K INDICATES NUMBER OF JACK & KING STUDS.
2. ALL EXTERIOR WALLS TO BE SHEAR WALL TYPE 'SW' UNLESS NOTED OTHERWISE.
3. 'RFR' INDICATES ROOF RAFTER.
4. 'RFR1' INDICATES 2x12 ROOF RAFTER @ 16" o/c.

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SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

ROOF FRAMING PLAN

S-103

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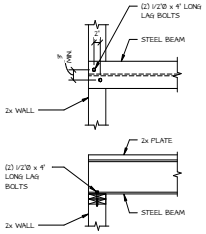
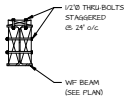
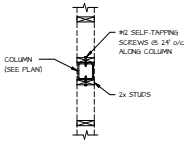


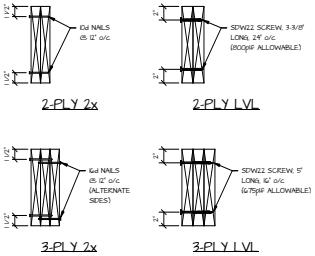
STEEL BEAM ON WOOD DETAIL



TYPICAL 'PACKED-OUT' WF BEAM



TYPICAL WALL STUDS TO STEEL COLUMN



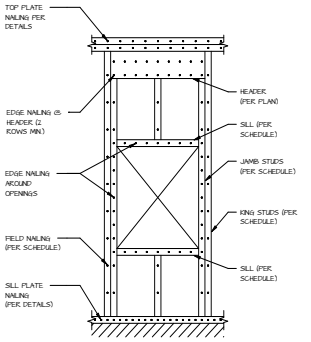
2-PLY 2x

2-PLY LVL

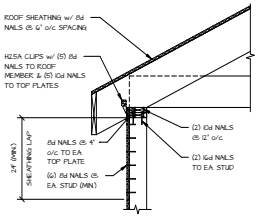
3-PLY 2x

3-PLY LVL

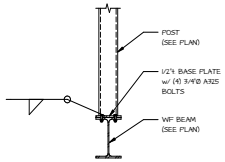
TYPICAL BUILT-UP BEAM DETAIL



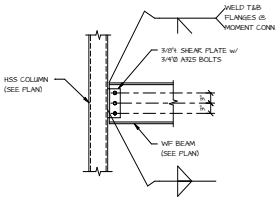
TYPICAL OPENING FRAMING



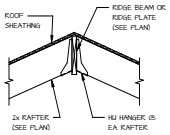
TYPICAL ROOF FRAMING



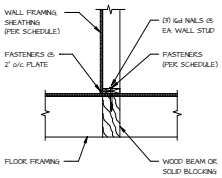
TYPICAL POST-UP CONNECTION



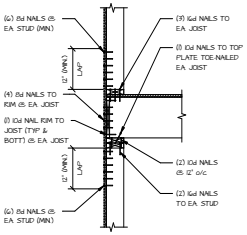
TYPICAL BEAM TO COLUMN CONNECTION



TYPICAL RAFTER TO RIDGE DETAIL

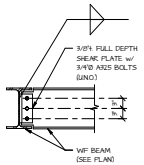


TYPICAL WALL TO BEAM FRAMING

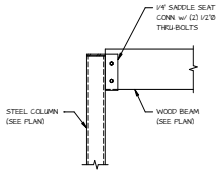


TYPICAL FLOOR TO FLOOR FRAMING

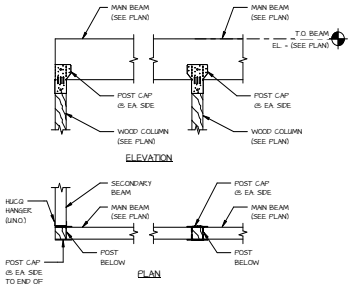
(SHEATHING LAP*)



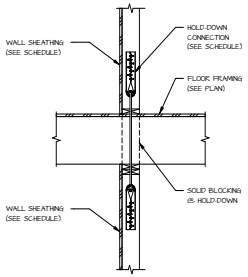
TYPICAL BEAM TO BEAM CONNECTION



SADDLE SEAT CONNECTION

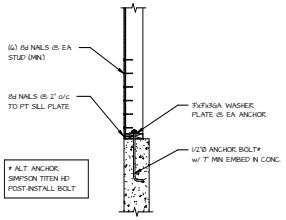


AC / ACHZ POST CAP DETAILS

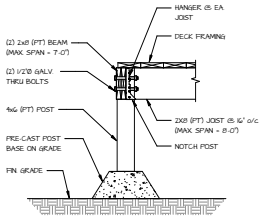


TYPICAL WALL END HOLD-DOWN DETAIL

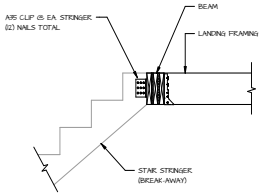
(AT WOOD FLOOR FRAMING)



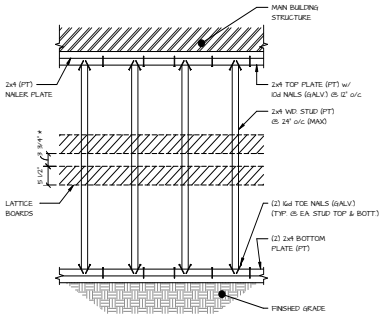
TYPICAL SILL ON FDN FRAMING



TYPICAL BREAKAWAY POST DETAIL

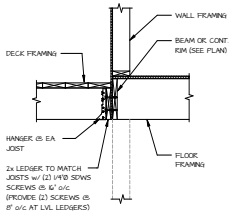


TYPICAL BREAKAWAY STAIR CONNECTION DETAIL

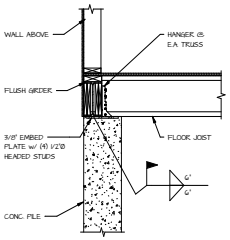


TYPICAL FEMA LATTICE DETAIL

* MINIMUM 3-3/4" SPACE BETWEEN 5-1/2" LATTICE BOARDS TO MEET 40% OPENING RATIO REQUIRED BY FEMA



TYPICAL LEDGER FRAMING



TYPICAL EDGE GIRDER DETAIL

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PROJECT NUMBER: #5145

MARK A. NAUMANN
LICENSE NO. 21700
STATE OF DELAWARE
PROFESSIONAL ENGINEER

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

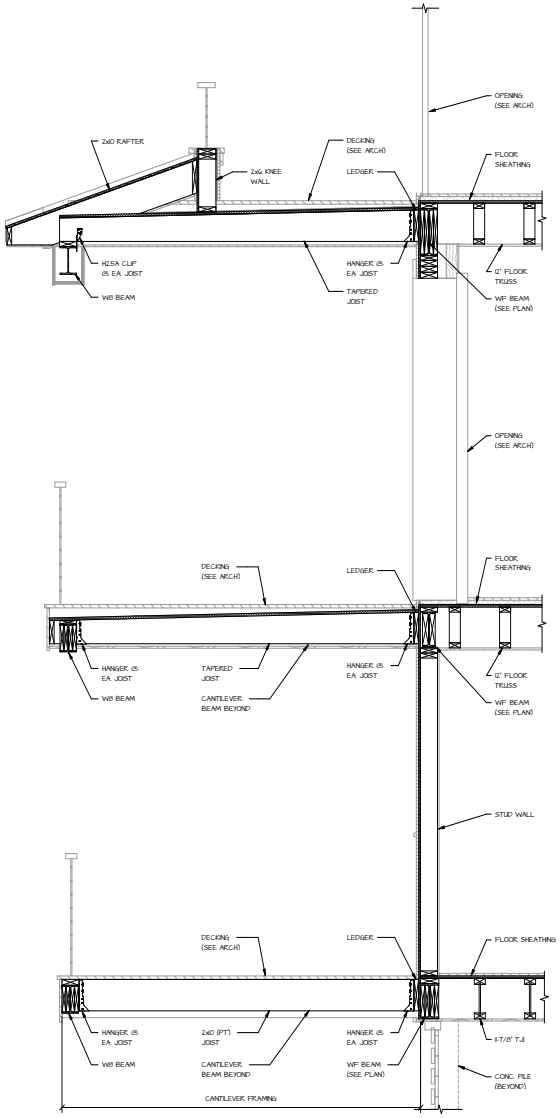
REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

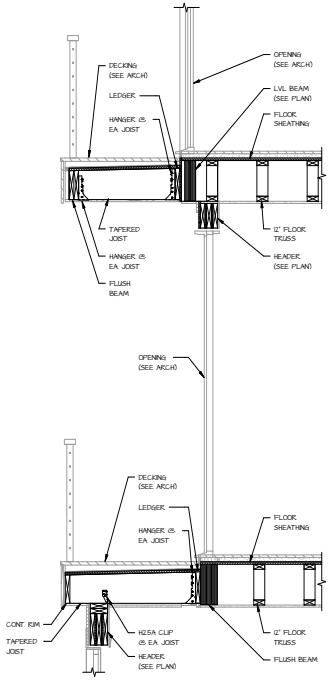
TYPICAL DETAILS & SECTIONS

S-501

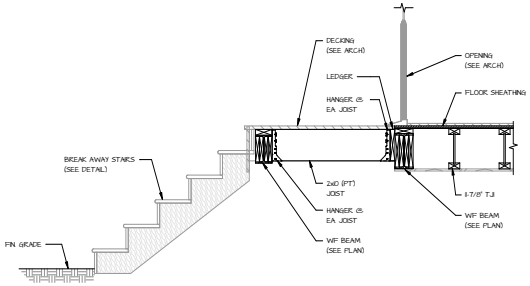
DGJ E:\CAD\S-0000.DWG 8/13/26



SECTION 1 / S-502



SECTION 2 / S-502



SECTION 3 / S-502

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PROJECT NUMBER: 25-145

MARK A. NAUMANN
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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO: 26-015
DRAWN BY: JWB

SECTIONS

S-502

PLOT DATE: 08/13/26

PROJECT SPECIFICATIONS & GENERAL NOTES

STRUCTURAL NOTES

1. PILOTTOWN ENGINEERING HAS DESIGNED ONLY THE STRUCTURAL ELEMENTS REPRESENTED ON THESE DRAWINGS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN. PILOTTOWN ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED CHANGES TO THESE DRAWINGS.

2. ANY ADDITIONAL CONSTRUCTION ADMINISTRATION SERVICES OR CHANGES TO THE PLANS WILL BE PAID FOR BY THE CONTRACTOR. UNLESS SPECIFICALLY APPROVED, ALL REQUESTED CHANGES IN WORK BY THE CONTRACTOR ARE CONSIDERED TO BE COMPLETED AT NO ADDITIONAL COST AND ARE SUBJECT TO THE APPROVAL OF THE DESIGN TEAM AND OWNER.

3. ALL STRUCTURAL INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AS WELL AS ALL REFERENCED STANDARDS CONTAINED THEREIN.

4. SCALING OF DRAWINGS TO DETERMINE DIMENSIONS OF ELEMENTS IS NOT PERMITTED.

5. DESIGN LOADS FOR THE PROJECT ARE LISTED AS FOLLOWS:
   a. SLAB ON GRADE LIVE LOAD: 100 psf
   b. SLAB ON GRADE DEAD LOAD: 50 psf
   c. FLOOR LIVE LOAD: 40 psf
   d. FLOOR DEAD LOAD: 15 psf
   e. DECK LIVE LOAD: 60 psf
   f. DECK DEAD LOAD: 10 psf
   g. ROOF LIVE LOAD: 30 psf
   h. ROOF DEAD LOAD: 20 psf

6. SNOW LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
   a. Pg = 20 psf
   b. I = 1.0
   c. Ct = 1.1
   d. Ce = 1.0
   e. Pf = 20 psf

7. LATERAL WIND LOAD DATA FOR THE PROJECT IS LISTED AS FOLLOWS:
   a. V_{ult} = 130 mph
   b. V_{ASD} = 110 mph
   c. Risk Category = II
   d. Exposure Category = D
   e. Internal Pressure Coefficient = +/- 0.18

8. SEISMIC DESIGN CATEGORY = A

9. IN ACCORDANCE WITH FEMA REQUIREMENTS:
   a. THE BOTTOM OF THE LOWEST HORIZONTAL MEMBER OF THE GROUND FLOOR FRAMING LEVEL IS ELEVATED ABOVE THE BASE FLOOD ELEVATION.
   b. THE PILES AND STRUCTURE ATTACHED THERETO IS ANCHORED TO RESIST FLOTATION, COLLAPSE AND LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER LOADS ACTING SIMULTANEOUSLY ON ALL BUILDING COMPONENTS.

10. ALL FRAMING AT AND BELOW DESIGN FLOOD ELEVATION TO BE PRESSURE TREATED MATERIAL.

11. ALL DOORS TO BE BOTTOM SUPPORTED UNLESS NOTED OTHERWISE. NOTIFY ENGINEER OF ANY DOORS TO BE HUNG FROM FRAMING OR REQUIRING STRICTER DEFLECTION CRITERIA.

12. CONTRACTORS TO ALLOW FOR A 10 BUSINESS DAY REVIEW PERIOD BY THE DESIGN TEAM FOR ALL SHOP DRAWINGS REQUIRED.

FOUNDATIONS

1. ALL CONCRETE PILES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI WITH REINFORCING FOR THE FULL LENGTH OF THE PILE. PILES TO BE DRIVEN TO A MINIMUM CAPACITY OF 25 TONS. SEE PLAN FOR LOCATIONS OF HIGHER CAPACITY PILES REQUIRED.

STEEL

1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. ALL STRUCTURAL STEEL WIDE FLANGE (W) SHAPES SHALL BE ASTM A992 GRADE 50 (V50). ALL STRUCTURAL STEEL S, M, AND HP SHAPES SHALL BE ASTM A572 GRADE 50 (V50). ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED.

2. ALL STEEL RECTANGULAR/SQUARE HOLLOW STRUCTURAL SECTIONS SHALL BE ASTM A500 GRADE B, FY=46 KSI.

3. ALL STEEL SHALL BE THOROUGHLY CLEANED IN ACCORDANCE WITH SSPC- SP3 AND HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.

4. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED, AS DESCRIBED IN "LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE", AWS D1.1, TO PERFORM THE TYPE OF WORK REQUIRED.

5. ALL BOLTS USED FOR THE ANCHORAGE TO CONCRETE AS SPECIFIED ON THE DRAWINGS SHALL CONFORM TO ASTM F1554.

6. ALL STEEL WELDING RODS SHALL BE AS FOLLOWS:
   A. E70XX FOR STEEL CONNECTIONS

7. SUBMIT ALL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY FABRICATION.

8. STEEL FABRICATOR IS SOLELY RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR FOR THE PURPOSE OF SURVEYING AND VERIFICATION OF EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, ELEVATION, AND DIMENSIONS OF WALLS AND FRAMING THAT EXIST AT THE TIME OF THE STEEL ERECTION.

9. ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED. ANY POINTS OF WELDING SHALL BE TOUCHED UP IN THE FIELD WITH A ZINC-RICH PAINT BY THE STEEL ERECTOR.

TIMBER

1. ALL STRUCTURAL TIMBER FRAMING, WALLS, BLOCKING, ETC SHALL BE HEM FIR #2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 850 PSI Fv = 150 PSI E = 1,300,000 PSI

   ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".

2. ALL FRAMER SERIES LUMBER SHALL BE M-12, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 1600 PSI Fv = 175 PSI E = 1,600,000 PSI

3. ALL EXTERIOR TIMBER FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE (SYP) #1 MINIMUM, STRESS GRADE LUMBER. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 1000 PSI Fv = 175 PSI E = 1,600,000 PSI

4. ALL STRUCTURAL TIMBER FOR WOOD TRUSS FRAMING SHALL BE SOUTHERN YELLOW PINE (SYP) #3 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

   Fb = 500 PSI Fv = 175 PSI E = 1,100,000 PSI

   ALL STRUCTURAL TIMBER MUST BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".

5. ALL GLUE-LAMINATED BEAMS SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE, DOUGLAS FIR OR APPROVED EQUAL CONFORMING TO AITC 117-84 "STANDARD SPECIFICATION FOR STRUCTURAL GLUE-LAMINATED TIMBER OF SOFTWOOD SPECIES". THE MINIMUM ALLOWABLE PROPERTIES FOR GLUE-LAMINATED BEAMS ARE AS FOLLOWS:

   Fb = 2400 PSI Fv = 265 PSI E = 1,800,000 PSI.

6. ALL MICRO-LAM BEAMS (LVL) SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR MICRO-LAM BEAMS ARE AS FOLLOWS:

   Fb = 2600 PSI Fv = 285 PSI E = 1,900,000 PSI.

7. ALL PARALLAM BEAMS SHALL BE AS ENGINEERED AND MANUFACTURED BY WEYERHAEUSER OR APPROVAL EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR PARALLAM BEAMS ARE AS FOLLOWS:

   Fb = 2900 PSI Fv = 290 PSI E = 2,000,000 PSI

8. MAXIMUM DEFLECTION CRITERIA:
   A. FLOOR FRAMING = LL/600, TL/360
   B. ROOF FRAMING = LL/360, TL/240

9. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH LATEST EDITIONS OF THE FOLLOWING STANDARDS:
   A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION: TIMBER CONSTRUCTION MANUAL.
   B. AMERICAN WOOD COUNCIL: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
   C. AMERICAN PLYWOOD ASSOCIATION: PLYWOOD DESIGN SPECIFICATION.
   D. AMERICAN WOOD-PRESERVERS ASSOCIATION STANDARDS.

10. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TRUSS PLATE INSTITUTE (TPI) STANDARDS:
   A. THE NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, TPI 1.
   B. RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, DSB-89.
   C. GUIDE TO GOOD PRACTICE FOR INSTALLING, RESTRAINING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, BCSI.

1. ALL PRE-ENGINEERED WOOD JOISTS (TJI,TJL,TJM,TJS,TJW, etc) AS NOTED ON PLAN SHALL BE AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL BRACING AND BRIDGING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

12. ALL TIMBER CONNECTIONS SHALL BE MADE USING PREFABRICATED CONNECTORS. TOE-NAILING IS NOT PERMITTED. SUBMIT MANUFACTURER'S DATA FOR REVIEW. FASTENERS SHALL BE AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL.

13. PROVIDE POST CAPS AND BASES AT ALL WOOD POSTS BY SIMPSON STRONGTIE OR APPROVED EQUAL.

14. PROVIDE A MINIMUM OF (2) STUDS FOR ALL HEADERS AND BEAMS UNLESS NOTED OTHERWISE.

15. ALL EXPOSED FASTENERS AND CONNECTIONS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

16. WOOD FLOOR TRUSSES ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE WOOD TRUSS, OR JOIST FABRICATOR SIGNED AND SEALED CALCULATIONS ARE TO BE SUBMITTED FOR REVIEW AND APPROVAL. DESIGNS SHALL REFLECT THE LOADING SHOWN IN THE STRUCTURAL DOCUMENTS. TRUSS FABRICATOR SHALL PROVIDE PREFABRICATED HANGERS AND CONNECTORS AS REQUIRED.

17. PROVIDE MINIMUM CONTINUOUS SOLID BLOCKING OR CROSS-BRIDGING LINES AT 8'-0" O/C MAX SPACING FOR ALL
   A. WOOD JOISTS.
   B. WOOD RAFTERS
   C. FLOOR TRUSSES
   D. PROVIDE ADDITIONAL X-BRIDGING AS REQUIRED BY FABRICATOR.
   E. PROVIDE A MINIMUM OF ONE LINE OF BLOCKING OR CROSS BRIDGING FOR ALL SPANS.

18. TREATED LUMBER SHALL BE PROVIDED AT ALL LOCATIONS WHERE LUMBER IS IN CONTACT WITH CONCRETE AND MASONRY FOUNDATION WALLS OR AT EXTERIOR OF BUILDING.

19. PROVIDE MINIMUM HU SERIES HANGERS CORRESPONDING TO BEAM DEPTH AT ALL FLUSH BEAMS UNLESS NOTED OTHERWISE.

20. PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE.

21. PROVIDE 2x BLOCKING BETWEEN WOOD STUDS AT INTERIOR BEARING WALLS AT 24" o/c.

22. SHEATHING FOR WALLS SHALL BE 1/2" THICK 32/16 SPAN RATING APA WOOD SHEATHING, EXPOSURE 1. ALL SHEATHING SHALL BE PLACED HORIZONTALLY AND SECURED IN ACCORDANCE WITH THE SHEAR WALL SCHEDULE SHOWN ON THE STRUCTURAL DRAWINGS. ALL JOINTS IN SHEATHING SHALL BE STAGGERED.

23. SHEATHING FOR FLOORS SHALL BE 3/4" THICK 20" SPAN RATING APA FLOOR SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. ALL EDGES IN FLOOR SHEATHING SHALL BE TONGUE & GROOVE. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD FLOOR DIAPHRAGMS.

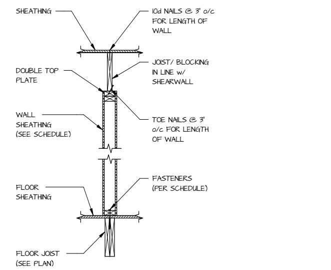
24. SHEATHING FOR ROOFS SHALL BE 5/8" THICK 40/20 SPAN RATING APA PLYWOOD SHEATHING, EXPOSURE 1. ALL JOINTS IN SHEATHING SHALL BE STAGGERED. FOR ROOF SHEATHING, USE PANEL CLIPS OR LUMBER BLOCKED EDGE SUPPORTS AS RECOMMENDED BY APA. NAILING SHALL COMPLY WITH APA REQUIREMENTS FOR PLYWOOD ROOF DIAPHRAGMS.

25. PROVIDE (2) SIMPSON SDWS SCREWS AT 16" o/c OR EQUAL FOR DECK LEDGERS TO RIM BOARD UNLESS NOTED OTHERWISE. PROVIDE SIMPSON DTT2Z-SDS2.5 DECK-TO-HOUSE LATERAL CONNECTION WITHIN 24" FROM EACH END OF DECKS.

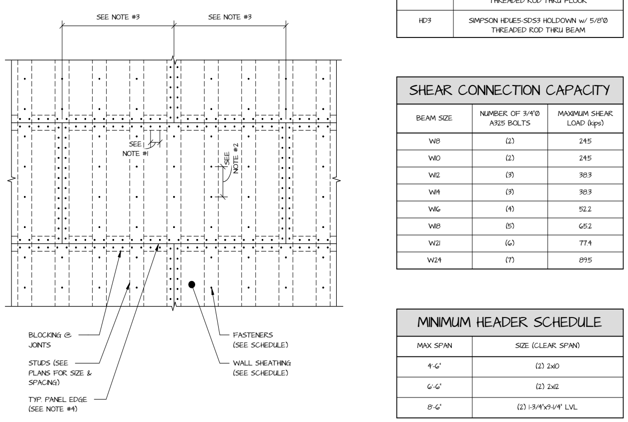
SHEAR WALL FRAMING SCHEDULE

MARK	SHEATHING	FASTENING	FLR TO FLR CONN.	WALL TO BEAM CONN.
SW1 SHEARWALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	8d NAILS @ 4" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	SHEATHING LAP/ NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING
SW2 SHEARWALL	1/2" GYPSUM BOARD w/ BLOCKED JOINTS (BOTH SIDES)	5d COOLER NAILS* @ 4" o/c SPACING @ PANEL EDGES & IN FIELD	10d NAILS @ 3" o/c (SEE DETAIL)	1/4"x5" SDS SCREW @ 32" o/c MAX INTO BEAM OR BLOCKING
SW3 SHEARWALL	1/2" WOOD SHEATHING w/ BLOCKED JOINTS (ONE SIDE)	8d NAILS @ 3" o/c SPACING @ PANEL EDGES, 12" o/c IN FIELD	SHEATHING LAP/ NAILING PATTERN (SEE DETAIL)	1/4"x5" SDS SCREW @ 24" o/c MAX INTO BEAM OR BLOCKING

*ALT. FASTENER: #6 SCREWS



TYPICAL INTERIOR SHEAR WALL DETAIL



TYPICAL SHEAR WALL PANEL FASTENING PATTERN

NOTES:
1) SEE SHEAR WALL SCHEDULE FOR NAIL SPACING AT PANEL EDGES.
2) SEE SHEAR WALL SCHEDULE FOR NAIL SPACING IN PANEL FIELD.
3) STAGGER ALL JOINTS IN SHEATHING.
4) SHEATHING SHALL BE NAILED DIRECTLY TO WALL STUDS AND BLOCKING. PANEL EDGES INCLUDE EDGES OF SHEATHING AROUND WINDOW AND DOOR OPENINGS.
5) SEE PLANS AND DETAILS FOR STUD SIZE AND SPACING.

FASTENER SCHEDULE

TYPE	PROPERTIES
5d COOLER NAIL	0.086"Ø x 1-5/8" LONG
6d COOLER NAIL	0.092"Ø x 1-7/8" LONG
8d NAIL	0.131"Ø x 2-1/2" LONG
10d NAIL	0.148"Ø x 3" LONG
16d NAIL	0.162"Ø x 3-1/2" LONG
#6 SCREW	0.138"Ø
#8 SCREW	0.164"Ø
#10 SCREW	0.190"Ø

HOLD-DOWN SCHEDULE

- SEE PLAN FOR HOLD-DOWN DESIGNATION LOCATION -

MARK	TYPE
HD1	SIMPSON H6 HURRICANE TIE
HD2	(2) SIMPSON HDUE3-SDS3 HOLDOWNS w/ 5/8"Ø THREADED ROD THRU FLOOR
HD3	SIMPSON HDUE5-SDS3 HOLDOWN w/ 5/8"Ø THREADED ROD THRU BEAM

SHEAR CONNECTION CAPACITY

BEAM SIZE	NUMBER OF 3/4"Ø A325 BOLTS	MAXIMUM SHEAR LOAD (kips)
W8	(2)	24.5
W10	(2)	24.5
W12	(3)	38.3
W14	(3)	38.3
W16	(4)	52.2
W18	(5)	65.2
W21	(6)	77.4
W24	(7)	89.5

MINIMUM HEADER SCHEDULE

MAX SPAN	SIZE (CLEAR SPAN)
4'-6"	(2) 2x10
6'-6"	(2) 2x12
8'-6"	(2) 1-3/4"x9-1/4" LVL

MINIMUM EXTERIOR JAMBS

MAX SPAN	JACKS	KINGS
5'-0"	(1)	(1)
6'-0"	(2)	(1)
7'-0"	(2)	(2)
SINGLE GARAGE	(2)	(2)
DOUBLE GARAGE	(2)	(3)

MINIMUM INTERIOR JAMBS

MAX SPAN	JACKS	KINGS
4'-0"	(1)	(1)
8'-0"	(2)	(1)

BROADWATER DESIGNS
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doug@broadwaterdesigns.com
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GENERAL CONTRACTOR

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www.marniehomes.com

STRUCTURAL ENGINEER

PILOT TOWN ENGINEERING
17585 Nassau Commons Blvd.
Unit 3- Lewes, DE 19958
PHONE: 302-703-1770
www.pilottownengineering.com
PROJECT NUMBER: 105.045

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ROGERS RESIDENCE
706 S. OCEAN DRIVE
SOUTH BETHANY, DE 19930

DRAWING	DATE
PERMIT SET	8/13/2026

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO: 26-005
DRAWN BY: JWB

SCHEDULES & GENERAL NOTES

8/12/2026 3:09:21 PM

706 S Ocean DR, South Bethany, DE 19930
South Bethany Harbor, S Bethany Ocean DR, Lot 3, Block 8
w/imp, 134-20.08-192.00
Subject Property: 40217/ knt/ mks

BUYER INFORMATION AND AUTHORIZATION FORM

BUYER INFORMATION: Provide the full, legal name, social security number/EIN, and contact information for each Buyer.

BUYER: **SB Seascape, LLC** EIN: **attorney obtained so we have this information**

Phone: Cell 301 461 1333 Work ——; Email Address: **jgrogers66@gmail.com**

Mailing Address *(after settlement)*: **485 Harbor Dr. N, Indian Rocks Beach, FL 33785**
The address that you furnish above will be the address shown on the closing documents. After settlement, the original Deed, tax bills, etc. will be mailed to the address provided.

TENANCY, TITLING OF PROPERTY:

Please list the marital status of the party(ies). EXAMPLES: Mary Jones, Single; John Jones and Mary Jones, husband and wife; John Jones and Mary Jones, brother and sister: **SB Seascape, LLC—sole owner**

Please indicate the manner in which title is to be held. EXAMPLES: Single; Spouses; Joint Tenants with Right of Survivorship (if one person dies, the property passes to the remaining parties on the Deed); or Tenants in Common (if one person dies, property passes to that person's heirs, not the remaining parties on the Deed):

	Tenants by the Entirety; married spouses only, interest passes to surviving spouse
	Joint Tenants with Right of Survivorship, interest passes to surviving tenants
	Tenants in Common; interest passes to heirs; ownership interest is specified
X	Sole Owner
	Trust *(please provide a copy of the Trust including any amendments for review);* if the property is being financed, please notify your lender ASAP as the loan must also be processed in the name of the Trust

LENDER INFORMATION: (if this is a cash purchase, please write CASH):

Lender Name: **N/A CASH**

Contact Person:_____ Phone:_____ Email:_____

LAND/LOCATION SURVEY: Please let our office know if you would like a survey ordered on your behalf by completing and returning the attached Authorization. If you choose not to have a survey performed, a Survey Waiver will be required to be signed at settlement.

ARE YOU A FIRST TIME HOMEBUYER (have you ever held title to residential real estate, wherever located)?
YES _____ NO: ✓ _____ **If "YES", please provide a separate sheet of paper listing your physical addresses (no P.O. Boxes, RD#, etc.) for the last ten (10) years.**

WILL THIS BE YOUR PRIMARY RESIDENCE, A SECOND HOME OR INVESTMENT PROPERTY
(please circle one)

WILL YOU BE ATTENDING THE SETTLEMENT? YES: _____ NO: ✓
If "NO", please contact this office to make other arrangements. **Additional fees may apply.**

_____
John G. Rogers, Sole Member of SB Seascape, LLC,
Buyer Signature

***PLEASE PROMPTLY COMPLETE AND RETURN THIS AUTHORIZATION FORM ALONG WITH ANY REQUIRED DOCUMENTATION BY FAX (302-539-4130) OR BY EMAIL (Kristin@steve-parsons.net and Marcie@steve-parsons.net) ***

May 30, 2025

To: SB Seascape, LLC
485 Harbor Dr. N
Indian Rocks Beach, FL 33785

From: PARSONS & ROBINSON, P.A.

RE: **706 S Ocean DR**
South Bethany, DE 19930

Dear Mr. Rogers:

Please read the following concerning our representation of you in this transaction and disclosing other important information under the Delaware Lawyer's Code of Professional Responsibility promulgated by the Supreme Court of the State of Delaware, Guideline No. 1:

- Buyers of residential real estate have the absolute right to retain a lawyer of their own choice to represent them throughout the transaction, including examination and certification of title, the preparation of documents and the holding of settlement.
- This office may or may Not have represented the lending institution or realtor who is working with you in this transaction. Such past or current representation may, in the words of the guideline, be possibly conflicting and may adversely affect the exercise of the lawyer's professional judgment on behalf of the buyer in case of a dispute between the parties.
- Though we do not at this time see any potential conflict among the parties to be represented by this office, if a conflict were to arise, we would withdraw from all representation in this matter.

By signing and returning this document to our office, you acknowledge that you have freely and voluntarily agreed to our representation of you in this transaction. Please keep a copy of this document for your records.

BUYER ACKNOWLEDGMENT

We have received the above correspondence from Parsons & Robinson, P.A. concerning their representation in this transaction and disclosing other important information under the Delaware Lawyer's Code of Professional Responsibility promulgated by the Supreme Court of the State of Delaware, Guideline No. 1.

We understand that Parsons & Robinson, P.A., represents us as the purchaser in this transaction and that they perform all necessary legal services, including preparation of documents and representation at settlement.

Signature: _____ DATE: 5/30/25

SURVEY AUTHORIZATION

(Please choose an option below)

OPTION 1:

By my signature below, I hereby authorize the Law Firm of Parsons & Robinson, P.A. to order a location survey on my behalf for the purchase of 706 S Ocean DR, South Bethany, DE 19930, also known as South Bethany Harbor, S Bethany Ocean DR, Lot 3, Block 8 w/imp, 134-20.08-192.00. The price for a survey varies, with the cost ranging between $500.00 and $950.00. I further acknowledge and confirm that I am responsible for final payment of these services.

5/25/25

John G. Rogers, Sole Member Date

****

OPTION 2:

By my signature below, I hereby waive our right to order a location survey of the subject property.

John G. Rogers, Sole Member Date

TITLE SEARCH AUTHORIZATION

By my signature below, I hereby authorize the Law Firm of Parsons & Robinson, P.A. to order a title search on my behalf for the purchase of 706 S Ocean DR, South Bethany, DE 19930, also known as Tax Map No. 134-20.08-192.00. The title search must be ordered for all purchases to convey clear title and is completed by a third-party provider. The price for the abstract/title search ranges from $150.00 to $200.00. I further acknowledge and confirm that I am responsible for final payment of these services even in the event I cancel my purchase of the aforementioned real property after the title search has been ordered and completed.

5/30/25

John G. Rogers, Sole Member Date

From: doug@broadwaterdesigns.com
To: Pongratz, Jennifer L. (DNREC)
Cc: "Jeff Staniszewski"; "Josh Pelczynski"
Subject: RE: Marnie Custom Homes - Rogers Permit Submittal Follow Up - 9/1/26
Date: Thursday, September 3, 2026 11:42:42 AM
Attachments: image008.png
image009.png
image010.png
image011.png
image012.png
image013.png
image014.png
image015.png

Good afternoon, Jennifer,
Thank you for taking my call. To clarify our stairs are 5' wide for the assistance of climbing the stirs and the ability to add a stair lift in the future for aging in place. Due to the width and South Bethany code the stairs cannot encroach in the West side setback.

Code below-

F.

Existing dwellings raised to meet BFE or to provide freeboard in the R-1 District on lots west of Ocean Drive and east of Delaware Route No. 1, or abutting Sea Side Drive may include steps, a ramp, or platform in the setback area, provided that each of the following are satisfied: [Added 5-13-2016 by Ord. No. 180-16[1]]

(1)

No other reasonable alternative is possible, such as, but not limited to, changing the direction of the steps, a ramp, or platform;

(2)

No step, ramp or platform shall be wider than four feet or longer than five feet extending toward the property line;

Please let me know if you have any further concerns. Thank you,

BROADWATER DESIGNS
ARCHITECTURE

Doug Kuchta, RA, NCARB
Principal

1912 Lincoln Dr. unit G, Annapolis, MD 21401
410-353-6556
doug@broadwaterdesigns.com

From: Jeff Staniszewski <stan@marniehomes.com>
Sent: Tuesday, September 1, 2026 10:48 AM
To: Douglass Kuchta <doug@broadwaterdesigns.com>
Subject: FW: Marnie Custom Homes - Rogers Permit Submittal Follow Up - 9/1/26

Doug-

Good morning. Please see the first comment from DNREC regarding the Rogers plans. Can you please provide a response that I can relay to Jennifer? Thanks.

Jeff "Stan" Staniszewski
Director of Operations
302-217-2480
Marnie Custom Homes
MarnieHomes.com
Follow us on Instagram and Facebook
NAHB Custom Home Builder of the Year

From: Pongratz, Jennifer L. (DNREC) <Jennifer.Pongratz@delaware.gov>
Date: Tuesday, September 1, 2026 at 10:46 AM
To: Jeff Staniszewski <stan@marniehomes.com>
Subject: RE: Marnie Custom Homes - Rogers Permit Submittal Follow Up - 9/1/26

Stan,

I am reviewing the Rogers application. Could you please remind me of the reason the steps on the landward side are not going into the setback and therefore pushing the house out by about 4'? Also, do you have any documentation that links John Rogers to SB Seascape LLC?

Thanks!

Jennifer Luoma Pongratz
Environmental Scientist, CFM
Phone: 302-608-5502 • Mobile: 302-242-9939
Email: Jennifer.Pongratz@delaware.gov
285 Beiser Blvd. Suite 102, Dover, DE 19904
dnrec.delaware.gov

From: Jeff Staniszewski <stan@marniehomes.com>
Sent: Tuesday, September 01, 2026 9:10 AM
To: Pongratz, Jennifer L. (DNREC) <Jennifer.Pongratz@delaware.gov>
Cc: Jeff Staniszewski <stan@marniehomes.com>
Subject: Marnie Custom Homes - Rogers Permit Submittal Follow Up - 9/1/26

Jennifer-

Good morning. Thanks again for taking my call yesterday. I am in process of uploading all relevant information for the Rogers Permit and there is a new section noted "Shoreline Protection". I am unsure of what DNREC is looking for or who this analysis is supposed to come from. I appreciate any insight.

Secondarily, you had mentioned I can submit for the Bulkhead permit through the E-portal. I could not locate the pathway to do so. Can you point me in the right direction? Thanks, and have a great day.

Jeff "Stan" Staniszewski
Director of Operations
302-217-2480
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MarnieHomes.com
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